



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 2/7/14

Permit No.: 314000380

Building Address: 12205 Basslers Way
 City: Clarksville State: MD Zip Code: 21029
 Suite/Apt. # SDP/WP/BA #: GP-13-038
 Census Tract: Subdivision: Walnut Creek
 Section: Area: Lot: 12
 Tax Map: 28 Parcel: 49 Grid: 17 & 18
 Zoning: RC-DEO Map Coordinates: Lot Size: 35,943

Existing Use: Vacant Lot
 Proposed Use: SFD
 Estimated Construction Cost: \$ 426,798
 Description of Work: 2 story, FP, 3 car garage, full basement, 11 rooms, 5 bed rooms, 5 full baths, 1 half bath
 Occupant or Tenant:
 Was tenant space previously occupied? ☐ Yes ☐ No
 Contact Name:
 Address:
 City: State: Zip Code:
 Phone: Fax:
 Email:

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor:
Area of construction (sq. ft.):	2 nd floor:
Use group:	Basement:
	<input type="checkbox"/> Finished Basement
	<input checked="" type="checkbox"/> Unfinished Basement
	<input type="checkbox"/> Crawl Space
Construction type:	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms: 5
<input type="checkbox"/> Structural Steel	Multi-family Dwelling
<input type="checkbox"/> Masonry	No. of efficiency units:
<input type="checkbox"/> Wood Frame	No. of 1 BR units:
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
➤ Roadside Tree Project Permit	Footings:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Property Owner's Name: Trinity Quality Homes Inc.
 Address: 3675 Park Ave #301
 City: Ellicott City State: MD Zip Code: 21043
 Phone: Fax:
 Email:

Applicant's Name & Mailing Address, (if other than stated herein)
 Applicant's Name:
 Address:
 City: State: Zip Code:
 Phone: Fax:
 Email:

Contractor Company: Trinity Quality Homes Inc.
 Contact Person: Sherry Mewshaw
 Address: 3675 Park Ave #301
 City: Ellicott City State: MD Zip Code: 21043
 License No.: 699
 Phone: 443-535-8516 Fax:
 Email: sherry@trinityhomes.com

Engineer/Architect Company: NA
 Responsible Design Prof.:
 Address:
 City: State: Zip Code:
 Phone: Fax:
 Email:

Utilities	
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Heating System	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input checked="" type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number:	G13000238
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Sherry Mewshaw
 sherry@trinityhomes.com
 Email Address
 Selections Director
 Title/Company

Sherry Mewshaw
 Print Name

2/7/14
 Date

RECEIVED

FEB 07 2014

LICENSES & PERMITS
DIVISION

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 -FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health		
Is Sediment Control approval required for Issuance? <input type="checkbox"/> Yes <input type="checkbox"/> No		
<input type="checkbox"/> CONTINGENCY CONSTRUCTION START		

DPZ SETBACK INFORMATION

Front: _____
 Rear: _____
 Side: _____
 Side St.: _____
 All minimum setbacks met? ☐ Yes ☐ No
 Is Entrance Permit Required? ☐ Yes ☐ No
 Historic District? ☐ Yes ☐ No
 Lot Coverage for New Town Zone:
 SDP/Red-line approval date:

Filing Fee	\$ 100.00
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ 50.00
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# 028711

Distribution of Copies: White: Building Officials Green: PSZA,Zoning

Yellow: PSZA,Engineering

Pink: Health

Gold: SHA

T:\Operations\Updated Forms\Building applmp 8.2012.docx



dedicated to excellence and service

September 4, 2014

RE: Building Permit #B14000380
Lot #12 Walnut Creek
12205 Basslers Way
Clarksville, MD 21029

INV# 374351

CK# 030811

(PAID UNDER B14000374
IN ERROR)

RECEIVED

SEP 04 2014

LICENSES & PERMITS
DIVISION

Attn: Plan Review

Please approve the following changes to above permit. Additional 2' wide extension and a 2' deep extension to the conservatory. Also a 1' extension to rear of kitchen on all 3 levels.

2 sets of construction drawings are included.

Please call when approved.

Thank you,

Sherry Mewshaw
Sherry Mewshaw
Trinity Quality Homes
443-535-8516

THE EXISTING WELL SHOWN ON LOT 12
TAG NO. 95-1163 HAS BEEN FIELD LOCATED
BY FISHER, COLLINS, & CARTER, INC.,
AND IS ACCURATELY SHOWN.

BUILDING OF LOT 12 FLOOR AREAS:

BASEMENT FLOOR AREA: 2490

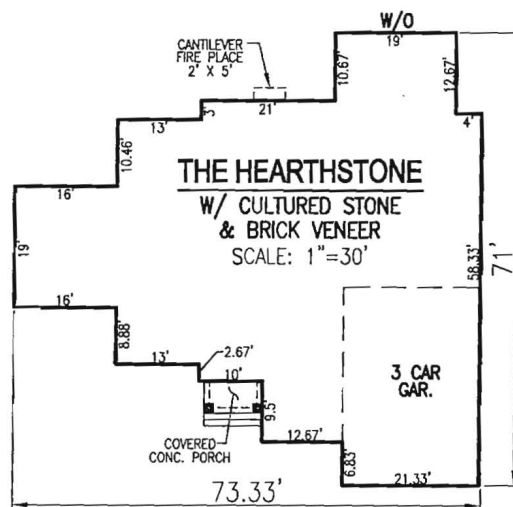
FIRST FLOOR AREA: 2565

SECOND FLOOR AREA: 2720

BEDROOMS: 5

NOTE: STORMWATER MANAGEMENT (WQv AND CPv) IS
PROVIDED BY EXTENDED DETENTION FACILITY, ONE
RAIN GARDEN, ROADWAY GRASS CHANNELS, AND
ON-LOT LEVEL SPREADERS (F-07-076). LOT 12
ALSO UTILIZES ROOFTOP DISCONNECTS (N-1) AND
NON-ROOFTOP DISCONNECTS (N-2).

BUILDING PERMIT NO. _____



SCALE: AS SHOWN

DRAWN BY: JMR

CHECKED BY: RHV

DATE: AUGUST 2014

PROJECT #: 13-21

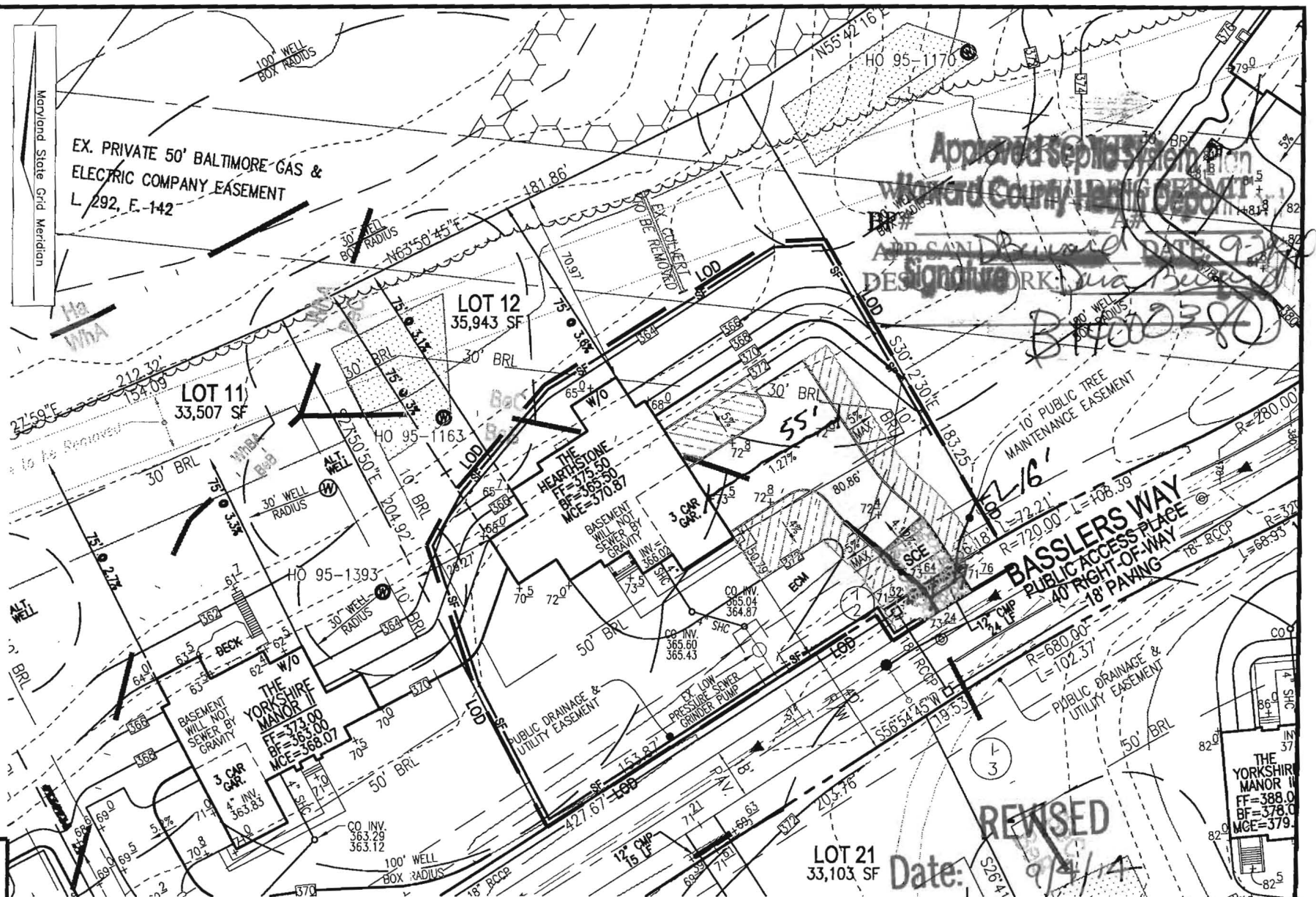
SHEET#: 1 OF 1

PLOT PLAN WALNUT CREEK LOT 12

REF: F-07-076

TAX MAP 28 PARCEL 49
BLOCK 11

5TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

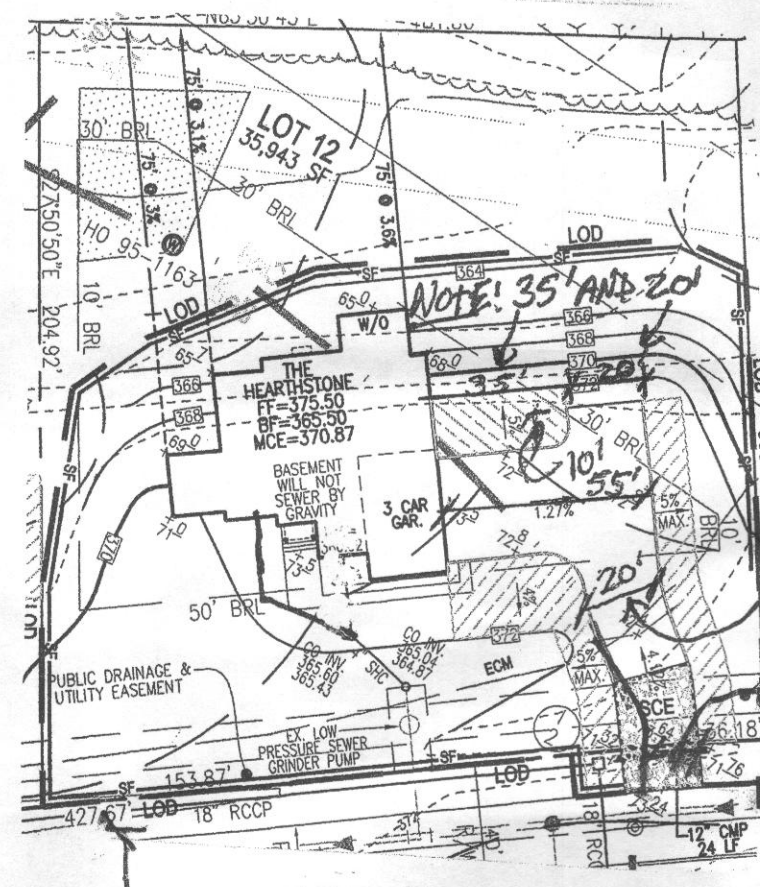
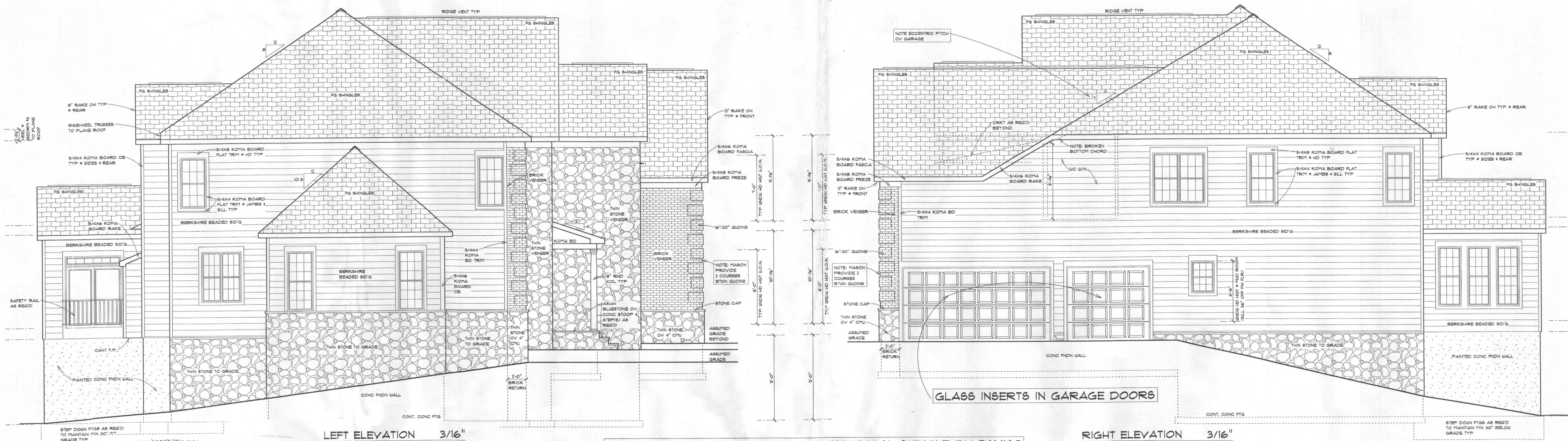


NOTE: SILT FENCE IS TO BE REPLACED WITH SUPER SILT FENCE
AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

**ROBERT H. VOGEL
ENGINEERING, INC.**
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET ELLICOTT CITY, MD 21043
TEL: 410.461.7666 FAX: 410.461.8961

75' @ 5%
ROOFTOP
DISCONNECT (N-1)
NON-ROOFTOP
DISCONNECT (N-2)

REUSED
Date: 9/4/14
Comments: B14000380
OWNER: TRINITY QUALITY HOMES, INC.
3675 PARK AVENUE, SUITE 301
ELLICOTT CITY, MARYLAND 21043
(410) 480-0023
ADDRESS: 12205 BASSLERS WAY
ELLICOTT CITY, MD 21042
GP: 13-038



Insulation (REVISED) 08-24-14

NOTE INSULATOR INSULATE FAMILY ROOM CLG. ONLY W/R-19 Batts. 2ND FLOOR LAUNDRY ROOM WALL W/R15 Batts

NOTE: INSULATOR
ANTI-AIR INFILTRATION SYSTEM:
CAULKING AT EXTERIOR JOINTS,
SEAMS, AND OPENINGS AROUND
DOOR AND WINDOW JAMBS, FOAM
SEALER AT OPENINGS ON
EXTERIOR WALLS.

NOTE: CARPENTER
TYVEK HOUSE WRAP ALL 4 SIDES

UNITED DOUBLE-HUNG WINDOWS
5500 DOUBLE HUNG, LOW-E (U-VALUE OF
0.34) W/ GRILLES, SCREENS, WOOD
CASINGS & SIDE JAMBS EXCEPT GARAGE

NOTE: USE WINDOW DEVICES WHERE
REQUIRED PER IRC 2012 R312.2

INTERIOR SPRINKLER
CONCEALED HEADS

EXTERIOR LAMP POST





IECC 2012 ENERGY CODE COMPLIANCE REQUIREMENTS

THE BUILDING SHALL CONFORM TO THE FOLLOWING MANDATORY REQUIREMENTS PER THE 2012 INTERNATIONAL ENERGY CONSERVATION CODE:

COMPLIANCE CERTIFICATE	A PERMANENT CERTIFICATE APPROVED BY THE LOCAL JURISDICTION DESCRIBING THE R-VALUES, U-FACTORS, AND SHGC OF THE BUILDING COMPONENTS AND BUILDING AIR LEAKAGE TEST RESULTS SHALL BE AFFIXED TO THE ELECTRICAL DISTRIBUTION PANEL OR ANOTHER LOCATION APPROVED BY THE LOCAL JURISDICTION, PER IECC R401.3 (IRC N101.6).
AIR LEAKAGE	ALL NEW CONSTRUCTION BUILDINGS SHALL BE CONSTRUCTED TO LIMIT THE THERMAL ENVELOPE AIR LEAKAGE TO 3 AIR CHANGES PER HOUR AT 50 PASCALS OF PRESSURE AND TESTED VIA A BLOWER DOOR TEST PER IECC R402.4 (IRC N102.4).
MAXIMUM FENESTRATION U-FACTOR AND SHGC	THE MAXIMUM U-FACTOR ALLOWED USING EITHER THE TOTAL UA ALTERNATIVE METHOD PER IECC R402.1.4 (IRC N102.1.4) OR THE SIMULATED PERFORMANCE ALTERNATIVE PER IECC R405 (IRC N105) SHALL BE 0.48 FOR VERTICAL FENESTRATION AND 0.75 FOR SKYLIGHTS PER IECC R402.9 (IRC N102.9).
HVAC CONTROLS	EACH HEATING AND COOLING SYSTEM SHALL HAVE AT LEAST ONE THERMOSTAT PER IECC R403.1 (IRC N103.1). IF THE PRIMARY HEATING SYSTEM IS A FORCED AIR FURNACE, A PROGRAMMABLE THERMOSTAT SHALL BE PROVIDED PER IECC R403.1.1 (IRC N103.1.1).
HEAT PUMP SUPPLEMENTARY HEAT	HEAT PUMPS WITH SUPPLEMENTARY ELECTRIC RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFOST, PREVENT SUPPLEMENTAL HEAT FROM OPERATING WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD PER IECC R403.1.2 (IRC N103.1.2).
DUCT SEALING	ALL DUCTS, AIR HANDLERS, AND FILTER BOXES SHALL BE SEALED PER IRC M1601.4.1. DUCT TIGHTNESS SHALL BE VERIFIED BY EITHER A ROUGH-IN OR POSTCONSTRUCTION TEST PER IECC R403.2.2 (IRC N103.2.2) UNLESS DUCTS AND AIR HANDLERS ARE LOCATED ENTIRELY WITHIN THE BUILDING THERMAL ENVELOPE.
BUILDING CAVITIES AS DUCTS OR PLENUMS	BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS PER IECC R403.2.3 (IRC N103.2.3).
MECHANICAL SYSTEM PIPING INSULATION	MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105°F OR BELOW 55°F SHALL BE INSULATED TO R-3 MINIMUM PER IECC R403.3 (IRC N103.3). PIPING INSULATION EXPOSED TO WEATHER SHALL BE PROTECTED FROM DEGRADATION AND DECAY PER IECC R403.3.1 (IRC N103.3.1).
CIRCULATING HOT WATER SYSTEMS	CIRCULATING HOT WATER SYSTEMS SHALL BE PROVIDED WITH AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH TO TURN OFF THE CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE PER IECC R403.4.1 (IRC N103.4.1).
MECHANICAL VENTILATION	THE BUILDING SHALL BE PROVIDED WITH VENTILATION PER IRC M1507 OR OTHER APPROVED MEANS OF VENTILATION PER IECC R403.5 (IRC N103.5). WHOLE-HOUSE VENTILATION FANS SHALL MEET EFFICIENCY STANDARDS PER IECC TABLE R403.5.1 (IRC TABLE N103.5.1).
EQUIPMENT SIZING	HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL J OR OTHER APPROVED HEATING AND COOLING CALCULATION METHODOLOGIES PER IECC R403.6 (IRC N103.6).
SYSTEMS SERVING MULTIPLE DWELLING UNITS	SYSTEMS SERVING MULTIPLE DWELLING UNITS SHALL CONFORM TO IECC SECTIONS C403 AND C404.
SNOW MELT SYSTEMS CONTROLS	SNOW AND ICE MELT SYSTEMS SUPPLIED THROUGH ENERGY SERVICE TO THE BUILDING SHALL INCLUDE AUTOMATIC CONTROLS CAPABLE OF SHUTTING OFF THE SYSTEM WHEN THE PAVEMENT TEMPERATURE IS ABOVE 50°F AND NO PRECIPITATION IS FALLING, AND AUTOMATIC OR MANUAL CONTROLS CAPABLE OF SHUTTING OFF THE SYSTEM WHEN THE OUTDOOR TEMPERATURE IS ABOVE 40°F PER IECC R403.8 (IRC N103.8).
POOLS AND INGROUND PERMANENTLY INSTALLED SPAS	POOLS AND INGROUND SPA HEATERS SHALL HAVE AN ACCESSIBLE ON-OFF SWITCH MOUNTED ON THE OUTSIDE OF THE HEATER THAT ALLOWS SHUT-OFF WITHOUT AFFECTING THE THERMOSTAT SETTING PER IECC R403.9.1 (IRC N103.9.1). GAS-FIRED HEATERS SHALL NOT HAVE CONSTANT BURNING PILOT LIGHTS. HEATERS SHALL HAVE TIME SWITCHES OR OTHER CONTROL METHODS TO AUTOMATICALLY TURN ON AND OFF PER A PRESET SCHEDULE PER IECC R403.9.2 (IRC N103.9.2). HEATED POOLS AND INGROUND SPAS SHALL BE PROVIDED WITH A VAPOR-RETARDANT COVER PER IECC R403.9.3 (IRC N103.9.3).
LIGHTING EQUIPMENT	A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS OR A MINIMUM OF 75% OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS PER IECC R404.1 (IRC N104.1).
FUEL GAS LIGHTING EQUIPMENT	FUEL GAS SYSTEMS SHALL NOT HAVE CONTINUOUSLY BURNING PILOT LIGHT SYSTEMS PER IECC R404.1.1 (IRC N104.1.1).

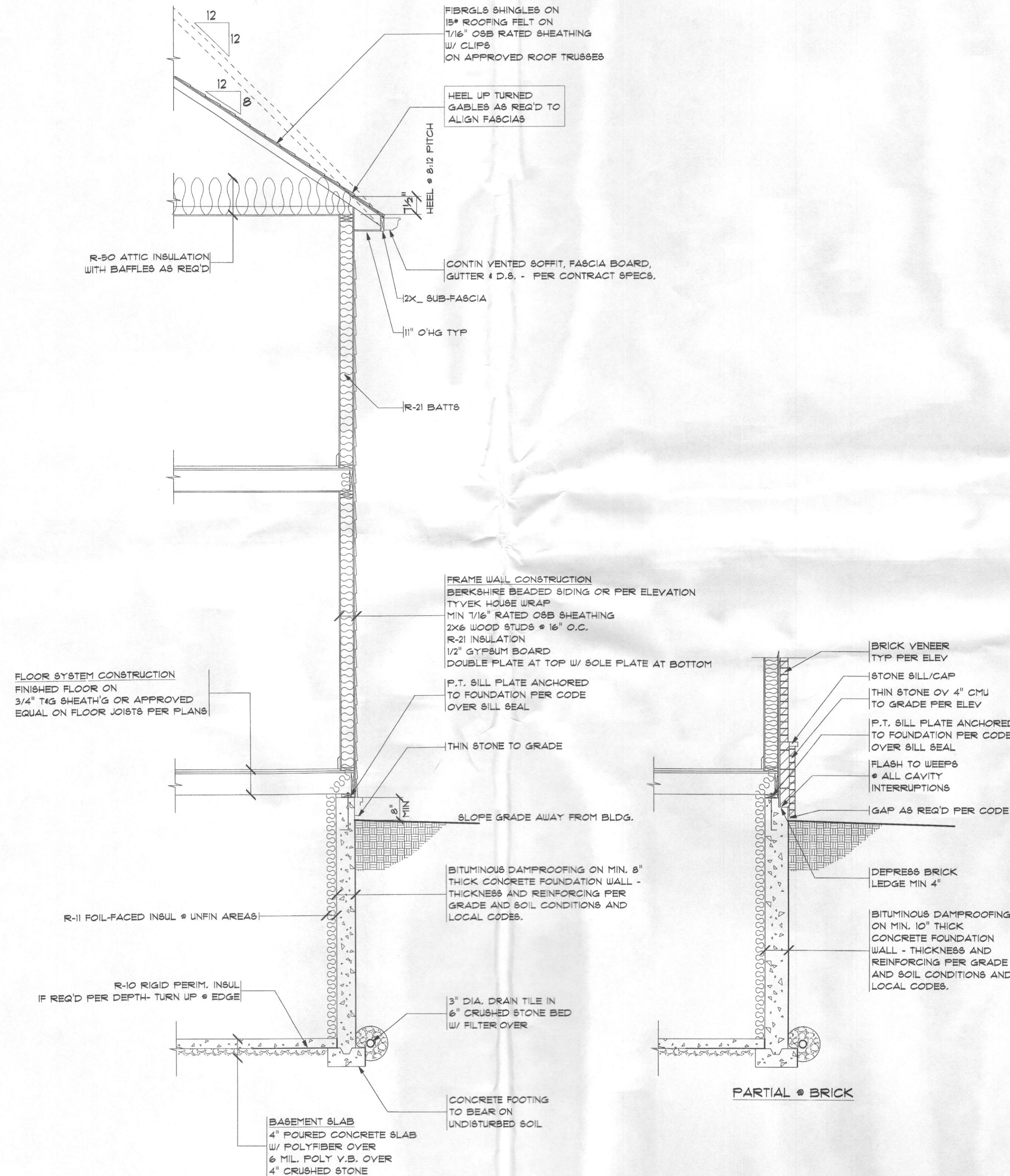
THE BUILDING SHALL ALSO CONFORM TO ONE OF THE FOLLOWING OPTIONS:

COMPONENT	REQUIRED VALUE
CEILING/ROOF	R-48 (COMPRESSED OVER WALL TOP PLATE AT EAVES) OR R-38 (UNCOMPRESSED OVER WALL TOP PLATE AT EAVES)
WALLS	R-20 CAVITY OR R-13 CAVITY PLUS R-5 CONTINUOUS
BASEMENT WALLS	R-10 CONTINUOUS OR R-13 CAVITY
SLAB	R-10, 2' DEPTH
CRAWL SPACE/WALL OF FLOOR	R-10 CONTINUOUS OR R-13 CAVITY R-19
DUCTS OUTSIDE CONDITIONED SPACE	R-8 FOR SUPPLY DUCTS IN ATTICS R-6 FOR ALL OTHER DUCTS
HOT WATER PIPES	R-3 UNLESS OTHERWISE ALLOWED BY IECC R403.4.2 (IRC N103.4.2)
FENESTRATION	U-FACTOR = 0.35 MAX; SHGC = 0.40 MAX
SKYLIGHTS	U-FACTOR = 0.55 MAX; SHGC = 0.40 MAX

2. TOTAL UA ALTERNATIVE
THE BUILDING THERMAL ENVELOPE'S TOTAL UA, CALCULATED PER THE ASHRAE HANDBOOK OF FUNDAMENTALS, IS LESS THAN OR EQUAL TO THE TOTAL UA OF AN EQUIVALENT BUILDING BUILT TO THE PRESCRIPTIVE REQUIREMENTS LISTED ABOVE, PER IECC R402.1.4 (IRC N102.1.4). PRESCRIPTIVE SHGC REQUIREMENTS LISTED ABOVE SHALL BE MET.

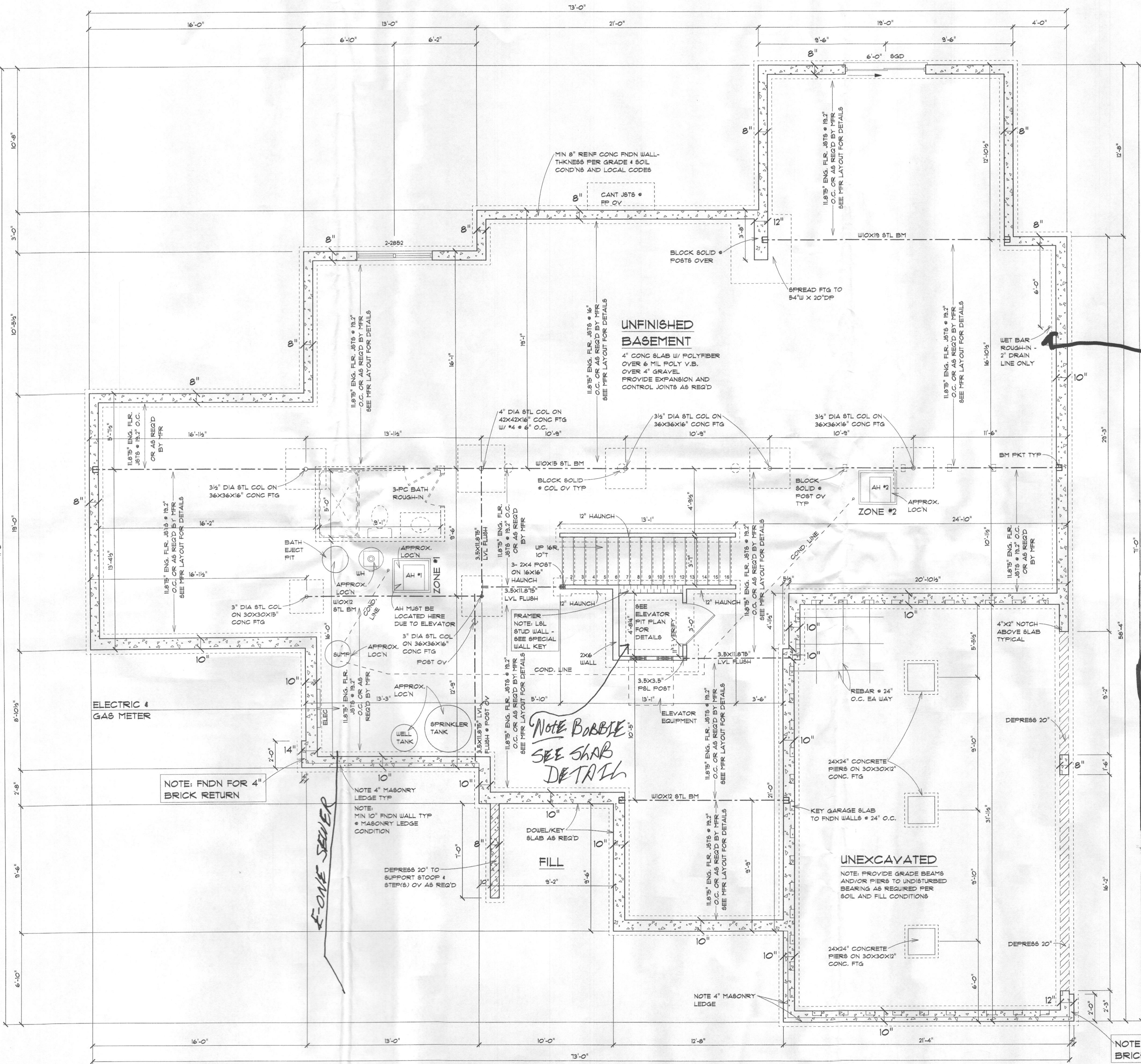
3. SIMULATED PERFORMANCE ALTERNATIVE
A BUILDING ENERGY PERFORMANCE ANALYSIS IS PERFORMED PER IECC R405 (IRC N105) USING SOFTWARE APPROVED BY THE BUILDING OFFICIAL.

PRESCRIPTIVE R-VALUE COMPLIANCE PATH



FRAME WALL SECTION

SCALE: N.T.S.



FOUNDATION PLAN
NOTE: 9'-0" FOUNDATION WALLS

HYAC
C.F.A. = 5,441

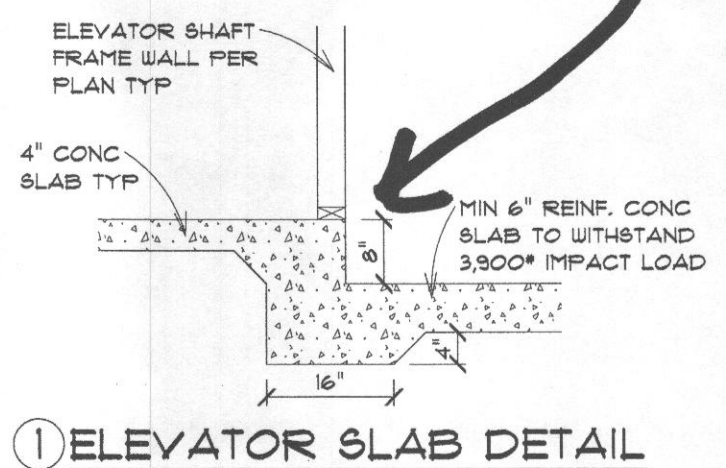
NOTE: PLUMBER
PASSIVE RADON SYSTEM
3" PVC PIPE VENTED THROUGH
ROOF (LOCATION PER PLUMBER)

HVAC: EQUIPMENT - AMANA
ZONE 1 & 2: 90% EFFICIENCY NATURAL
GAS FURNACE WITH 13 SEER A/C UNIT
ZONE 3: 13 SEER HEAT PUMP
VENT RANGE HOOD TO OUTSIDE

E-ONE SEPTIC SYSTEM

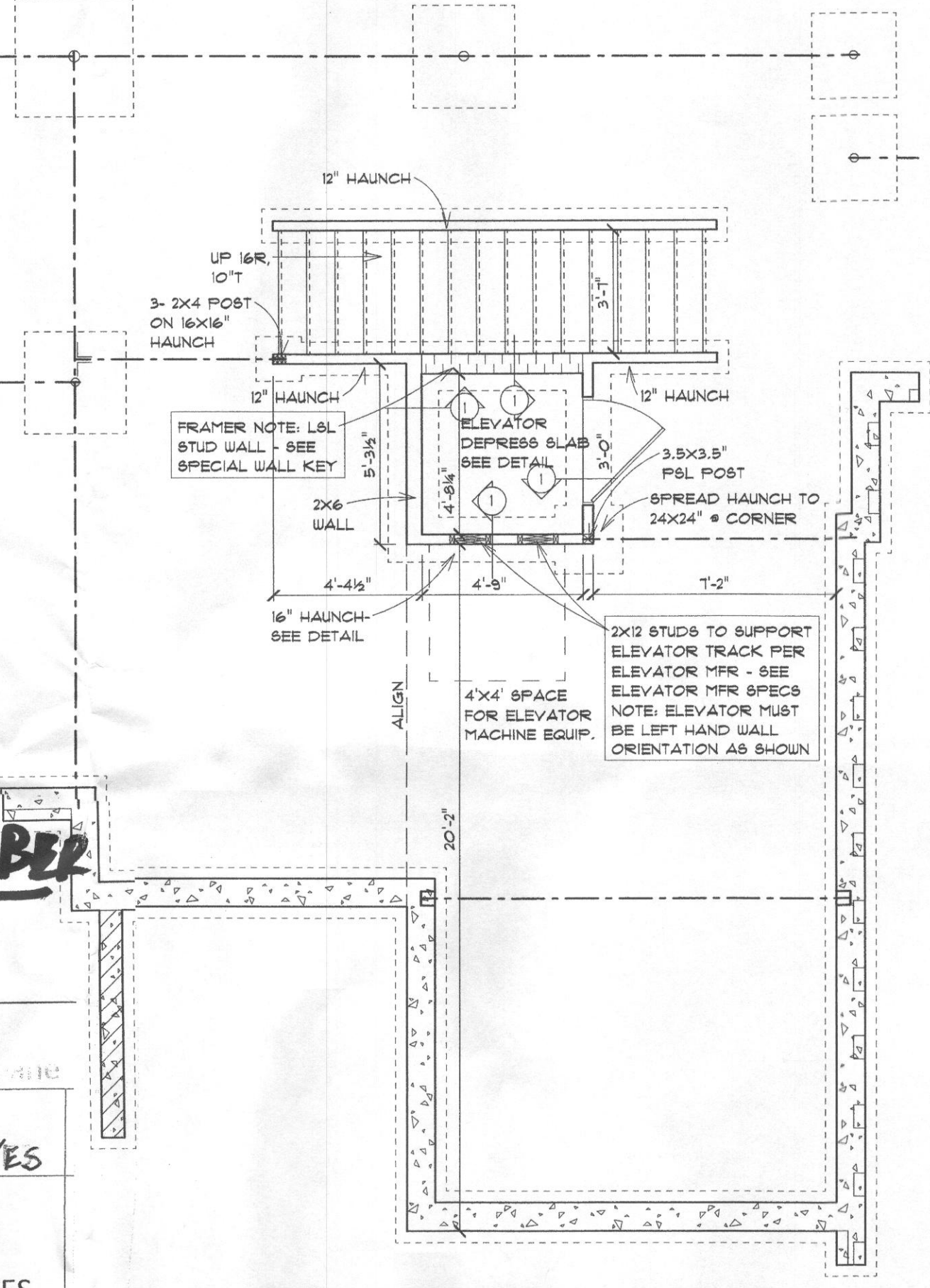
NOTE: ELEV.
PROVIDED BY
Bayer
Perry Engler
Residential Elevators, Inc.
34 Montview Court,
Cockeysville, MD 21030
Mobile: 443-992-6208
Fax: 410-667-1476

NOTE BOBBIE/CONC.
WORKS



① ELEVATOR SLAB DETAIL

NOTE: PLUMBER
WET-BAR
ROUGH IN
DRAIN



ELEVATOR PIT PLAN

NOTE: BOBBIE/CONC.
WORKS

NOTE PLUMBER

Gas: Natural -	
2PD Gas Service	YES
Gas Furnace Zones: ZONES 1 & 2	YES
Fire Place	YES
Cook Top	YES

SPECIAL WALL KEY

30'-1" TALL CONTINUOUS
FRAME WALL: 14x14" L5E
TIMBERSTRAND LSL STUDS @
12" O.C.; SHEATH ELEVATOR
SHAFT SIDE W/ MIN 7/16" OSB

NOTES

- 2000 PER SOIL BEARING CAPACITY ASSUMED.
 - BEAMS, JOISTS, HEADERS AND RAFTERS TO BE S-P-F 1/12 OR EQUAL TYPICAL THROUGHOUT UNLESS OTHERWISE NOTED.
 - VERIFY SIZE AND LOCATIONS OF DOORS AND WINDOWS THIS PLAN PER GRADE AND BUILDER.
 - ENGINEERED JOIST SPACING AND SERIES TO BE DESIGNED BY MFR FOR L/480 MAX DEFLECTION. ALL LAMINATED BEAMS AND BUILT-UP JOISTS TO BE DESIGNED/VERIFIED BY MFR TYPICAL THROUGHOUT.
- NOTE: ENGINEERED JOISTS ASSUMED TO BE MIN WEYERHAEUSER SERIES 210 OR EQ TYP THROUGHOUT

9'-0" FOUNDATION WALLS

NOTE: L/480 MAX JOIST DEFLECTION

2012 CODE

NOTE: Jay B² DOORS FIRST FLOOR 6 @ 2ND FLOOR
WALNUT CREEK INTERIOR TRIM PACKAGE

DOORS: 1ST & 2ND FLOORS - PREHUNG MASONITE, RAISED CAMDEN
DOOR HARDWARE: SATIN NICKEL STOPS, KNOBS, HINGES, AND HANDLES
DOOR TRIM: 1ST & 2ND FLOORS - 3/4" BEADED EDGE CASING, FINGER JOINT
BASE: 1ST & 2ND FLOORS - 5/8" WM-163E
CHAIR RAIL: TWO PIECES WM-302 W/ 1/4" BEADED BOTTOM BACKER IN DINING ROOM
CROWN MOULDING: THREE PIECE 4 5/8" CROWN W/ BEADED BOTTOM BACKER W/ #183 TRIM IN LIVING ROOM, DINING ROOM, FOYER, SECOND FLOOR HALL, LIBRARY, REAR SUNROOM, FAMILY ROOM AND GALLERY WALL.
COFFERED CEILING: TWO PIECE 4 5/8" CROWN W/ BOTTOM BACKER

NOTE: CARPENTER
ALLOW 4" FOR 3/4" CASING
ON 1ST FLOOR & 2ND FLOOR

FAMILY ROOM FIREPLACE: LENNOX
MILLIVOLT EDV4035 NATURAL GAS PRE
ENGINEERED DIRECT VENT FIREPLACE
F.P. ROUGH OPENING, LENNOX MILLIVOLT
EDV4035: 41" W x 40 1/2" H x 23" D

NOTE: CARPENTER
SET TOP OF WINDOW 6'-6" OFF
SUBFLOOR (SILL 36" OFF FIN FLOOR)

NOTE PLUMBER W&D.
STACKABLE

2 GARAGE DOOR OPENERS
LIFTMASTER 3265

SPECIAL WALL KEY

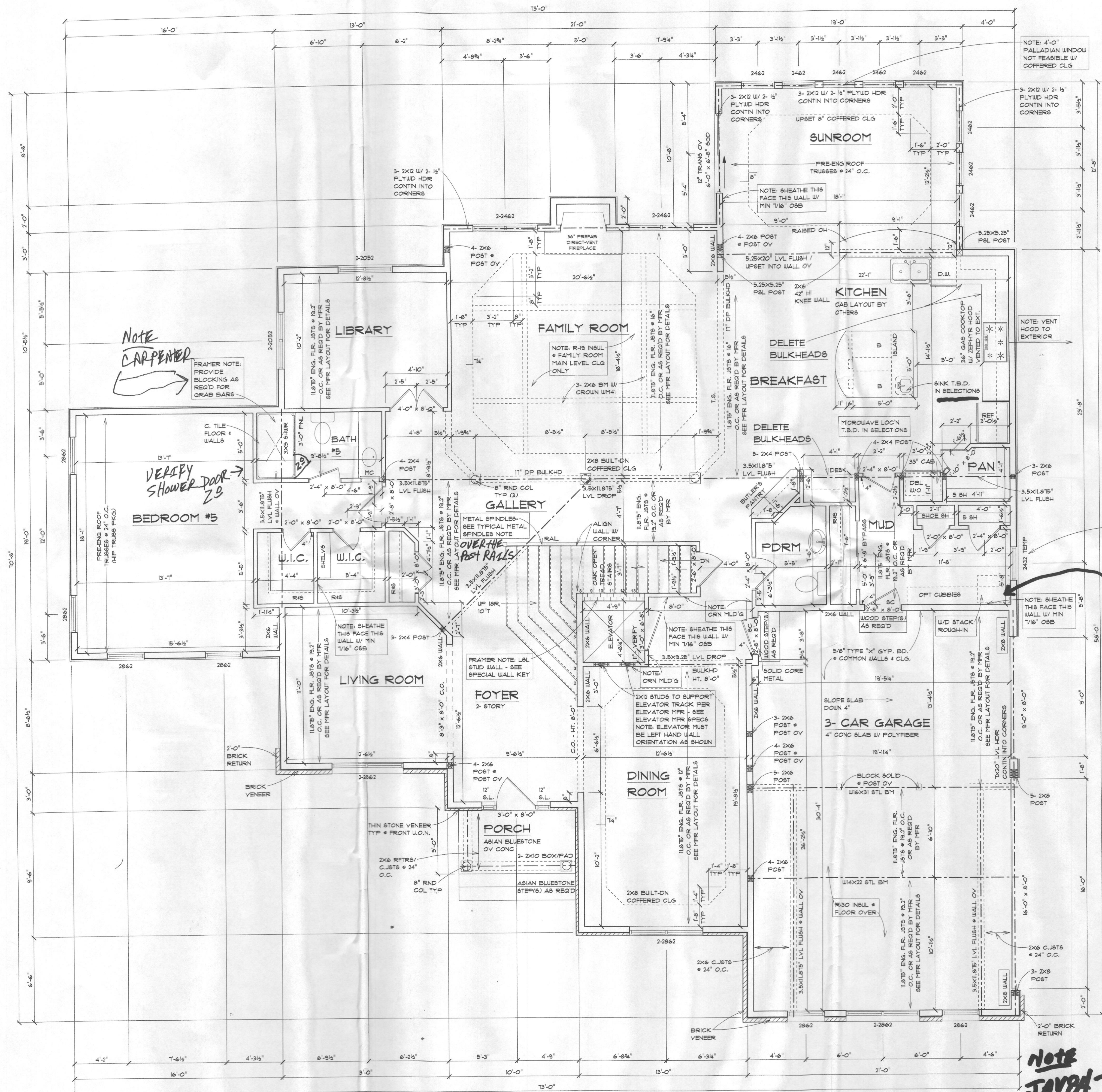
30'-1" TALL CONTINUOUS
FRAME WALL: 1 1/2" x 14" L.B.E
TIMBERSTRAND LSL STUDS @
12" O.C.; SHEATHE ELEVATOR
SHAFT SIDE W/ MIN 7/16" OSB

NOTE: INTERIOR STAIRS SHALL CONFORM
TO THE FOLLOWING GEOMETRY:

STRAIGHT:
RISER HEIGHT 7.75" MAX
TREAD DEPTH 10" MIN
NOSING .75" MIN 1.25" MAX
(NOTE: NOSING MAY BE OMITTED @
TREAD DEPTH OF 11" OR GREATER)

NOTE: 10' CEILINGS
2X6 EXTERIOR WALLS U.O.N.
8'-0" HI DOORS/DOORWAYS THIS PLAN ONLY U.O.N.

NOTE: L/480 MAX JOIST DEFLECTION



FIRST FLOOR PLAN

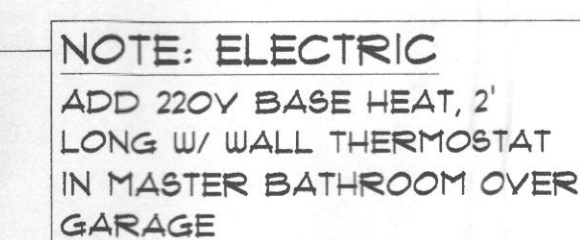
NOTE: 10'-1/8" WALL HGT
2X6 EXTERIOR WALLS U.O.N.
45 DEG ANGLE WALLS U.O.N.

NOTE JAY
B4

TYPICAL METAL SPINDLES
INCLUDES OIL RUBBED COPPER
SPINDLES BASKET C2552 & STRAIGHT
C2551 BOTH W/ TWISTS & COLLARS AND
OVER THE POST RAILS FRONT & REAR
STAIRS (FER PLAN)

2012 CODE

SCALE: $\frac{1}{2}" = 1'-0"$



NOTE: 9' CEILINGS U.O.N.
2X6 EXTERIOR WALLS

2012 CODE

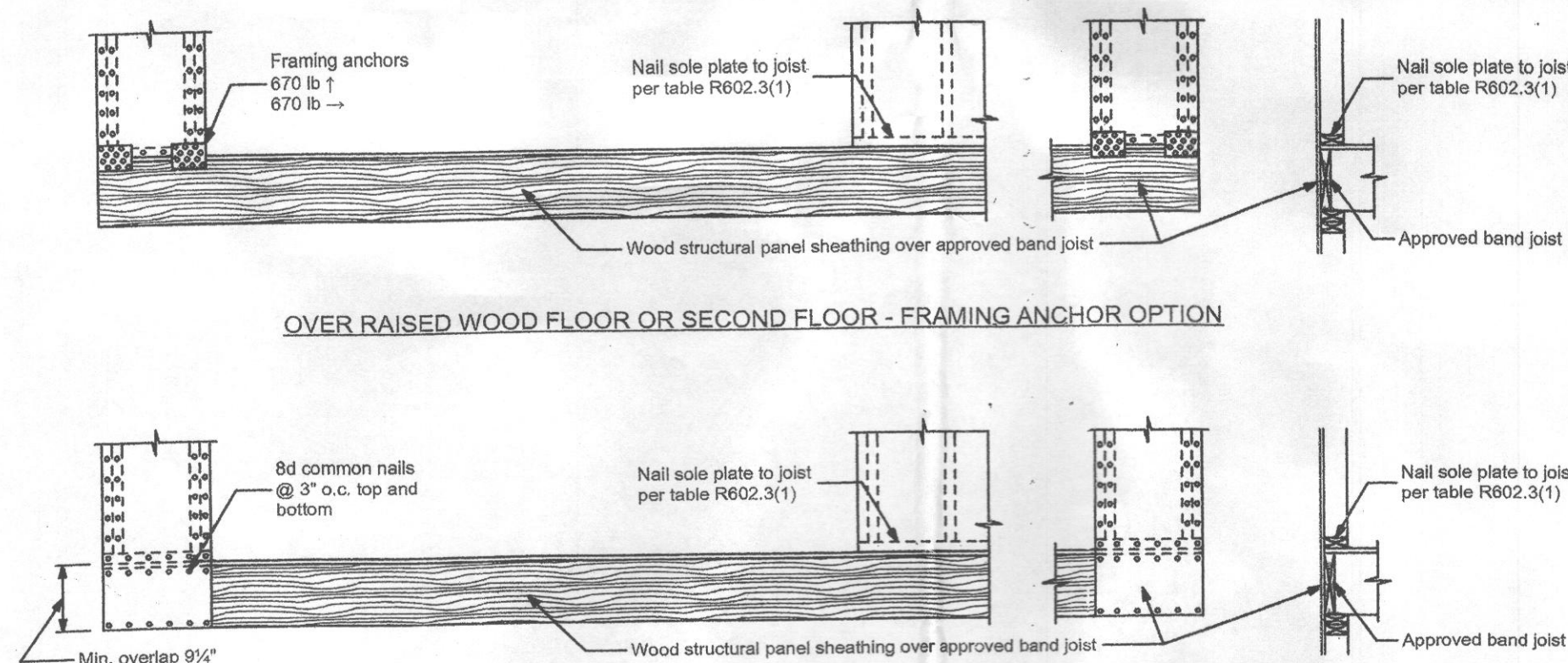
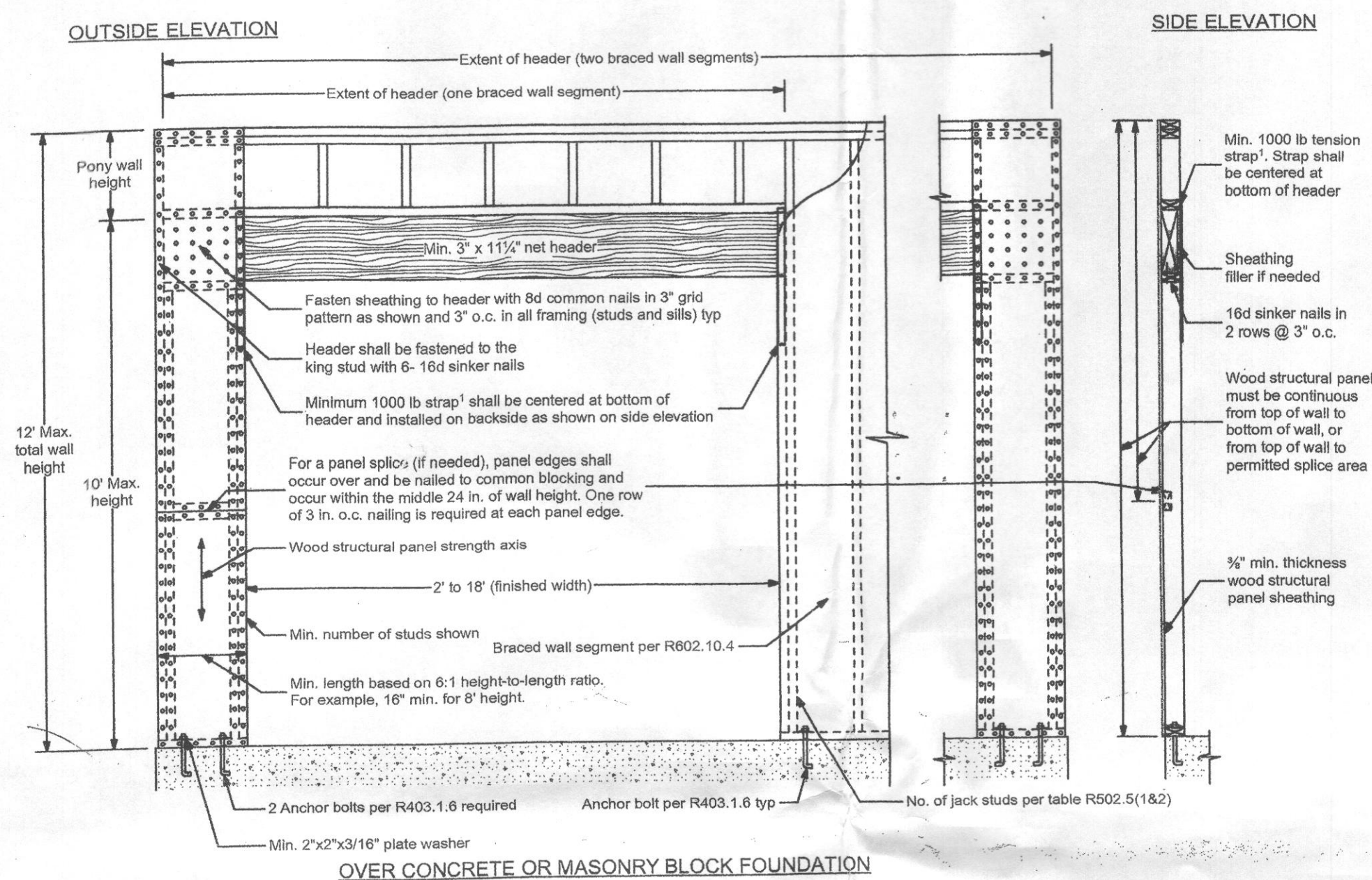
NOTES

Methods WSP & CS-WSP: Min. 7/16" OSB Wood Structural Panel sheathing attached to framing with 6d at 6" o.c. at panel edges and 12" o.c. at intermediate framing members.

Note: At Braced Wall Lines incorporating Continuously Sheathed bracing methods (CS-WSP & CS-PF), all exterior walls along the Braced Wall Line must be fully sheathed with min 7/16" OSB Wood Structural Panel sheathing fastened per IRC 2009 Tables R602.3(1), R602.3(2), and R602.3(3).

Method GB: Min. 1/2" gypsum board applied to each side of framing with adhesive and Type S or W screws @ 7" o.c. at panel edges and 24" o.c. at intermediate framing members or nails per IRC 2009 Table R702.3.5 @ 7" o.c. at panel edges and 16" o.c. at intermediate framing members.

Method LIB: Simpson WB/WBC straps installed in an "X" pattern on one face of wall; fasten with 2- 16d nails at top and bottom plates and 1- 8d nail per stud. 8' tall walls to use either WB106/WB106C installed at 60° from horizontal (4'-8" linear wall length) or WB126/WB126C installed at 45° from horizontal (8'-1" linear wall length); 9' tall walls to use WB126/WB126C installed at 53° from horizontal (6'-10" linear wall length); 10' tall walls to use WB143C installed at 45° from horizontal (10'-1" linear wall length).

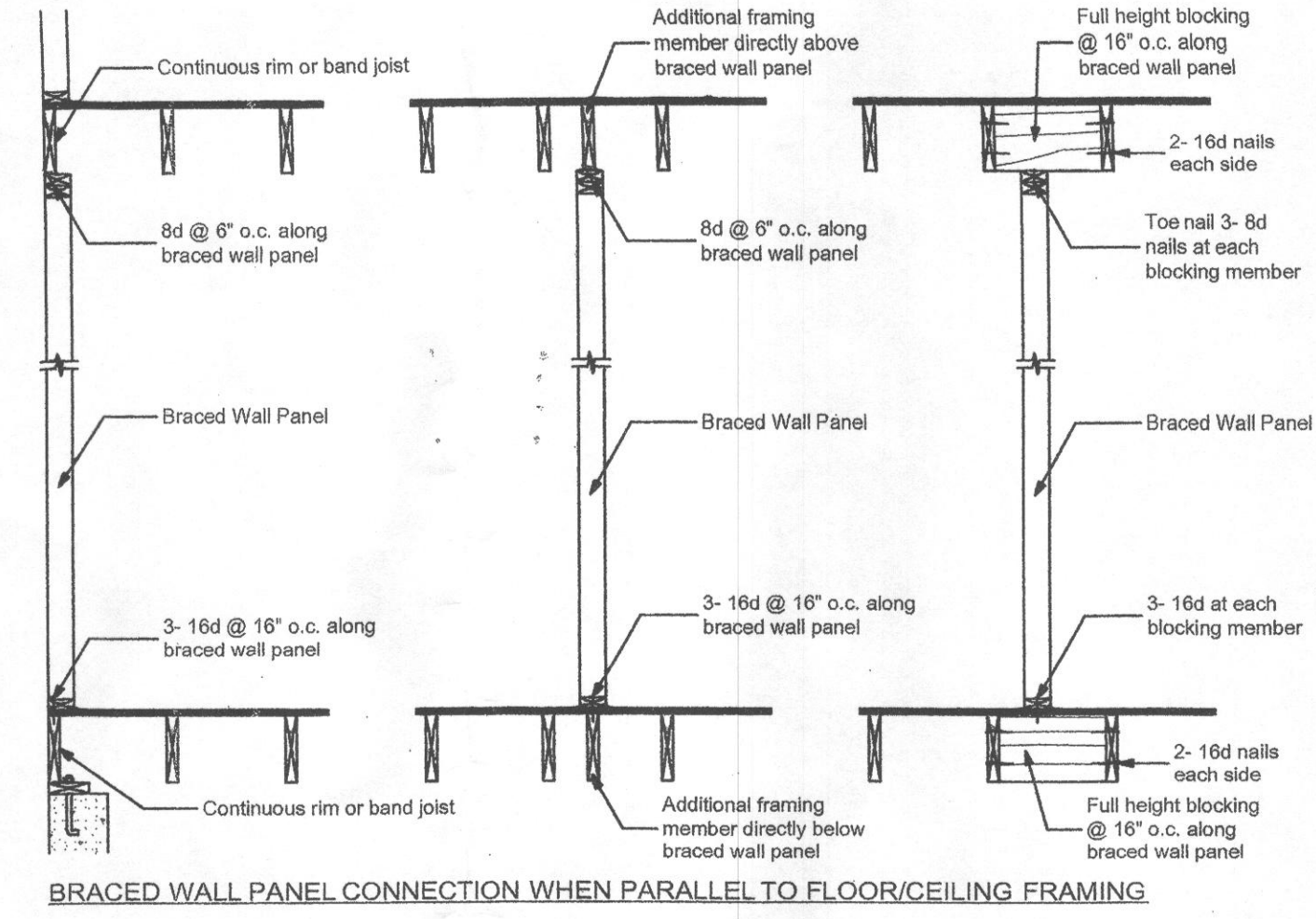
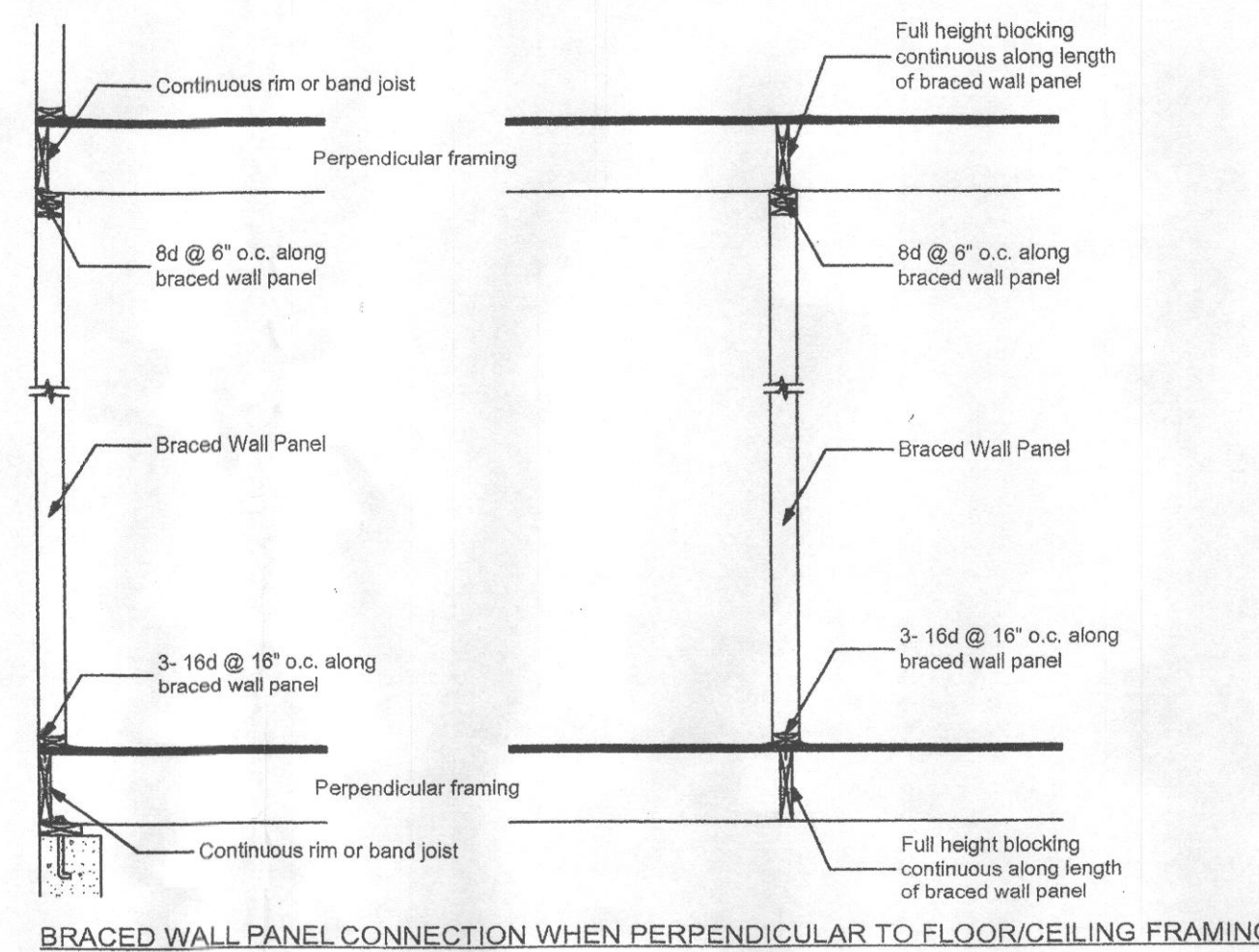


1Tension Strap Capacity Required for Method CS-PF

Minimum Wall Stud Framing Nominal Size and Grade	Maximum Pony Wall Height (feet)	Maximum Total Wall Height (feet)	Maximum Opening Width (feet)	Wind Exposure B Tension strap capacity required (lb)	Wind Exposure C Tension strap capacity required (lb)
2x4 No. 2 Grade	0	10	18	1000	1000
	1	10	9	1000	1000
			16	1000	2325
			18	1200	2725
	2	10	9	1000	1550
			16	2025	3900
			18	2400	DR
	2	12	9	1200	2750
2x6 Stud Grade	2	12	16	3200	DR
			18	3650	DR
	4	12	9	2350	DR
			16	DR	DR
	2	12	9	1000	1750
			16	2050	3550
			18	2450	4100
	4	12	9	1500	2775

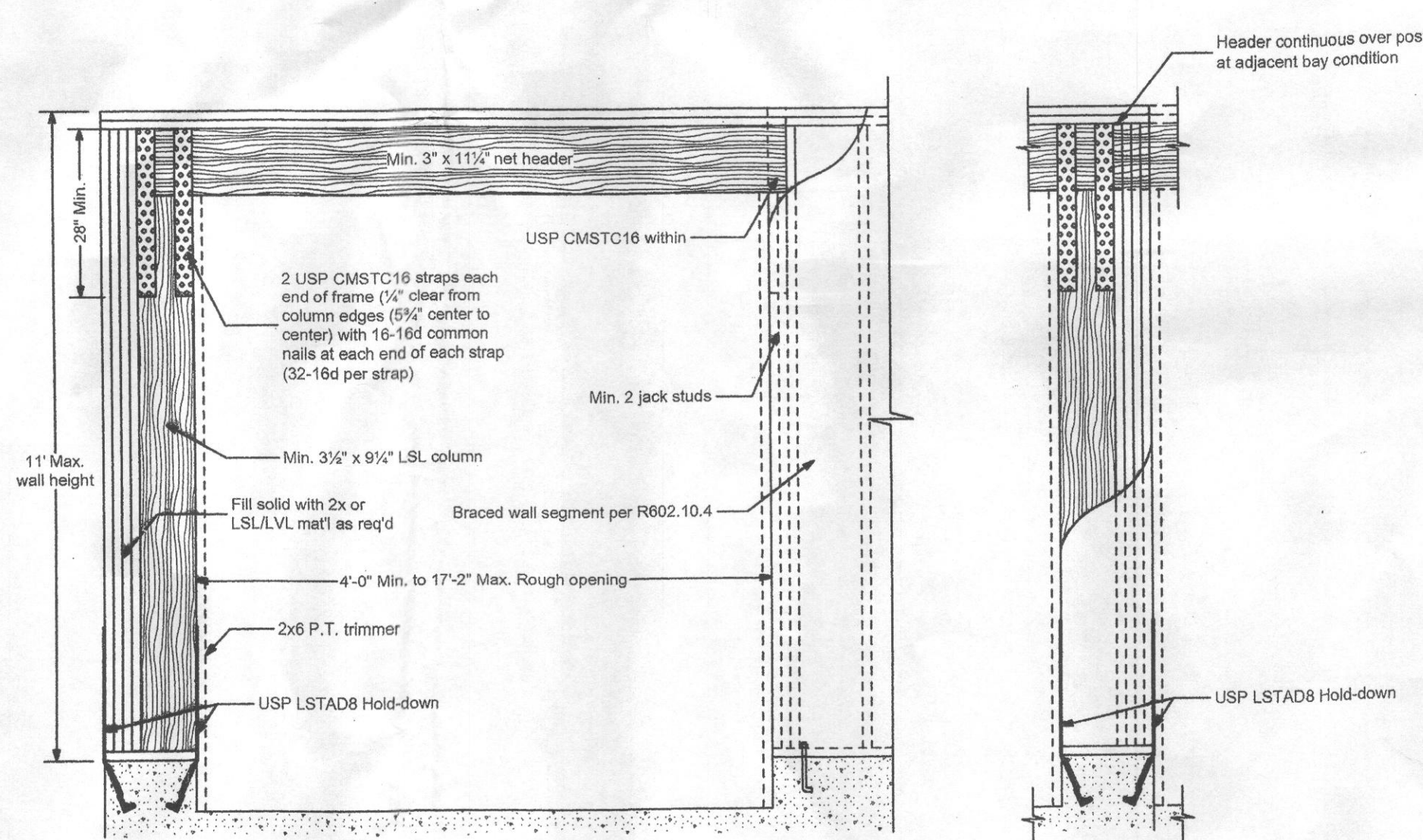
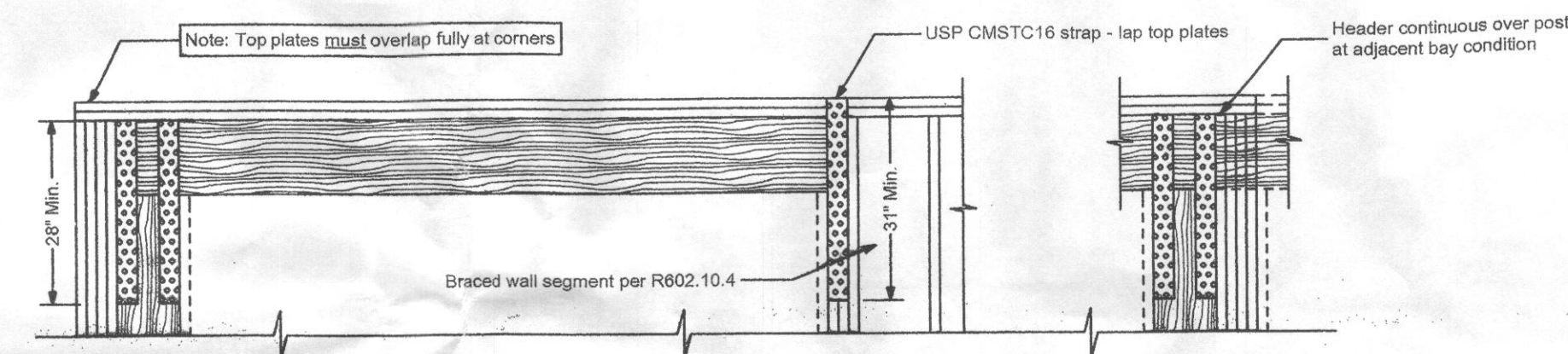
Notes: 1. Basic Wind Speed of 90mph. For other Basic Wind Speeds, see IRC 2009 Table R602.10.4.1.1
2. DR = Design Required

CS-PF Continuous Portal Frame
NOT TO SCALE

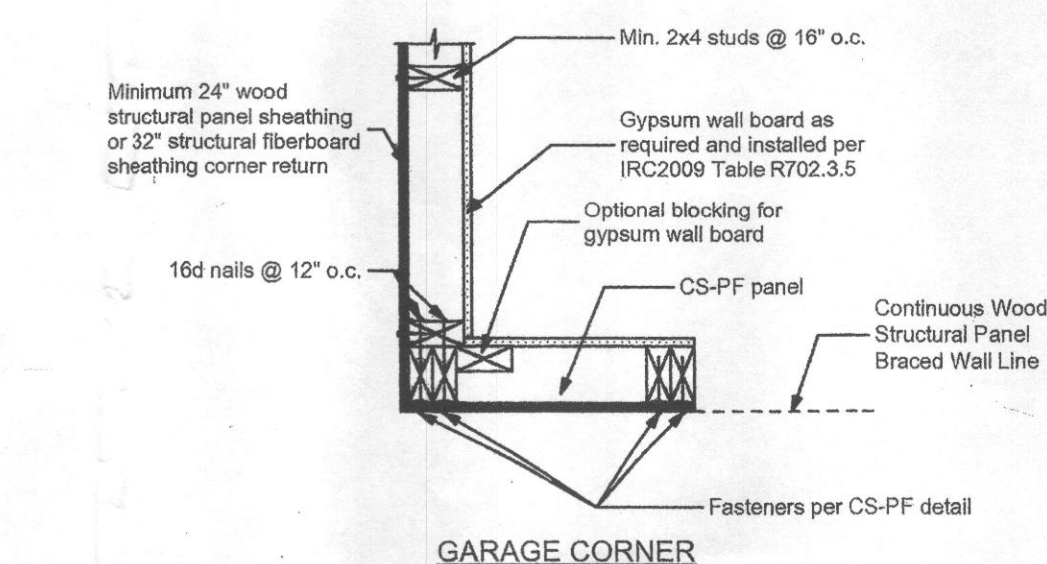
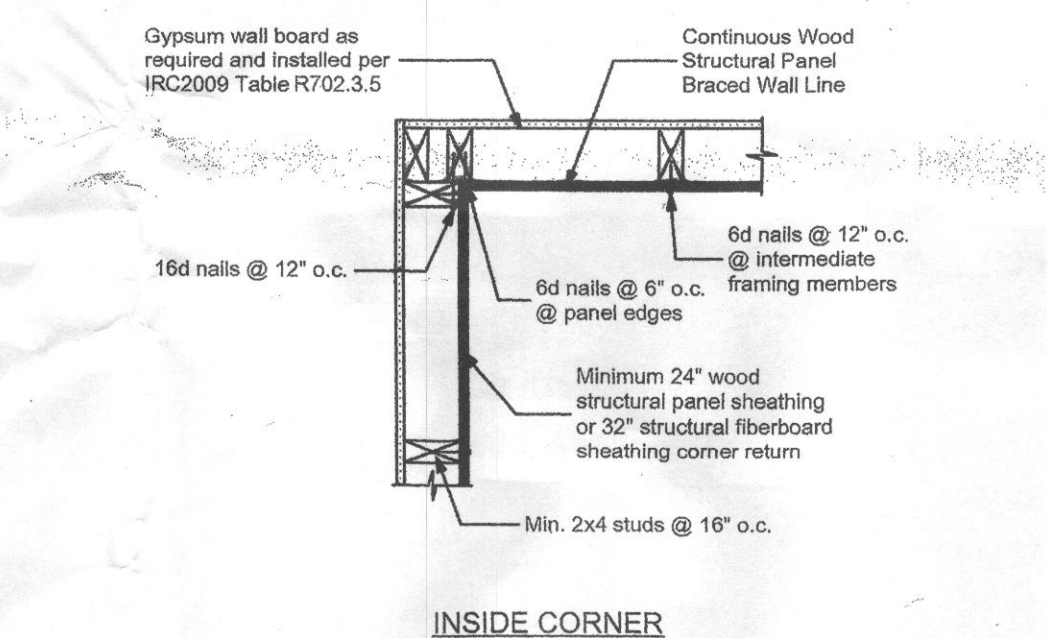
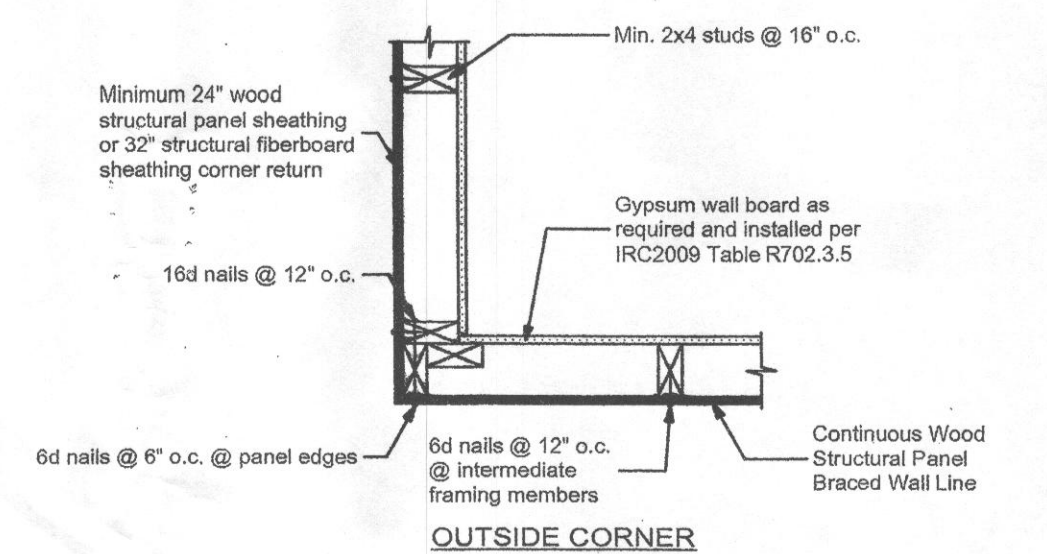
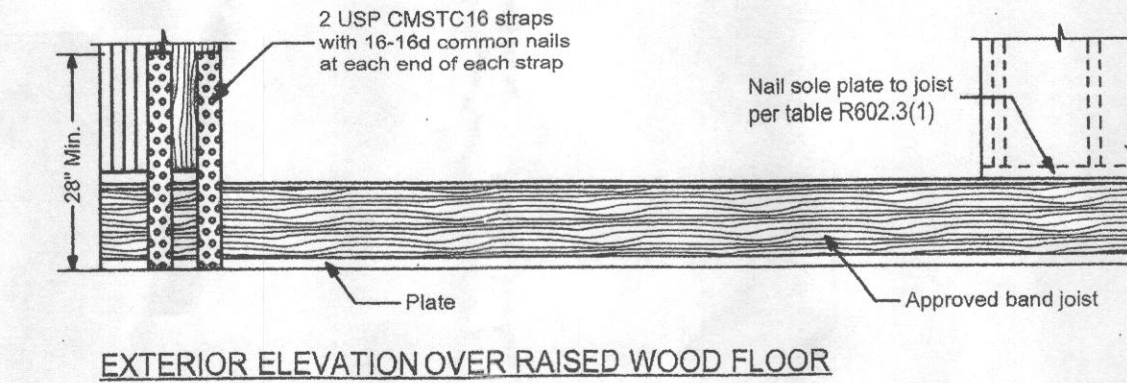


Braced Wall Panel Connections to Floor and Ceiling Framing

NOT TO SCALE



EXTERIOR ELEVATION OVER RAISED WOOD FLOOR



Corner Framing Details

NOT TO SCALE



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STANDARD WIND BRACING DETAILS

REVISIONS

12/13/2010
04/10/2012

DATE

08/16/2010

SHEET NO.

W-1

A-6

EPF Engineered LSL Column Portal Frame
NOT TO SCALE

