

8/29/01
Layout
1:00

ISSUE DATE: 8/17/2001

APPROVAL DATE: 8/30/01

PERMIT

INDEXED

P 515988-A

A 511435-H

ON-SITE SEWAGE DISPOSAL SYSTEM HOWARD COUNTY HEALTH DEPARTMENT BUREAU OF ENVIRONMENTAL HEALTH

03-334325

K & K Excavating IS PERMITTED TO INSTALL ☒ ALTER ☐

ADDRESS: 14960 Frederick Road, Woodbine PHONE NUMBER: 410-442-1336

SUBDIVISION: The Estates @ Sandhill LOT NUMBER: 8

ADDRESS: 12029 Sand Hill Manor Drive PROPERTY OWNER: Oak Hill Properties

SEPTIC TANK CAPACITY (GALLONS): 1250

PUMP CHAMBER CAPACITY (GALLONS): N/A

NUMBER OF BEDROOMS: 4

SQUARE FEET PER BEDROOM: 180

LINEAR FEET OF TRENCH REQUIRED: 240

TRENCHES:	Trench to be 3.0 feet wide. Inlet 3.0 feet below original grade. Bottom maximum depth 5.0 feet below original grade. Effective area begins at 3.0 feet below original grade. 2.0 feet of stone below distribution pipe.
LOCATION:	Begin trenches 110 feet down the left lot line and 20 feet off that same lot line as seen when facing the lot from the Sand Hill Manor Drive. Run trenches on contour in both directions towards sand hill manor drive.
NOTES:	

PLANS APPROVED: Amy Mc Millen 6/28/01 OK (28) DATE: 4-28-01

- NOTE: PERMIT VOID AFTER 2 YEARS
- NOTE: CONTRACTOR RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION INSPECTION FOR ALL INSTALLATIONS
- NOTE: WATERTIGHT SEPTIC TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE 100 FEET FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS

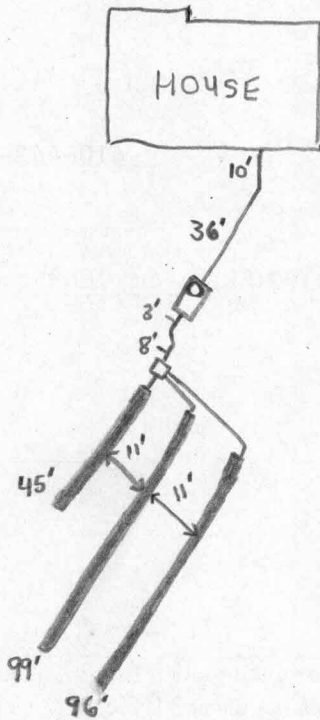
**NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS
RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM
PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT
CALL 410-313-2640 FOR INSPECTION OF SEPTIC SYSTEM**

515988-A

NOT TO SCALE

PUBLIC WATER

INDEXED



SAND HILL MANOR DRIVE

TRENCH DATA

TRENCH WIDTH 3'
TRENCH INLET DEPTH 3'
TRENCH BOTTOM DEPTH 5'
DEPTH OF STONE 2'
NUMBER OF TRENCHES 3
TOTAL TRENCH LENGTH 240'
ABSORBENT AREA 720 ft²
DISTRIBUTION BOX LEVEL ✓
BAFFLE IN DISTRIBUTION BOX ✓

SEPTIC TANK DATA

SEPTIC TANK 1500 TS GALLONS
MANHOLE RISER on front
6 INCH INSPECTION PORT NA

PUMP CHAMBER DATA

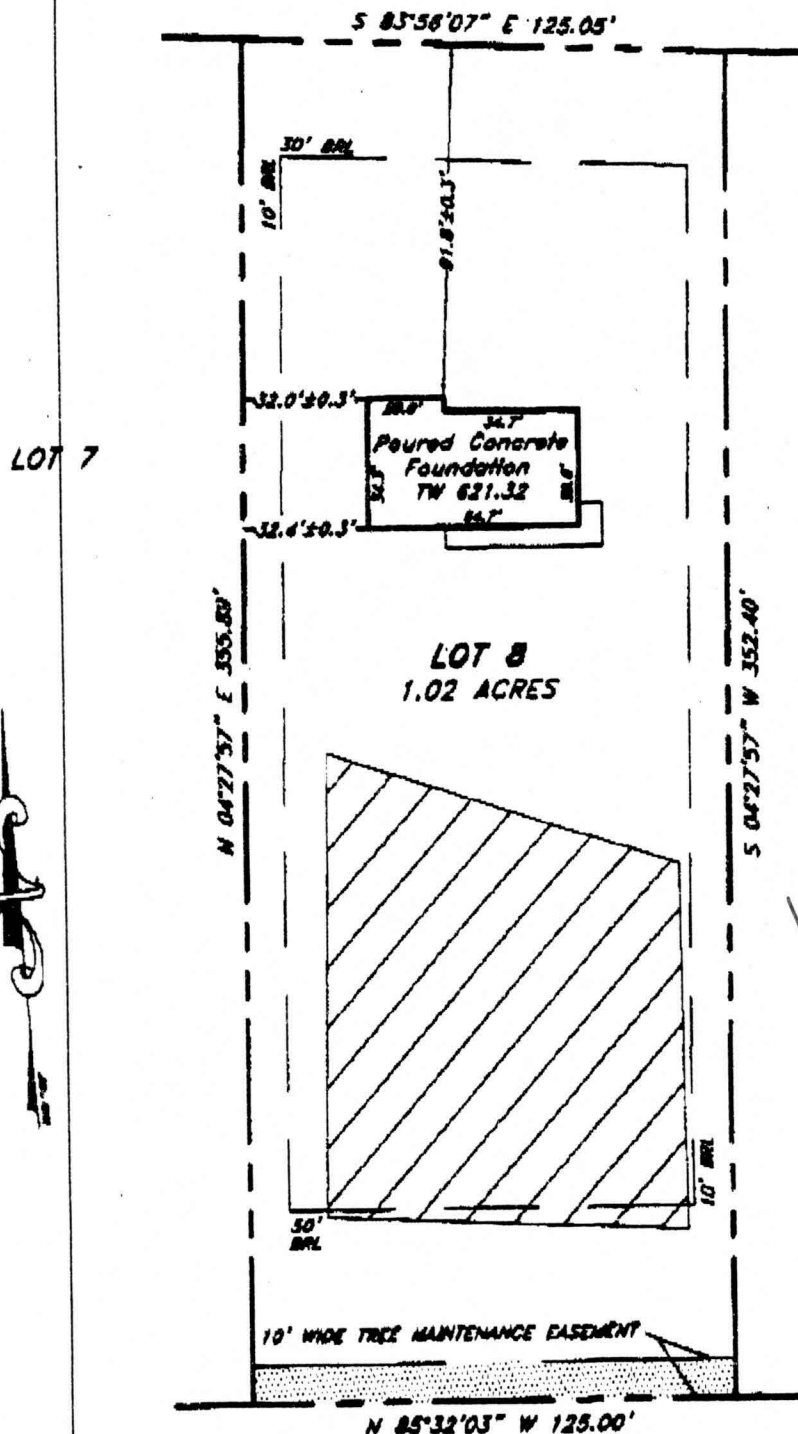
PUMP CHAMBER GALLONS NA
MANHOLE RISER NA
ALARM NA
PUMP PERFORMANCE TEST NA

PRE-CONSTRUCTION INSPECTION: 8/29/01 - SDA STAKED, OK TO RUN 1-40' TRENCH & 2-100' TRENCHES TOWARDS SAND HILL MANOR DRIVE (SRK)

INSPECTION COMMENTS: 8/30/01 - OK TO COVER ALL WORK - (SRK)

INSPECTOR Steven R. Krieg

DATE SYSTEM APPROVED 8/30/01



8/16/01
House moved
10' toward rear lot
line. No effect on
septic. (BB)

1" = 50'

SAND HILL MANOR DRIVE
50' RIGHT-OF-WAY

LEGEND

O/H = OVERHANG
A/C = AIR COND./HEAT PUMP
G/M = GAS METER
E/M = ELECTRIC METER
CH = CHIMNEY
B/W = BAY WINDOW
D/W = DRIVEWAY
CONC = CONCRETE

THE INFORMATION SHOWN HAS BEEN ESTABLISHED BY CURRENT ACCEPTABLE SURVEY PROCEDURES AND FROM AVAILABLE RECORD INFORMATION. THIS DRAWING IS TO BE USED FOR TITLE TRANSFER FINANCING, OR REFINANCING ONLY AND IS NOT TO BE USED FOR THE ESTABLISHMENT OF PROPERTY LINES, LOCATION OF FENCES, GARAGES, BUILDINGS, OR OTHER EXISTING OR FUTURE IMPROVEMENTS. FLOOD INSURANCE RATE MAP (FIRM) FLOOD ZONE "C" AREA OF MINIMUM FLOODING PER COMMUNITY PANEL NUMBER 240044-0016 B DECEMBER, 4 1986

Lot 8
The Estates at Sand Hill
Lots 1-80 and Non-Buildable
Preservation Parcels A & B

PLAT NO. 14581
ELECTION DISTRICT No. 3
HOWARD COUNTY, MARYLAND