
Peter L. Beilenson, M.D., M.P.H., Health Officer

November 28, 2011

RE: 3578 Conchita Drive
Ellicott City, Maryland 21042
Building Permit # B11003378

TO: Paquin Design /Build
C/o Brent Paquin (Contractor)
Via e-mail at: PDB-BRENT@ATLANITCBB.NET
Ellicott City, Maryland 21043


Fortunately, our department can verify percolation testing has been completed on your property and a septic easement has been established. A percolation certification plan has not been located in your file but will be required to process your building permit.

The Howard County Code (sec.3.0808) requires a Percolation Certification Plan for an increase in living space of 250sq.ft. This plan delineates the existing septic reserve area and reflects any proposed changes to the property. Requirements for this plan can be found on our web site: www.hchealth.org. Prior to building permit approval, an approved Percolation Certification Plan is required. Once you have submitted your Percolation Certification Plan and it is approved, it can serve as your building plan.

In addition, floor plans for the proposed addition must be submitted for review.

Your building permit will be placed "on hold" until all Howard County Health Department requirements are met. If you have any questions or correspondence, I can be reached at the above address or by telephone at (410) 313-2775.

Respectfully,



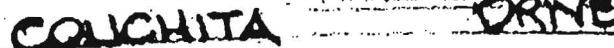
Dana Bernard, REHS/RS
Bureau of Environmental Health
Well and Septic Program
Development and Coordination
Phone (410) 313-2775
E-mail: dbernard@howardcountymd.gov

DLB

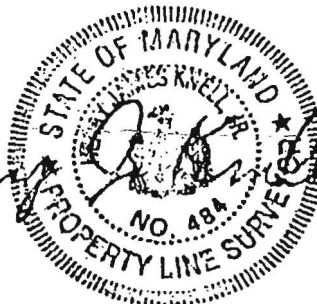
cc: Well & Septic program file
James & Madeline Guertin
3578 Conchita Drive
Ellicott City, Maryland 21042

Signature Dana Binard Date 12-22-11

Variance ignored
for. by me
and received
from Jeff.
Variance letter
will be sent
of 1-3-12



The plat is of benefit to consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing, or refinancing. The plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements. The plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing. The plat contains a tolerance of accuracy of two feet, more or less.



3518 CONCHITA DRIVE, LOT 6, BLOCK 8
"PLAT OF SECTION TWO, KINGSTON"
HOWARD CO. MD PLAT BOOK 22, PAGE 42

FILE: 02-9404

I hereby certify that I have made a survey of this lot for the purpose of locating the improvements thereon and that they are located as shown. This plot is not intended for use in establishing property lines.

9-27-80 John Q. McElmer, Jr. Reg. No. 107



LOCATION SURVEY

#3578 CONCHITA DRIVE - HOWARD CO. MARYLAND

JOHN C. MELLEMA SR. INC.
LAND SURVEYORS

3704 MAGTAVISH AVENUE - BALTIMORE, MARYLAND
21229

SCALE

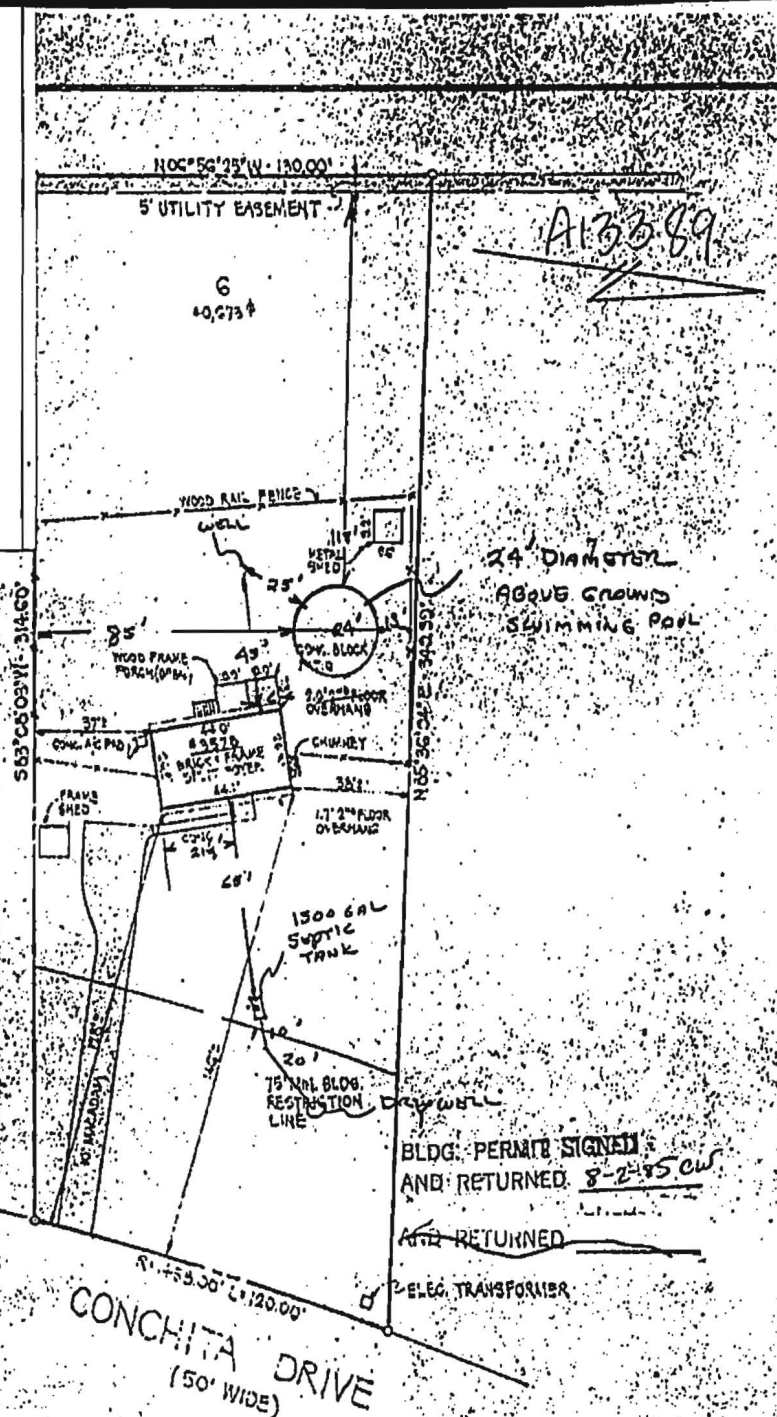
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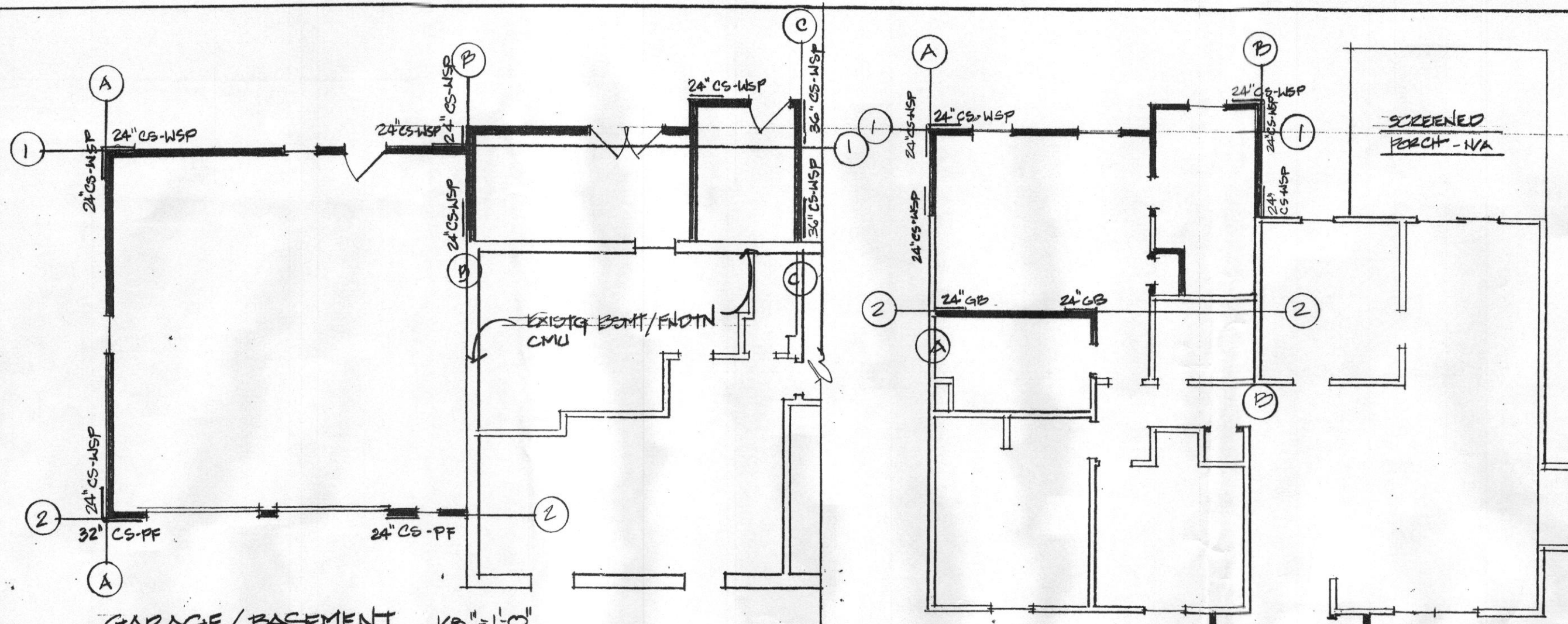
DATE _____

9:27:86

NOB NO

BO200





GARAGE/BASEMENT V_B = 1'-0"

IRC FOOTNOTES	LOWER LEVEL WALL LINE	UPPER LEVEL WALL LINE
(D) EXPOSURE CATEGORY - B	GARAGE	BENT
(E) ROOF EDGE TO RIDGE HT	.70	.88
(F) WALL HT	.95	.7
(G) NUMBER OF WALLS	1	1
WIND FACTOR TOTAL	.72	.79
		.68
METHODS	CS-WSP, CS-PF, GB (DBL SIDED)	

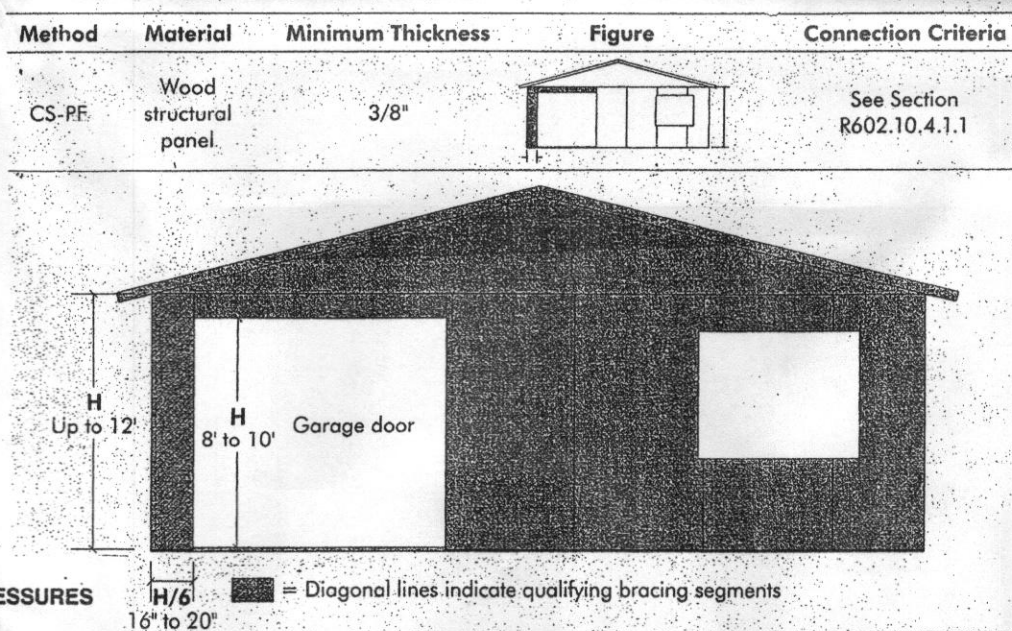
BRACED WALL LINE	BRACING REQUIRED	BRACING PROVIDED
A - GARAGE	4' (MIN)	4'-0"
B "	4' (MIN)	4'-0"
1 "	5.1	6'-0"
2 "	4' (MIN)	4'-0"
C BSMT	5.9	6'-0"
A UPPER	4' (MIN)	4'-0"
B "	4' (MIN)	4'-0"
1 "	4' (MIN)	4'-0"
2 "	4' (MIN)	4'-0"
3 "	4' (MIN)	4'-0"

TABLE R602.10.4.1.1
TENSION STRAP CAPACITY REQUIRED FOR RESISTING WIND PRESSURES PERPENDICULAR TO 6:1 ASPECT RATIO WALLS^{a,b}

MINIMUM WALL STUD FRAMING NOMINAL SIZE AND GRADE	MAXIMUM PONY WALL HEIGHT (feet)	MAXIMUM TOTAL WALL HEIGHT (feet)	MAXIMUM OPENING WIDTH (feet)	BASIC WIND SPEED (mph)					
				Exposure B			Exposure C		
				85	90	100	65	90	100
2 x 4 No. 2 Grade	0	10	18	1000	1000	1000	1000	1000	1000
			9	1000	1000	1000	1000	1000	1275
			16	1000	1000	1750	1800	2325	3500
			18	1000	1200	2100	2175	2725	DR
			9	1000	1000	1025	1075	1550	2500
			16	1525	2025	3125	3200	3900	DR
	2	12	18	1875	2400	3575	3700	DR	DR
			9	1000	1200	2075	2125	2750	4000
			16	2600	3200	DR	DR	DR	DR
			18	3175	3850	DR	DR	DR	DR
			9	1775	2350	3500	3550	DR	DR
			16	4175	DR	DR	DR	DR	DR
2 x 6 Stud Grade	2	12	9	1000	1000	1325	1375	1750	2550
			16	1650	2050	2925	3000	3550	DR
			18	2025	2450	3425	3500	4100	DR
	4	12	9	1125	1500	2225	2275	2775	3800
			16	2650	3150	DR	DR	DR	DR
			18	3125	3675	DR	DR	DR	DR

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 pound force = 4.448 N.
^a DR = design required.
^b Strap shall be installed in accordance with manufacturer's recommendations.

Method CS-PF (continuous portal frame)



Method CS-WSP (continuous wood structural panel sheathing)

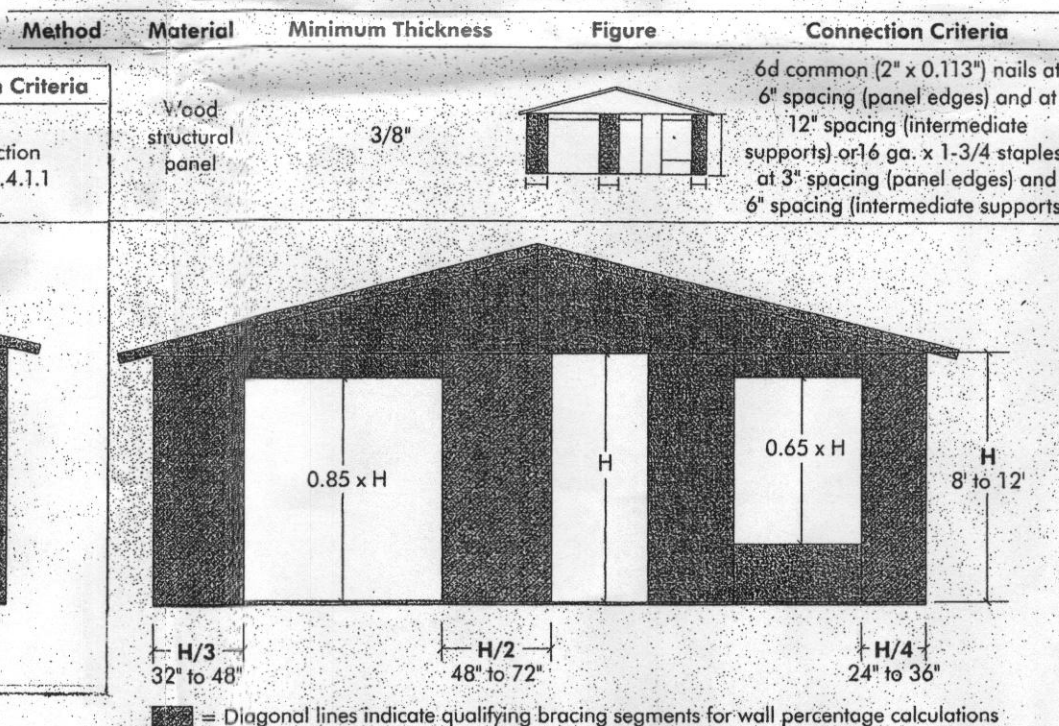
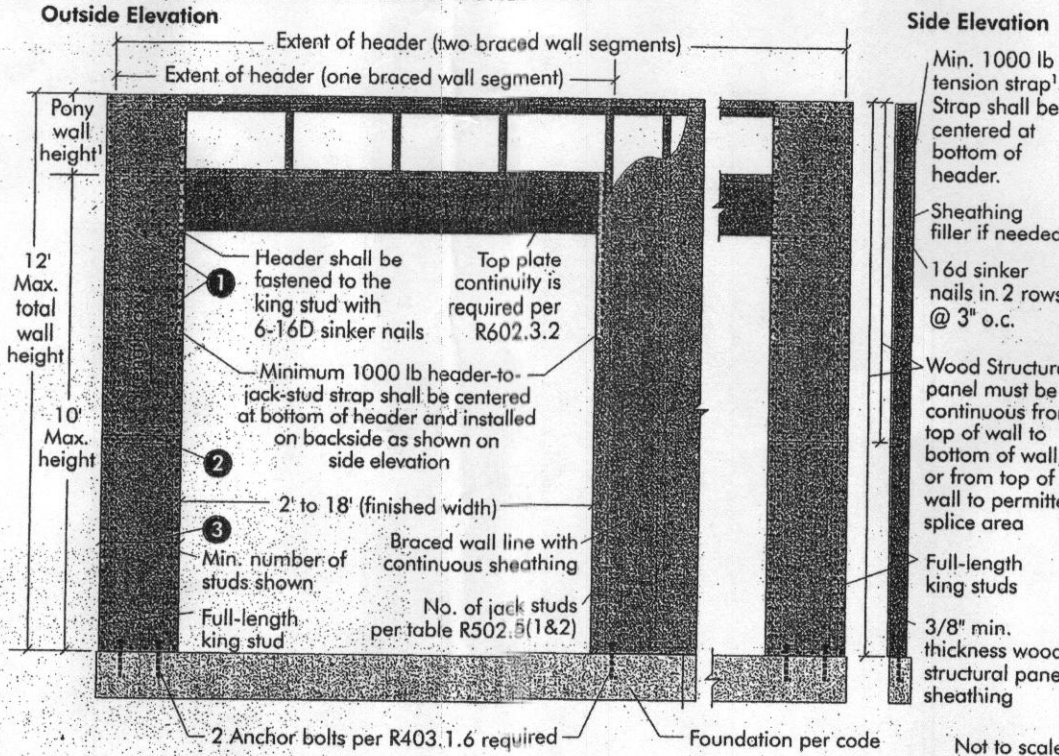


FIGURE 5.22

Method CS-PF - continuous portal frame panel construction

IRC Figure R602.10.4.1.1 (2009 Errata) Reformatted for clarity.
 Details of portal frame without hold downs.

OVER CONCRETE OR MASONRY BLOCK FOUNDATION



- Fasten sheathing to header with 8d common nails in 3-in. grid pattern as shown and 3 in. o.c. in all framing (studs and sills) typ.
- For a panel splice (if needed), panel edges shall occur over and be nailed to common blocking and occur within the middle 24 in. of wall height. One row of 3 in. o.c. nailing is required at each panel edge.
- Min. length based on 6:1 height-to-width ratio. For example: 16 in. min. for 8 ft. height.

^a Per table R602.10.4.1.1

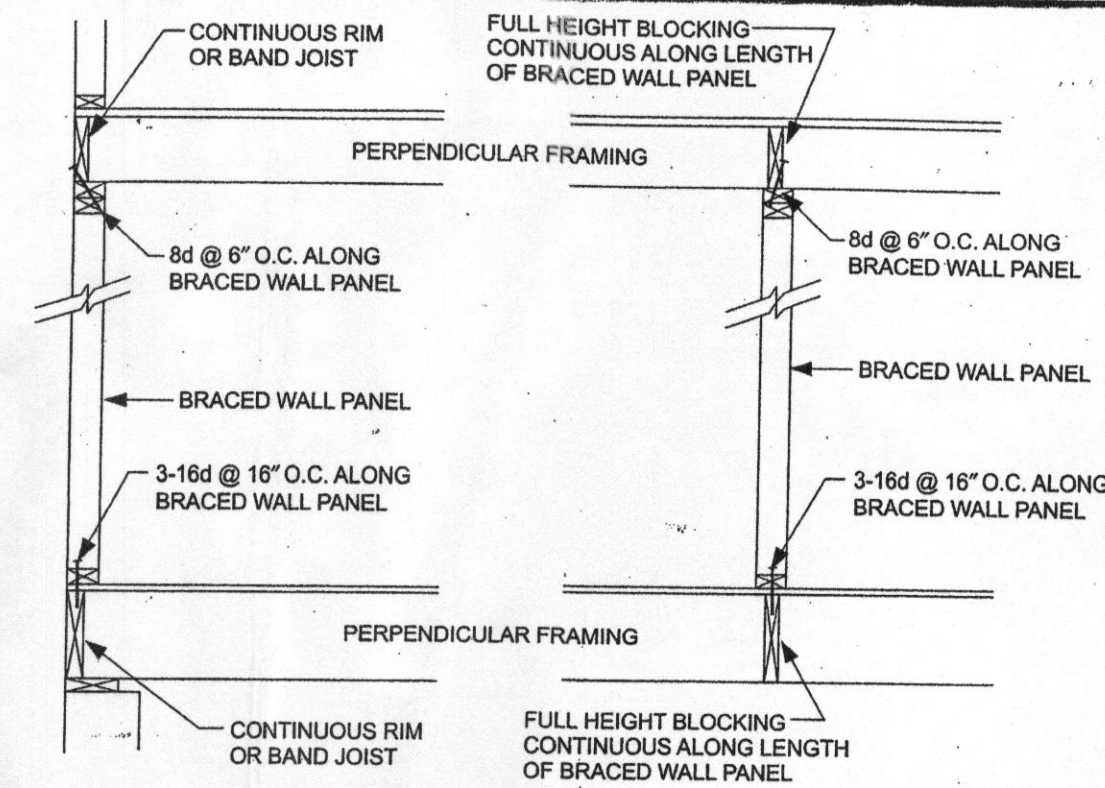


FIGURE R602.10.6(1)
BRACED WALL PANEL CONNECTION WHEN PERPENDICULAR TO FLOOR/CEILING FRAMING

For SI: 1 inch = 25.4 mm.

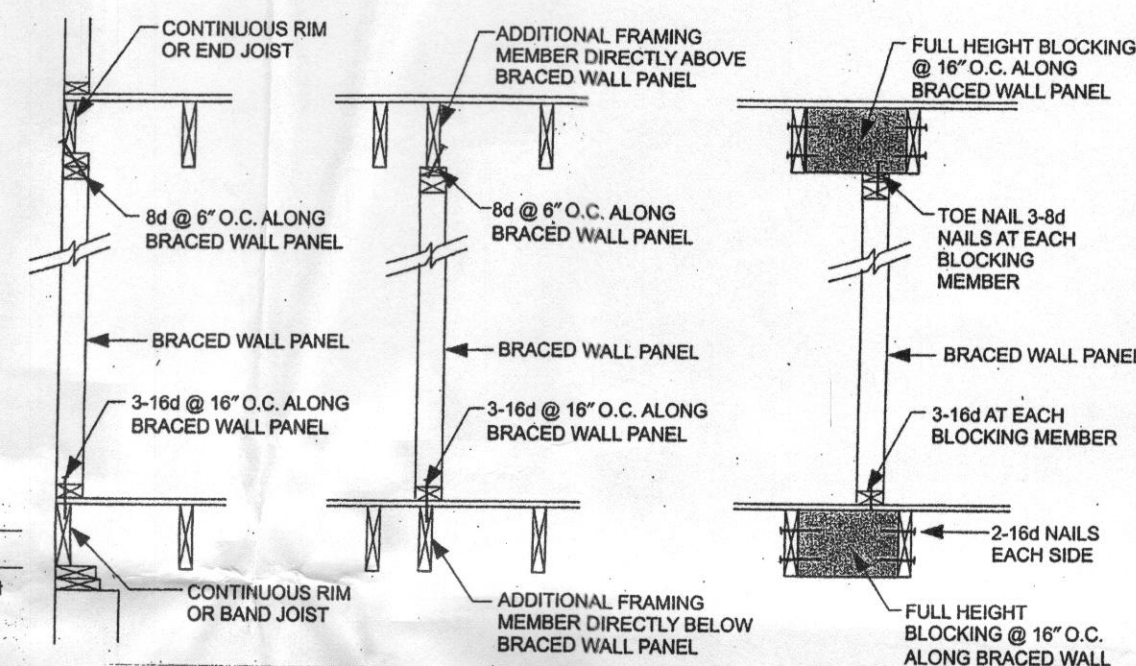
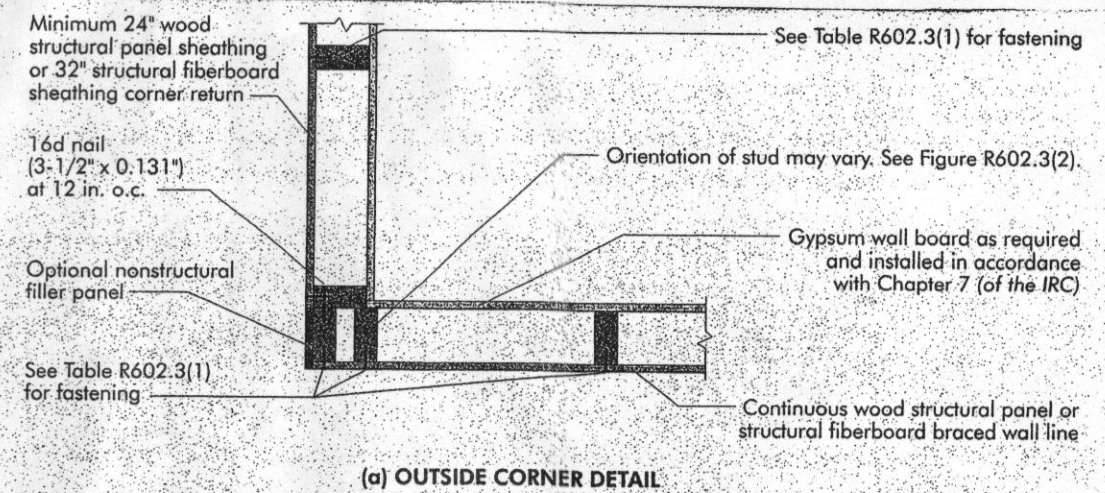
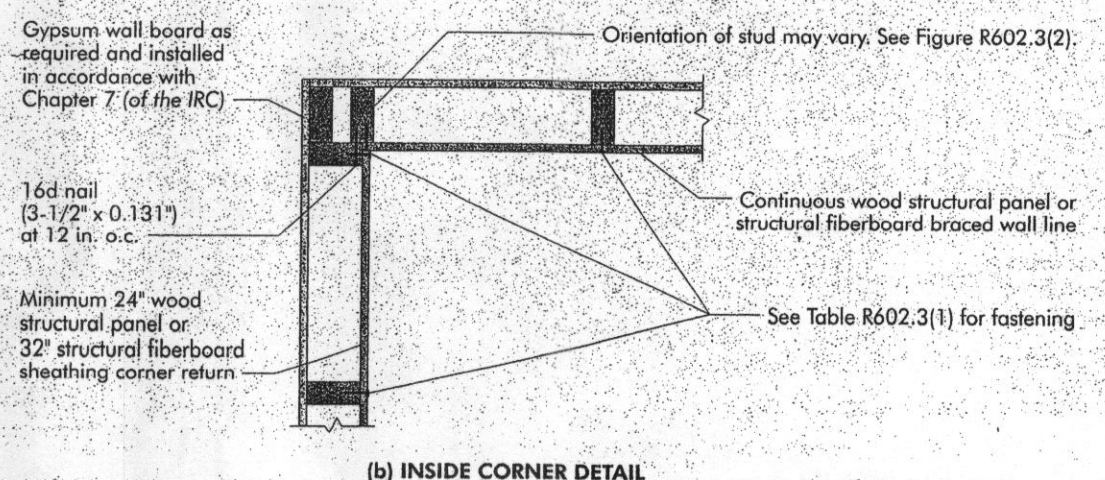


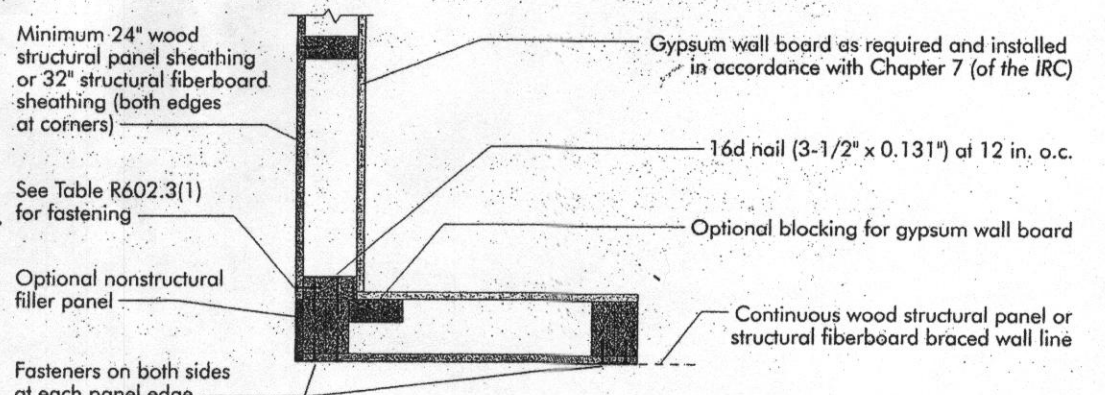
FIGURE R602.10.6(2)
BRACED WALL PANEL CONNECTION WHEN PARALLEL TO FLOOR/CEILING FRAMING



(a) OUTSIDE CORNER DETAIL



(b) INSIDE CORNER DETAIL



(c) GARAGE CORNER DETAIL

Required exterior corner framing attachment details for continuous sheathing
 IRC Figure R602.10.4.4.1

NOTES

General

Field verify all existing conditions, dimensions, grades and relationships between existing and proposed work.

In case of errors, omissions and/or conflicts in these drawings, contact Architect for clarification and/or correction before proceeding with work.

The Contractor shall furnish and install all equipment shown, listed or described on the drawings and notes and provide all labor, tools, and necessary equipment to complete the work. He shall familiarize himself with the site and all conditions detectable by examination.

Any work, materials or equipment necessary for the proper construction of this project which is not specifically covered in the drawings or notes shall be performed in a manner deemed good practice for the trade involved and shall be of a standard quality commensurate with the quality of the rest of the project.

Items specified "to match existing" to be approved by Owner if exact match is not available.

The project shall be erected in compliance with IRC 2009 and all other applicable building, plumbing, electrical and mechanical codes.

All manufactured materials and equipment shall be installed, applied, connected and/or treated in accordance with manufacturer's recommendations and instructions.

The Contractor shall make every effort to work with and coordinate the installation or items and work provided and/or installed by the Owner or by others under separate contracts.

Site Work

Assumed soil-bearing capacity 2000 psf. If soil of lesser bearing capacity is encountered, remedial action must be taken before proceeding with work. Backfill to be free of trash, debris and organic matter.

Finish grade to slope away from building by a minimum of 5%.

Demolition

Remove existing deck, existing rear wall of original house at Master Bedroom and Master Bath, Existing sliding door in Kitchen, double window in Dining Room, front door and wall and all existing walls shown on plans as removed or as needed to accomplish that which is shown on plans. Existing oil tank to be relocated and existing utilities and related equipment to be extended, replaced or relocated to accomplish work shown on plans

Foundations

All footings and foundations to extend below frostline per code on undisturbed soil. Concrete to be ready mixed 5 bag mix with 2500 psi minimum, 5 slump. Reinforce as shown.

Concrete slab to be ready mixed 6 bag mix with steel trowel finish with no visible trowel marks. Vapor barrier to be 6 mil black polyethylene with minimum 6" joint lap.

Termite protection to be provided with EPA approved chemical.

Foundation drain shall be 3" minimum corrugated polyethylene plastic in continuous runs. Existing sump drain to be extended.

Wood

All new exterior walls to be continuously sheathed with wood structural panel sheathing, CS-WSP, with CS-PF at Garage overhead doors.

All concentrated and distributed loads to be provided with solid bearing adequate to carry that load.

Roof sheathing to be APA rated sheathing exposure 1, group 1 species with span rating of 24/0. Protect outer edges with prefinished metal drip edge at all rakes and fascia.

Wall sheathing to be minimum 4-ply APA rated sheathing exposure 1 plywood, span rating of 32/16.

All joists, beams, headers and rafters to be kiln dried or Surfaced dry #2 hem-fir, base Fb=850, unless specified otherwise. Floor joists at addition to be preservative treated wood if inside grade is less than 18".

Preservative treated wood to be NatureWood or equal, southern yellow pine kiln dried or Surfaced dry, base Fb= 975, unless specified otherwise with water repellent coating.

Microllam beams to be 1.9E Microllam LVL as manufactured by iLevel Trusjoist.

Parallam posts to be 1.8 ES Parallam PSL as manufactured by iLevel Trusjoist.

Truss engineering to be provided by truss manufacturer.

Metal

Metal connectors and fasteners to be as manufactured by USP Structural Connectors or Simpson Strong-Tie unless specified otherwise. Fasteners and other metal in contact with preservative treated wood shall be of hot-dipped zinc-coated galvanized steel, minimum ASTM-A 653 type G185 or type 304 and 316 stainless steel, silicon bronze or copper. Aluminum should not be used in direct contact with preservative treated wood.

Post anchor bases to be USP #KCBQ66 with G90 galvanizing with supplied fasteners. Post caps to be USP stock #PBS66 at intermediate posts and #PBES66 at end posts with G90 galvanizing. Provide solid pressure treated blocking between deck beams and/or posts to flush out beams and posts below.

Rafter hurricane ties to be USP RT7A or equal with all nail holes filled with specified nails.

Insulation and Moisture Protection

Vapor barrier to be 6 mil black polyethylene with minimum 6" joint lap.

At ridges, eaves, valleys, penetrations, sidewalls, skylights and flashing provided Grace Ice and Water Shield or equal.

Ledger flashing to be 3 mil copper flashing with plastic ledger flashing. Flash all surfaces in direct contact with concrete slabs or masonry.

Flashing to be prefinished aluminum where exposed, mill finish where hidden upon completion of work. Head and valley flashing to be continuous. Side walls to be step flashed. Provide neoprene/galvanized metal self flashing collars at all vent stacks. Flash all surfaces in direct contact with concrete slabs or masonry.

Air infiltration barrier to be Tyvek by Dupont.

Sill seal to be ethafoam 221 polyethylene foam sheet as manufactured by DOW.

Fiberglass batt insulation to be CertainTeed R-13 at first floor exterior walls and R-19 at basement exterior walls, R-10 at walls in crawl space, R-38 over new roof/ceiling spaces over conditioned areas and R-6 rigid polystyrene sub-slab insulation in new basement. Vapor barriers to be installed toward living space.

Provide airseal at cracks, outlets, windows and doors.

All plumbing in exterior walls, ceilings and floors over and in unheated spaces to be wrapped in pre-molded pipe insulation or installed in an insulated chase vented to the interior. Insulate ductwork running through unconditioned areas.

Exterior Finishes

Siding with 4" cornerboards to be CertainTeed Cedarboards XL double 6 insulated vinyl with Azek trim. Provide all flashing and accessories for a complete installation.

Rakes and fascias to be Azek trimboards at new and existing house.

Porch ceilings to be Azek beadboard.

Porch columns to be built out with Azek Trimboards and Panels.

Screening at Screened Porch to be charcoal anodized aluminum.

Shingles to be CertainTeed XT 30, weathered wood fiberglass asphalt self sealing shingles at entire house.

Ridge vent to be Ridge FilterVent or Ridge Filter ShingleVent II, manufactured by Air Vent Inc. or comparable product with external baffle.

Gutters and downspouts to be prefinished aluminum to match existing.

Porch railing to be Azek Trademark Railing with square balusters and vinyl post sleeves. Provide surface mounting bracket and all accessories for a complete installation.

Composite decking to be as manufactured by Timbertech or equal.

Doors and Windows

New windows to be tilt-wash 200 series double hung, casement windows and 400 Series fixed unit with 200 Series Gliding French door as manufactured by Andersen in white with low-E insulated glazing and screens at operable units. Provide tempered glass and opening limiters where required by code.

Skylights to be Model FS as manufactured by Velux with flashing kit and all accessories for a complete installation.

Exterior doors to be as manufactured by Thermatru or equal as selected by Owner. Provide Schlage F Series exterior locksets with dead bolts at exterior doors.

Overhead Garage door to be prefinished insulated steel

Interior Finishes

Existing strip hardwood to be extended into new areas as shown on plans. Weave new strips into existing floor and finish entire floor with polyurethane finish to match existing.

Ceramic tile and tub surround to be selected by Owner. Tile underlayment plus floor sheathing to equal minimum 1" thickness.

Drywall to be ½", glued, nailed, taped, blocked, skimmed, sanded and pointed up after priming. Durock waterproof wallboard in tub and shower areas.

Closet and Linen shelving to be wood rods with ¾" medium density fiberboard shelving on cleats with hardwood nosings and supports at 48" o.c. maximum.

Paint shall be Benjamin Moore or equal, two coats minimum at new drywall, one coat minimum at existing drywall to be painted, ceiling white interior flat vinyl latex ceiling paint at ceilings, interior acrylic velvet on interior walls and interior acrylic semi-gloss enamel at bathroom, doors, baseboards and trim.

Interior doors to be prefinished pre-hung six panel Masonite wood grain.

Casing and base to match existing.

Specialties

Traditional vinyl covered pressure-treated 10' x 10' pine Pergola kit as manufactured by Country Lane Woodworking with standard decorative end caps and heavy duty headers with braces to be provided and installed by Contractor with all accessories for a complete installation. Patio to be provided by others. Field locate in vicinity shown on Site Plan maintaining minimum 30' clearance from well.

Pull-down attic stair to be "WH" Series 350 lb capacity heavy duty attic stair as manufactured by Werner or equal.

Electrical

Contractor to evaluate existing electrical service and extend and supplement to serve new and modified areas. Existing electrical panel to be upgraded and hook-up for Owner provided generator with transfer case and related services to be provided. Existing electrical service to be demolished and capped off at removed walls. All switches, plates and outlets to match existing. Provide boxes and service for future landscape lighting and pool equipment.

Hardwired smoke detectors to be installed in each bedroom, hallway area outside the bedrooms and in the kitchen. Carbon monoxide alarms to be installed outside and in the immediate vicinity of each sleeping area.

Mechanical

Existing heating/cooling system and ductwork to be altered and extended to serve additions and altered areas. Provide all ductwork necessary for a quiet and comfortable conditioned environment throughout the house.

Provide Crawl Space with conditioning per code.

Plumbing

Extend plumbing to serve new and modified areas.

Detailed bath and countertop plans to be provided by cabinet supplier. Countertop, kneewall cap and shelf each side of tub to be solid surfacing as selected by Owner. Bathroom vanity to be 34" high with undermount sink.

Plumbing fittings to be as manufactured by Moen or equal with pressure balanced controls at tub and shower.

Toilet to be as manufactured by Toto in comfort height.

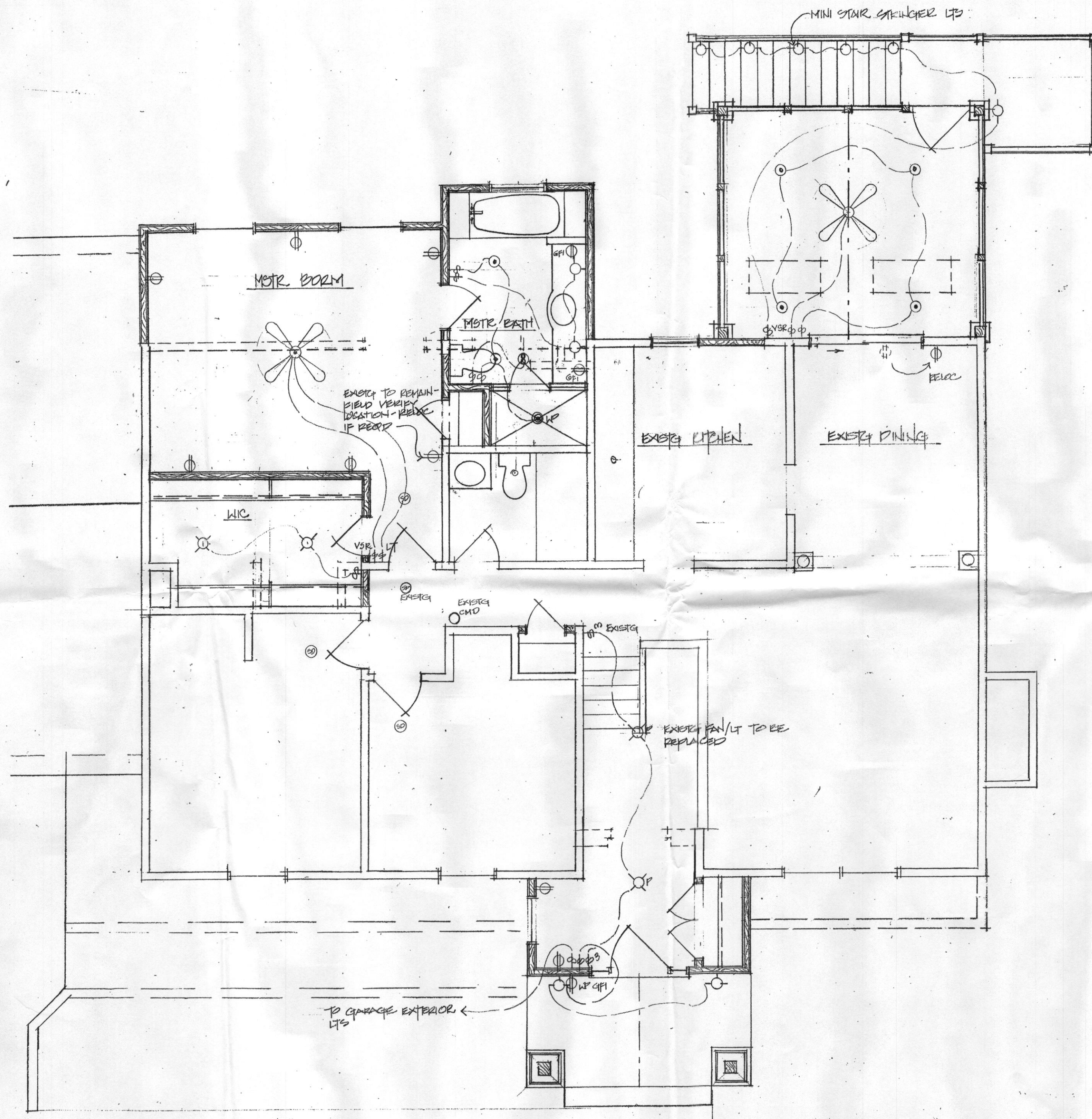
Add Options

Substitute vinyl railing for pressure treated wood railing at porch.

Provide new sump pump in new Basement Storage Room.

Flood lights with motion sensors. Field locate by Owner.

SINEX DESIGN ARCHITECTS
8000 RAINBOW ST SAVAGE, MD 20703
301-776-8285
ARCHITECT
10/07/11
SHEET
102808
ADDITIONS & ALTERATIONS FOR
JIM & MADELINE GUERTIN
3575 CONCHITA DR. ELICOTT CITY, MD 21042



LEGEND

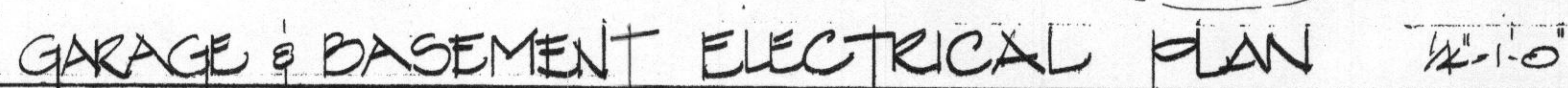
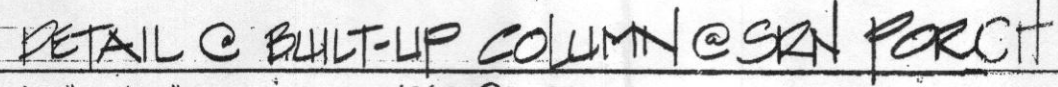
DUPLEX OUTLET	
220V OUTLET	
QUADRAPLEX OUTLET	
GFI OUTLET	
WATERPROOF OUTLET	
HARDWIRE CONNECTION	
TELEPHONE JACK	
CABLE TV OUTLET	
DOOR BELL BUTTON	
DOOR CHIMES	
LIGHT SWITCH	
3 WAY SWITCH	
DIMMER SWITCH	
CEILING MTD LIGHT	
PENDANT LIGHT FIXTURE	
RECESSED DOWNLIGHT	
WATERPROOF DOWNLIGHT	
RECESSED WALLWASHER	
ADJUSTABLE DOWNLIGHT	
LIGHT W/PULLCHAIN	
KEYLESS LIGHT	
CLG HARDWIRE CONN	
WALL MTD LIGHT	
FLOOD LIGHT	
FLUORESCENT LIGHT SIZE AS SHOWN	
FLUORESCENT COVE LT	
UNDERCABINET LIGHT	
TRACK LIGHT	
HEAT VENT LIGHT	
EXHAUST FAN	
SMOKE DETECTOR	
CEILING FAN W/ LT.	
DBL HEAT LAMP	
CARBON MONOXIDE DETECTOR	
GARAGE DOOR OPENER	

FIRST FLOOR ELECTRICAL 1/4"=1'-0"

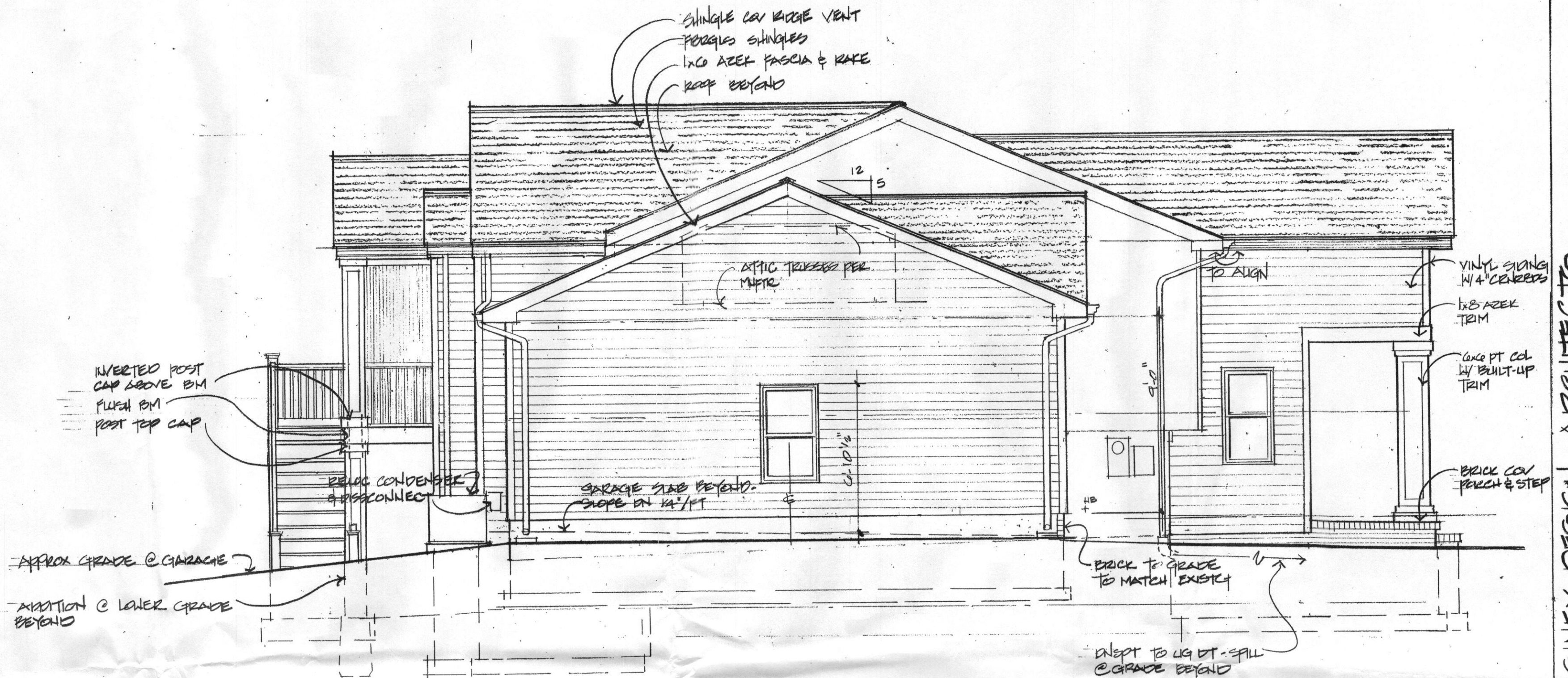
SINEX DESIGN ARCHITECTS
8000 RANDOLPH ST SAVAGE, MD 20763
ARCHITECT

ADDITIONS & ALTERATIONS FOR
JIM & MADELEINE GUERTIN
3570 CONCHITA DR ELICOTT CITY, MD 21042

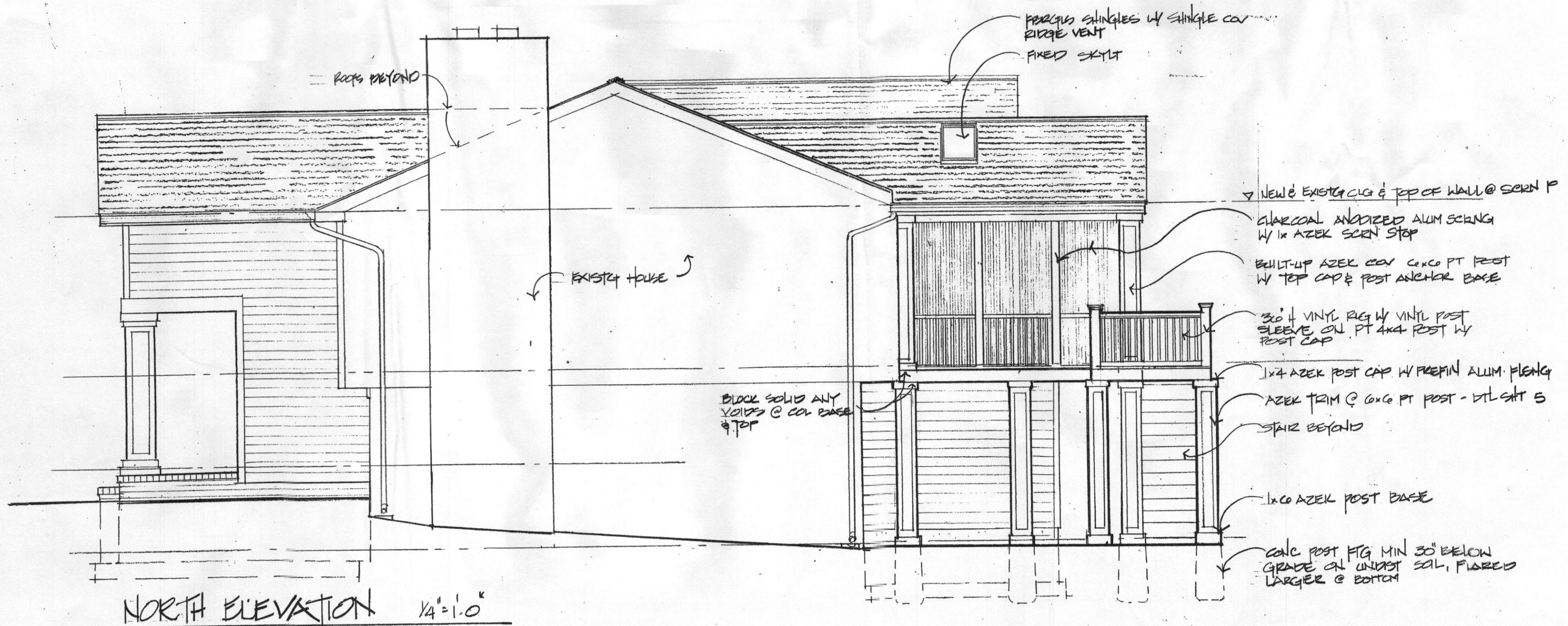
10/07/11
SHEET
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10/07/11	ADDITIONS & ALTERATIONS FOR
JIM & MADELEINE GUERTIN	
3570 CANCHITA DR. ELUCOTT CITY, MD 21042	



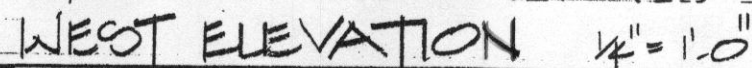
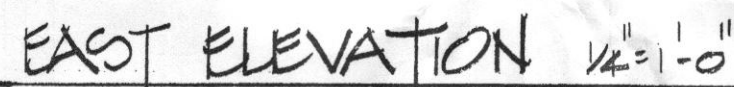
SOUTH ELEVATION 1/4" = 1'-0"



NORTH ELEVATION 1/4" = 1'-0"

SINEX DESIGN ARCHITECTS
8000 FOUNDRY ST. SAVANNAH, MD 20705
ARCHITECT

100808 ADDITIONS & ALTERATIONS FOR
JIM & MADELEINE GLEKIN
3578 CACHITA DR EUGENE, OR 97402
10/07/11 SHEET
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OF 8

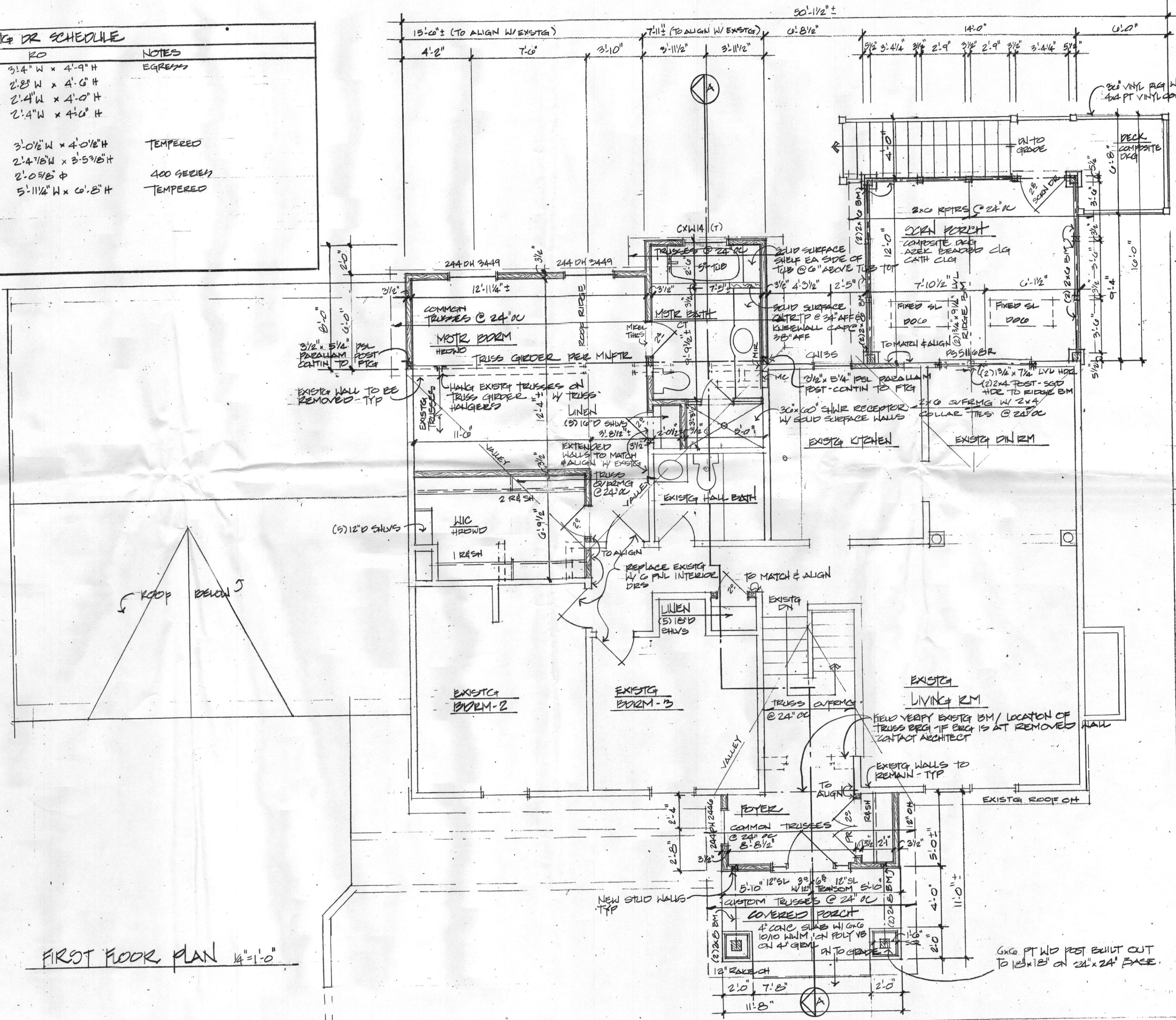


SINEX DESIGN ARCHITECTS
8000 FOUNTAIN ST SARGENT, MD 20763
ARCHITECT

JIM & MADELINE GUERTIN
3578 CACHITA DR ELMCOTT CITY, MD 21042

10/07/11	SHEET 3 OF 8
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STOCK #	RO	NOTES
244 DH 3449	3'-4" W x 4'-9" H	EGRESS
244 DH 2846	2'-8" W x 4'-6" H	
244 DH 2440	2'-4" W x 4'-0" H	
244 DH 2446	2'-4" W x 4'-6" H	
CXW 14	3'-0 1/2" W x 4'-0 1/2" H	TEMPERED
CW 135	2'-4 1/8" W x 3'-5 3/8" H	
CIR 20	2'-0 5/8" Ø	400 SERIES
P3511 GBR	5'-11 1/4" W x 6'-8" H	TEMPERED



FIRST FLOOR PLAN 1/4"=1'-0"

SINEX DESIGN ARCHITECTS
 3800 RUNDY ST SAVAGE, MD 21076
 ARCHITECT

ADDITIONS & ALTERATIONS FOR
 JIM & MADELINE GUERTIN
 0515 CONCHITA DR. ELICOTT CITY, MD 21042

EXISTING
1st FLOOR

