

LAYOUT _____

INSP 1 6/6/12 INSP 3 _____

INSP 2 _____ INSP 5 _____

ISSUE DATE: 6-5-12

APPROVAL
DATE:

8/14/2012

PERMIT

SHARED SEPTIC SYSTEM

P 537321

A _____

Tax ID # 04-373073
HOUSE SEWER LINE CONNECTION

HOWARD COUNTY HEALTH DEPARTMENT
BUREAU OF ENVIRONMENTAL HEALTH

Bluestream Services

IS PERMITTED TO INSTALL ☒ ALTER ☐

ADDRESS: 2298 Jim Kohler Rd. PHONE NUMBER: 410-795-0068
Eldersburg MD 21784

SUBDIVISION Maplewood Farms LOT NUMBER: 2

ADDRESS: 3311 Secretariat Way PROPERTY OWNER: ABA Properties

NUMBER OF BEDROOMS: 4

HOUSE SERVED BY PUBLIC WATER? NO

LOCATION:	Install 4" house sewer line connection per the approved site plan.
NOTES:	This permit is limited to the installation of the individual house sewer line connection and installation of the grinder pump, if applicable. The Howard County Bureau of Utilities must be contacted for scheduling of inspection of these items as well, at 410-313-4900.

PLANS APPROVED: Heidi Scott KS DATE: 2/10/12

PERMIT VOID AFTER 2 YEARS

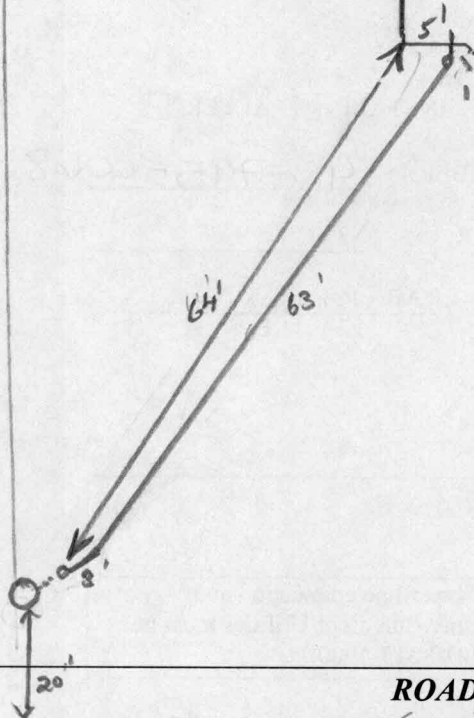
1. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION INSPECTION FOR ALL INSTALLATIONS.
2. ALL PARTS OF SEPTIC SYSTEM SHALL BE 100 FEET FROM ANY WATER WELL UNLESS SPECIFICALLY AUTHORIZED.
3. MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS UNLESS SPECIFICALLY AUTHORIZED.
4. CONTRACTOR RESPONSIBLE FOR COMPLIANCE WITH APPLICABLE REGULATIONS, GUIDELINES AND THE TERMS OF THIS PERMIT.
5. NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.
6. PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.

CALL 410-313-1771 FOR INSPECTION HOUSE CONNECTION

NOT TO SCALE

(20)

~88'



ROAD NAME

See tank log

TRENCH/DRAINFIELD DATA

WIDTH INLET BOTTOM

NUMBER OF TRENCHES _____
TOTAL LENGTH _____
ABSORPTION AREA _____
DISTRIBUTION BOX LEVEL _____
DISTRIBUTION BOX BAFFLE _____
DISTRIBUTION BOX PORT _____

SEPTIC TANK DATA

SEPTIC TANK 1 LEVEL _____
MANUFACTURER _____
CAPACITY _____ GAL
SEAM LOC _____
TANK LID DEPTH _____
BAFFLES _____
BAFFLE FILTER _____
MANHOLE LOC _____
6" PORT LOC _____
WATERTIGHT TEST _____
SLOTTED _____
DATE ON LID _____

PUMP/SEPTIC TANK LEVEL _____
MANUFACTURER _____
CAPACITY _____ GAL
SEAM LOC _____
TANK LID DEPTH _____
BAFFLES _____
BAFFLE FILTER _____
MANHOLE LOC _____
6" PORT LOC _____
WATERTIGHT TEST _____
SLOTTED _____
DATE ON LID _____

PRE-CONSTRUCTION:

INSTALLATION: 6/6/12 4" gravity SHC installed to grinder pump.
Need p/A test for final approval (KW)

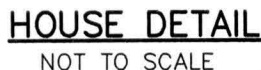
8/14/2012 Received start-up approval from utilities. (BB)

FINAL INSPECTOR

B. Baper

DATE OF APPROVAL

8/14/2012



152.10
-10' PRIVATE SURFACE
DRAINAGE EASEMENT
PLAT No. 19374

LOT 2
33.002 S.F.

SEE HOUSE
DETAIL

10'X20' PUBLIC SEWER
& UTILITY EASEMENT
PLAT No. 19374 —

10' PUBLIC DRAINAGE,
TREE MAINTENANCE
& UTILITY EASEMENT
PLAT No. 19374 —

SECRETARIAT WAY
40' R/W
(PUBLIC ACCESS PLACE)

LEGEND

RCF = REBAR & CAP FOUND
B.R.L. = BUILDING RESTRICTION LINE

a. THIS PLAT IS OF BENEFIT TO A CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE COMPANY OR ITS AGENT IN CONNECTION WITH CONTEMPLATED TRANSFER, FINANCING, OR RE-FINANCING;

b. THE PLAT IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OR LOCATION OF FENCES, GARAGES, BUILDINGS, OR OTHER EXISTING OR FUTURE IMPROVEMENTS; AND

c. THE PLAT DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR RE-FINANCING.

d. THE SUBJECT PROPERTY LIES IN ZONE "C" (AREA OF MINIMAL FLOODING) AS SHOWN ON F.I.R.M. MAP No. 240044 0029B DATED DECEMBER 4 1986 FOR HOWARD COUNTY, MARYLAND.

e. THIS SURVEY WAS PREPARED BY ME PERSONALLY, OR UNDER MY RESPONSIBLE CHARGE, AND THE SURVEY WORK REFLECTED IN IT ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN REGULATION .12 OF CHAPTER 6 OF THE MINIMUM STANDARDS OF PRACTICE OF MARYLAND.

Patton Harris Rust & Associates
Engineers. Surveyors. Planners. Landscape Architects.

$$P_H R_+ \Lambda$$

8818 Centre Park Drive
Columbia, MD 21045
T 410.997.8900
F 410.997.9282



D. DARRIN KIRK
PROFESSIONAL LAND SURVEYOR
MD REGISTRATION No. 21543

WALL CHECK DRAWING

MAPLEWOOD FARMS
LOT 2

MAPLEWOOD FARMS, LOTS 1 THRU 6, BUILDABLE
PRESERVATION PARCEL "A" AND NON-BUILDABLE PRESERVATION
PARCELS "B" & "C" PLAT No. 19374
4TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

SCALE: 1"=40'	PROJ. No.17316-1-0	DRAWN BY: H.J.M.	DATE:03.30.12
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Baker, Brian

From: Pickett, Tom
Sent: Tuesday, August 14, 2012 1:43 PM
To: Day, Lori; Wolf, Kevin
Cc: Pickett, Tom; Hart, Amy; Rocco, Anthony; Baker, Brian; Wolf, Kevin; Martin, Sharhonda
Subject: FW: U&O Release 3311 Secretariat Way

From: Pickett, Tom
Sent: Tuesday, August 14, 2012 1:53 PM
To: Day, Lori
Cc: Pickett, Tom; Hart, Amy; Rocco, Anthony; Baker, Brian; Wolf, Kevin; Martin, Sharhonda; Williams,
Subject: FW: U&O Release 3311 Secretariat Way

From: Pickett, Tom
Sent Tuesday, August 14, 2012 1:49 PM
To: Day, Lori; Scott, Heidi
Cc: Pickett, Tom; Hart, Amy; Rocco, Anthony; Baker, Brian; Wolf, Kevin; Martin, Sharhonda; Tuder, Matt; Williams, Jeffrey;
Subject: FW: U&O Release 3311 Secretariat Way

This morning, S Vanderveer observed start-up of a Sewage Grinder Pump

at the Maplewood Farms Shared Septic System:

Maplewood Farm, Contract 50-4458-D
Envision Builders, Lot #4
3311 Secretariat Way
Glenelg, MD 21737

The Sewage Grinder Pump test was successful ; the Bureau of Utilities releases its hold on this property for U&O.

This is the 4th lot on the shared septic system at this location.

Matt
410-313-4934 office
410-978-1320 mobile

From: Tuder, Matt
Sent: Monday, April 02, 2012 2:53 PM
To: Scott, Heidi; Harris, Leslie
Cc: Pickett, Tom; Hart, Amy; Alcorn, John; Rocco, Anthony; Baker, Brian; Wolf, Kevin; Martin, Sharhonda; Tuder, Matt; Williams, Jeffrey; MMARTIN3@tollbrothersinc.com
Subject: U&O Release 13921 Ryon DrivePickett, Tom

This morning, Tom Pickett observed start-up of a Sewage Grinder Pump at the Glenelg Estates (Hopkins Choice) Shared Septic System:

Glenelg Estates, Contract 50-4254-D
Toll Brothers, Lot #6