



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 9/4/14

Permit No.: 314003220

Building Address: 5106 Clay Circle Lane
City: Ellicott City State: MD Zip Code: 21042
Suite/Apt. # SDP/WP/BA #: GP-13-038
Census Tract: Subdivision: WALNUT CREEK
Section: Area: Lot: 22
Tax Map: 28 Parcel: 49 Grid: 17+18
Zoning: RC-DED Map Coordinates: 14, E2 Lot Size: 42,454 sq ft

Existing Use: VACANT LOT
Proposed Use: SFD
Estimated Construction Cost: \$ 313,667.00
Description of Work: 2 story, FP, 3 car garage, Full Finished Basement, 9 Rooms, 4 BR's, 4 Full Baths

Occupant or Tenant: N/A
Was tenant space previously occupied? ☐ Yes ☐ No
Contact Name:
Address:
City: State: Zip Code:
Phone: Fax:
Email:

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor:
	2 nd floor:
Area of construction (sq. ft.):	Basement:
	<input checked="" type="checkbox"/> Finished Basement
Use group:	<input type="checkbox"/> Unfinished Basement
	<input type="checkbox"/> Crawl Space
Construction type:	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms: 4
<input type="checkbox"/> Structural Steel	Multi-family Dwelling
<input type="checkbox"/> Masonry	No. of efficiency units:
<input type="checkbox"/> Wood Frame	No. of 1 BR units:
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
➤ Roadside Tree Project Permit	Footings:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Property Owner's Name: Trinity Quality homes
Address: 3675 PARK AVE #301
City: Ellicott City State: MD Zip Code: 21043
Phone: Fax:
Email:

Applicant's Name & Mailing Address, (if other than stated herein)

Applicant's Name:
Address:
City: State: Zip Code:
Phone: Fax:
Email:

Contractor Company: Trinity Quality Homes, INC
Contact Person: Sherry newshaw
Address: 3675 PARK AVE #301
City: Ellicott City State: MD Zip Code: 21043
License No.: 699
Phone: 443-535-8516 Fax:
Email: Sherry@trinityhomes.com

Engineer/Architect Company:
Responsible Design Prof.:
Address:
City: State: Zip Code:
Phone: Fax:
Email:

Utilities
Water Supply
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Sewage Disposal
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Heating System
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil
<input checked="" type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas
<input type="checkbox"/> Other:
Sprinkler System:
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Grading Permit Number: G1300028
Building Shell Permit Number:

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Sherry L. Newshaw
Applicant's Signature
Sherry@trinityhomes.com
Email Address
Selections Director - Trinityhomes.
Title/Company

Sherry L. Newshaw
Print Name
9/4/14
Date

RECEIVED

SEP 04 2014

LICENSES & PERMITS
DIVISION

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
<input checked="" type="checkbox"/> State Highways		
<input checked="" type="checkbox"/> Building Officials		
<input checked="" type="checkbox"/> PSZA (Zoning)		
<input checked="" type="checkbox"/> PSZA (Engineering)		
<input checked="" type="checkbox"/> Health	1-8-15	D. B. B. B.

Is Sediment Control approval required for issuance? ☒ Yes ☐ No
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ 100.00
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ 50.00
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# 030810

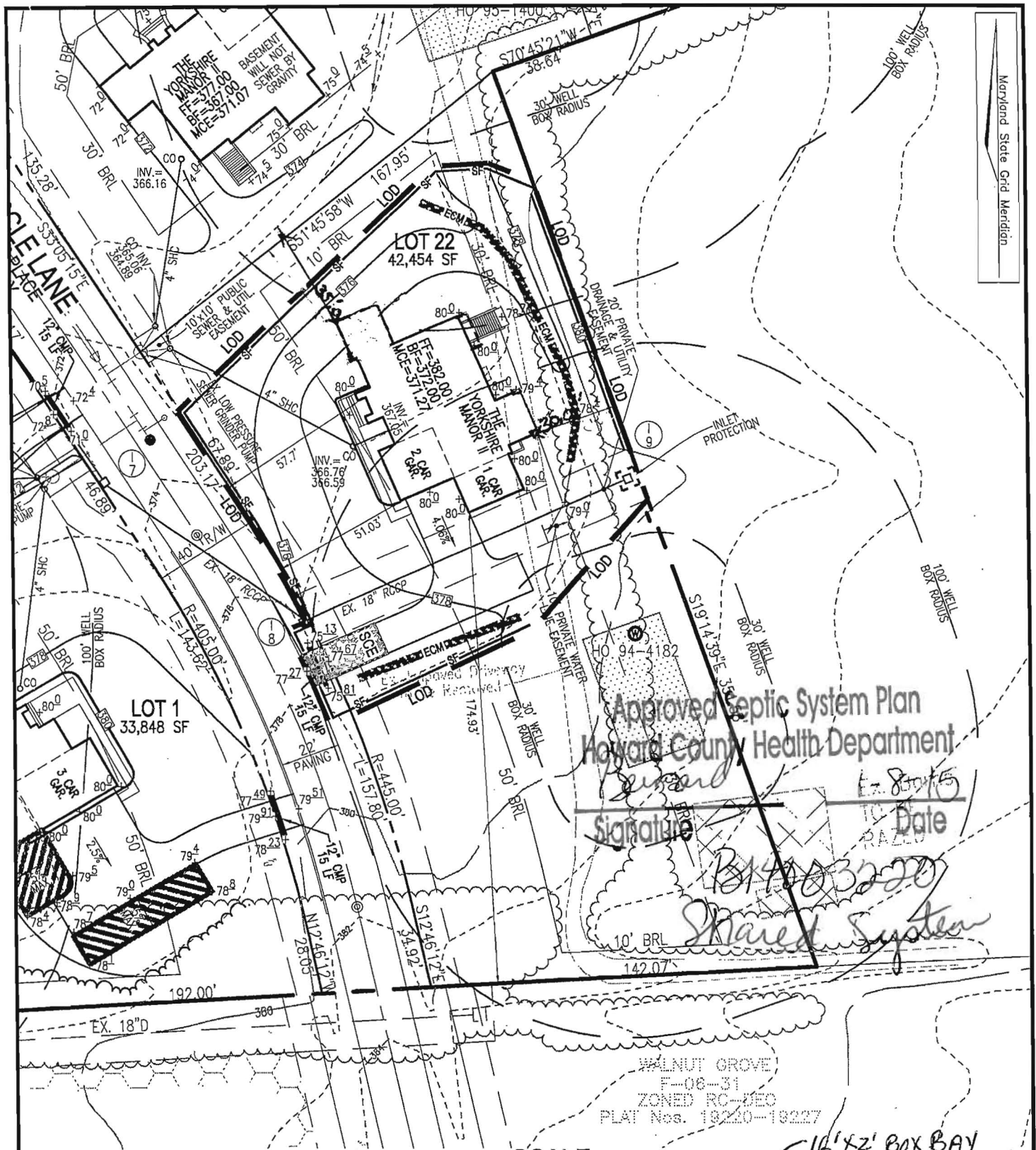
Distribution of Copies: White: Building Officials Green: PSZA, Zoning

Yellow: PSZA, Engineering

Pink: Health

Gold: SHA

T:\Operations\Updated Forms\Building applimp 8.2012.docx



Approved Septic System Plan
Howard County Health Department

Signature: *[Signature]* Date: *8/15/14*

B14003220
Shared System

WALNUT GROVE
F-06-31
ZONED RC-DEO
PLAT Nos. 19220-19227

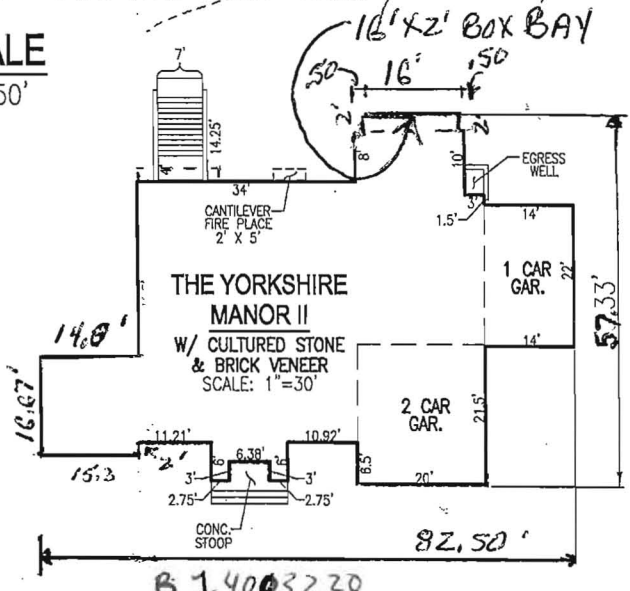
SCALE
1"=50'

THE EXISTING WELL SHOWN ON LOT 22 TAG NO. 94-4182 HAS BEEN FIELD LOCATED BY FISHER, COLLINS, & CARTER, INC., AND IS ACCURATELY SHOWN.

BUILDING OF LOT 22 FLOOR AREAS:
BASEMENT FLOOR AREA: 1950
FIRST FLOOR AREA: 1970
SECOND FLOOR AREA: 1910
BEDROOMS: 5

NOTE: STORMWATER MANAGEMENT (WQv AND CPv) IS PROVIDED BY EXTENDED DETENTION FACILITY, ONE RAIN GARDEN, ROADWAY GRASS CHANNELS, AND ON-LOT LEVEL SPREADERS (F-07-076). LOT 22 DOES NOT REQUIRE ANY ADDITIONAL PRACTICES.

BUILDING PERMIT NO. _____



B14003220

SCALE: AS SHOWN
DRAWN BY: JMR
CHECKED BY: RHV
DATE: AUGUST 2014
PROJECT #: 13-21
SHEET#: 1 OF 1

PLOT PLAN
WALNUT CREEK
LOT 22

REF: F-07-076
TAX MAP 28 PARCEL 49
BLOCK 11
5TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

ADDRESS
5106 CLAY CIRCLE LN.
ELLICOTT CITY, MD 21042
GP: 13-038

OWNER
TRINITY QUALITY HOMES, INC.
3675 PARK AVENUE, SUITE 301
ELLICOTT CITY, MARYLAND 21043
(410) 480-0023

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET
ELLICOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8961

**COMPLETE THIS FORM WHEN DROPPING OFF ANY
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 12/12/14

To: Debbie Whalen - PLANS REVIEW
(Person's Name and Division)

From: SHERRY MEWSHAW TRINITY HOMES (410) 480-0023
(Your Name, Company Name and Telephone Number)

Subject: Project name Walnut Creek
Project site address 5106 Clay Circle Lane, Ellicott City MD
Permit # B14003220 SDP# GP 13-038
Other information pertinent to this project _____

☒ Please check the attachments below that you are submitting with this transmittal:

- ☐ Letter of response to address plan review comment letter
- ☒ Revised plans and/or revised details: When submitting for a complete re-review, duplicate sets shall be submitted.
- ☒ Letter Summarizing Changes
- ☐ Energy conservation calculations
- ☒ Copies of GP 13-038 (be specific).
- ☐ Health Department Request ☐ DPZ/ DED Request ☐ Applicant's Request
- ☐ Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # _____
- ☐ Other _____

Contact Person Information: (Required)

SHERRY MEWSHAW
Please Print Name

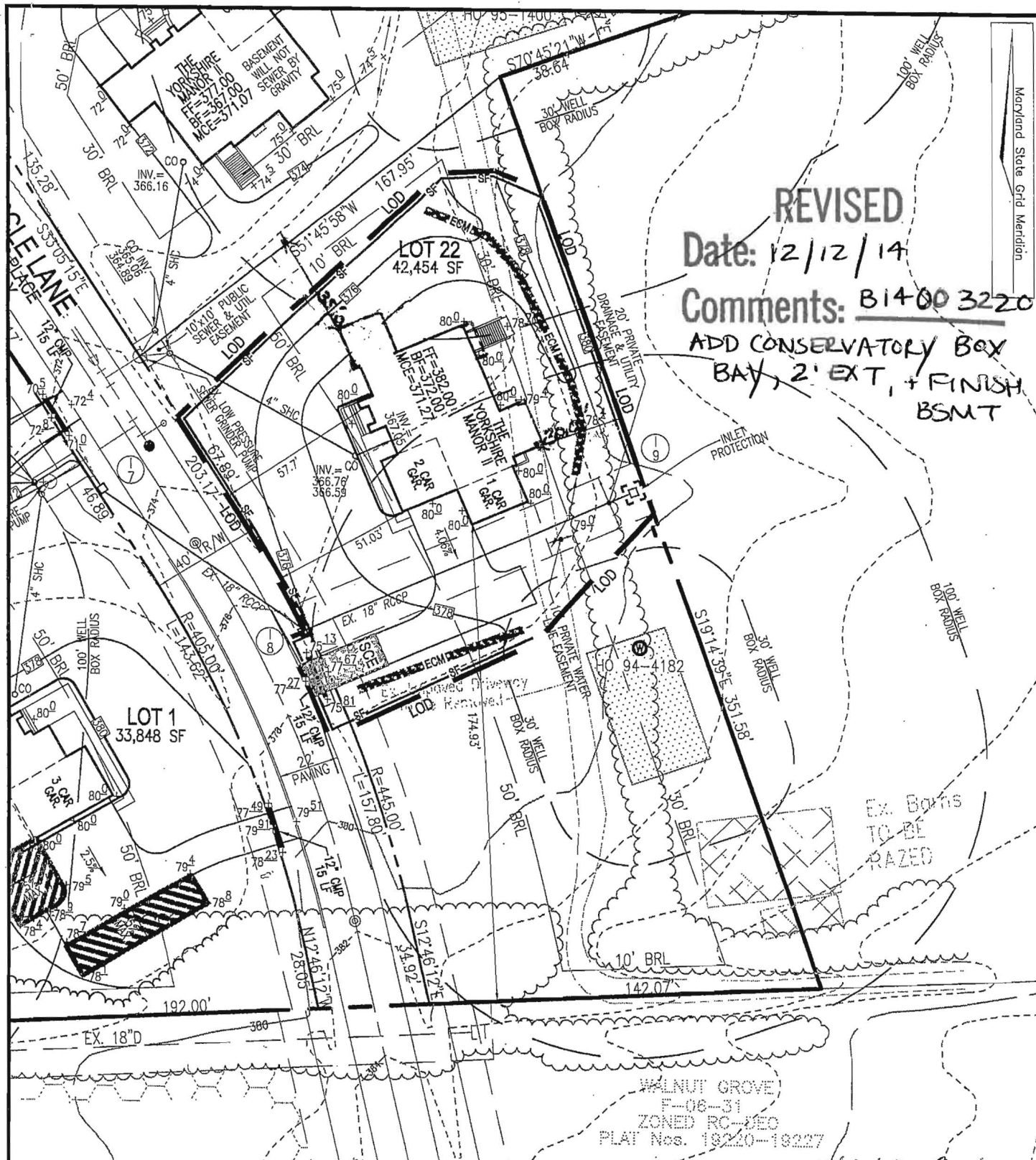
Telephone No: 443-328-6098

E-Mail Address: Sherry@trinityhomes.com

PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

Received by AKH

PERMIT ISSUED



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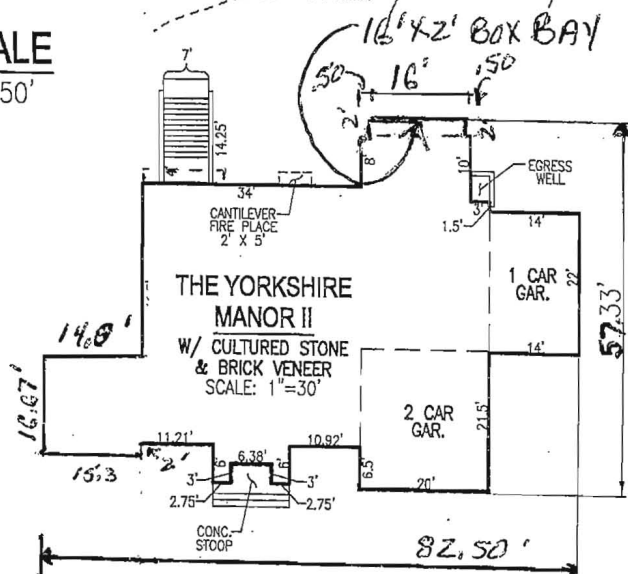
SECOND FLOOR AREA: 1910

BEDROOMS: 5

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DOES NOT REQUIRE ANY ADDITIONAL PRACTICES.

BUILDING PERMIT NO. _____

SCALE
1"=50'



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DRAWN BY: JMR
CHECKED BY: RHV
DATE: AUGUST 2014
PROJECT #: 13-21
SHEET#: 1 OF 1

PLOT PLAN WALNUT CREEK LOT 22

REF: F-07-076
TAX MAP 28 PARCEL 49
BLOCK 11
5TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

ADDRESS
5106 CLAY CIRCLE LN.
ELLCOTT CITY, MD 21042
GP: 13-038

OWNER
TRINITY QUALITY HOMES, INC.
3675 PARK AVENUE, SUITE 301
ELLCOTT CITY, MARYLAND 21043
(410) 480-0023

**ROBERT H. VOGEL
ENGINEERING, INC.**
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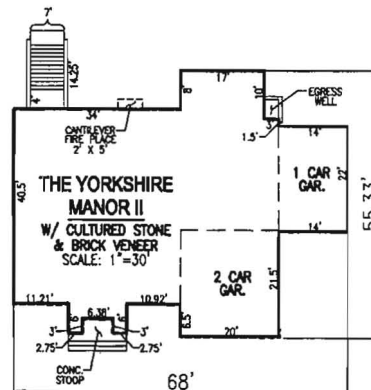
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PLOT PLAN **WALNUT CREEK** **LOT 22**

REF: F-07-076

TAX MAP 28 PARCEL 49

BLOCK 11

5TH ELECTION DISTRICT

HOWARD COUNTY, MARYLAND

ADDRESS

5106 CLAY CIRCLE LN.

ELLCOTT CITY, MD 21042

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ELLCOTT CITY, MD 21043 FAX: 410.461.8961

ENTRANCE PERMIT

(410) 313-1810

HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES & PERMITS

Permission is hereby granted by the Howard County Department of Inspections, Licenses & Permits for an entrance permit:

Owner TRINITY QUALITY HOMES Phone 443-535 8516

Address 3675 PARK AVE #301 ELICOTT CITY, MD. 21043

New Building Address 5106 CLAY CIRCLE LAKE ELICOTT CITY, MD. 21042

For what use: Entrance To S.F.D.

Name of Contractor or Builder TRINITY QUALITY HOMES

Address 3675 PARK AVE #301 ELICOTT CITY MD. 21043

The applicant hereby certifies and agrees as follows: (1) that he is the owner or the duly authorized agent of the owner to make this application; (2) that he has read all of the information set forth and that the same is correct; (3) that the permit, when issued, may be declared void should said information be incorrect; (4) that he will comply with all rules and regulations of Howard County Bureau of Highways; (5) that he will perform no work on the entrance not specifically described in this permit.

It must be noted that a use & occupancy permit will not be issued until entrance is completed to Bureau of Highways Standards & Specifications.

It is agreed and understood by the acceptance of this permit, the following conditions will be followed.

- A. The construction of the entrance or approach will, in no way, change the grade/and or alignment of any existing drainage ditches or structures. In the event same are damaged or destroyed, they shall be replaced to the satisfaction of the Howard County Department of Public Works representative.
- B. The right-of-way, affected by this permit, will be left in a neat and clean condition and no excess material will be permitted to remain on or adjacent to the right-of-way. Shoulders and flow-line areas disturbed shall be shaped up according to the Howard County Bureau of Highways Standards and Specifications. (For Driveway and Flow-line area.)

In consideration of the issuance of this permit, the applicant agrees that if he fails to comply with the above set-out standards and thereby causes damage to the Howard County Road System, that the applicant will be responsible to Howard County for such damage to its road system.

Sign Sheep Meadow
(Name of applicant)

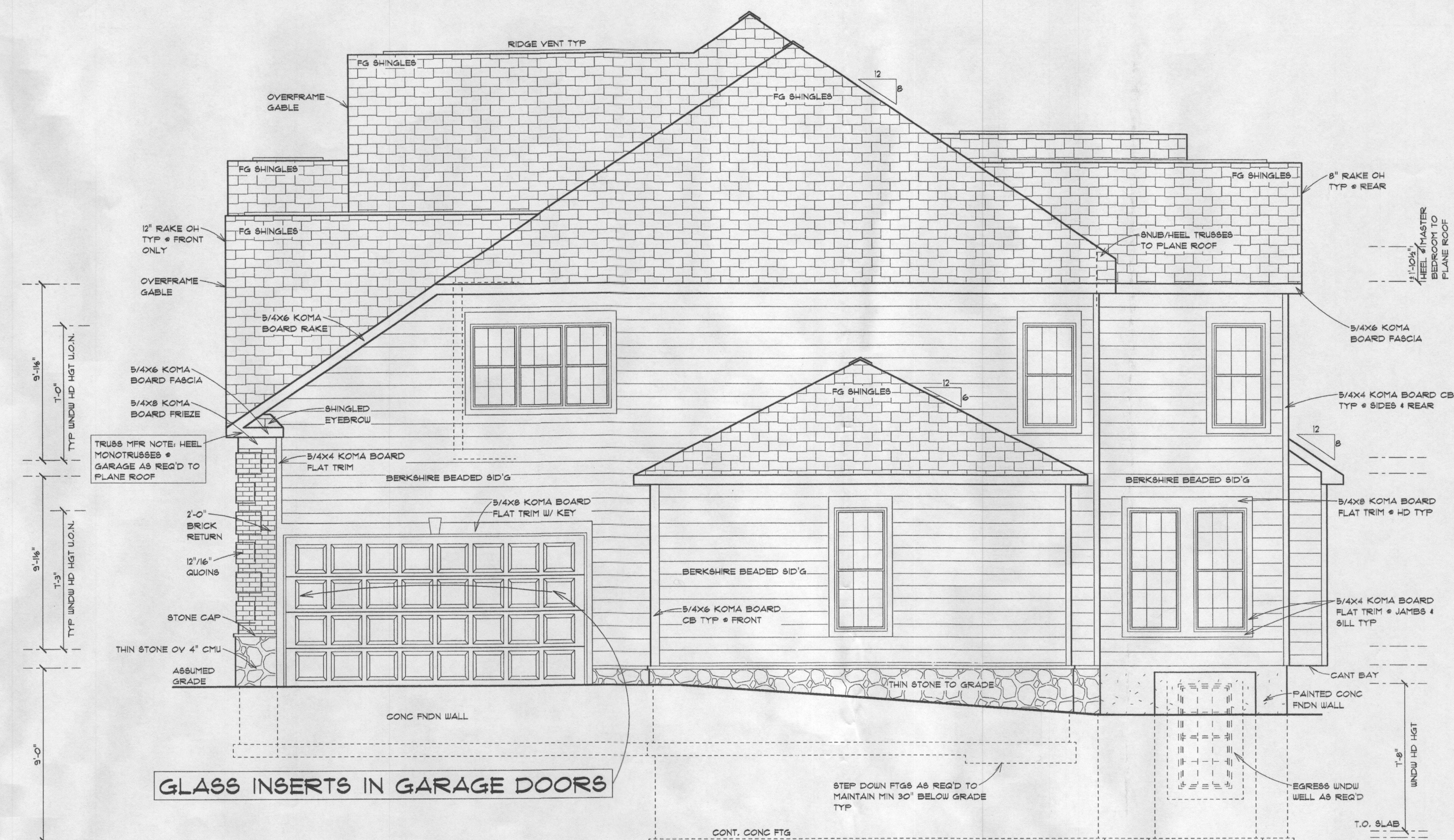
Address 3675 PARK AVE #301 ELICOTT CITY, MD. 21043

Date 9/4/14 Approved _____

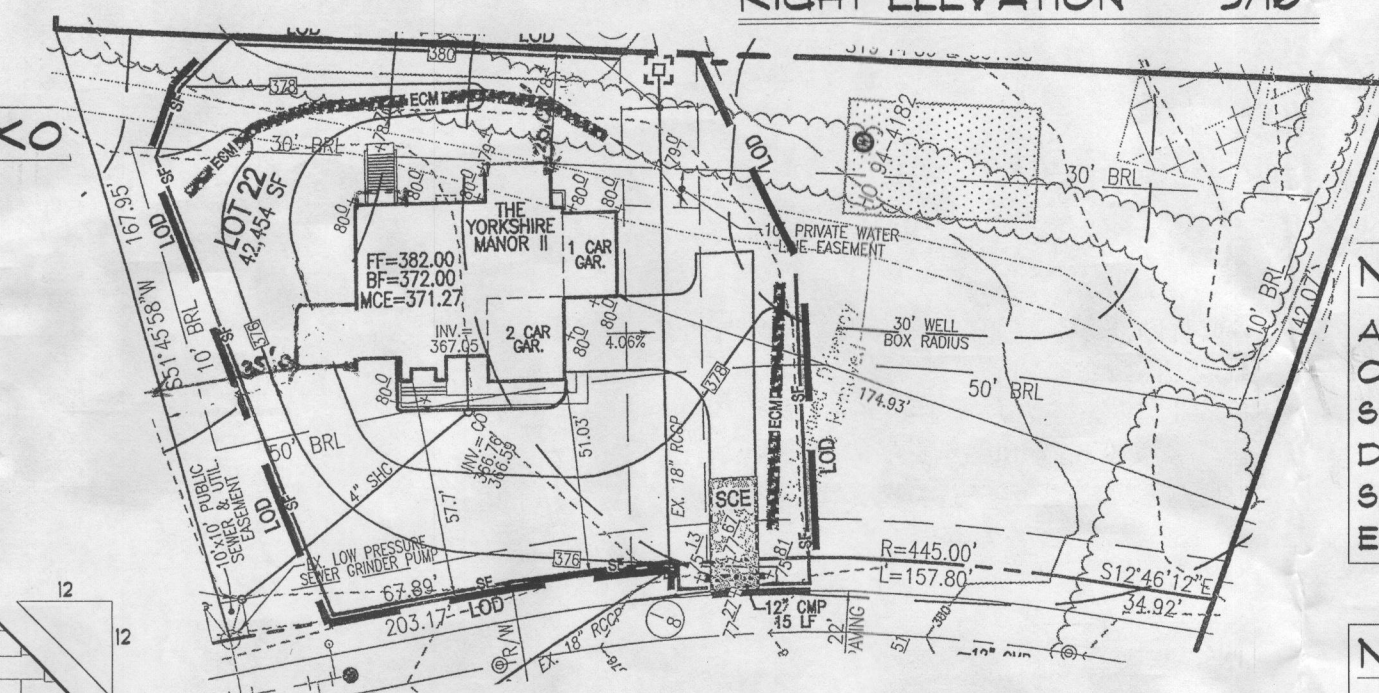
ATTENTION: The permit, when issued, is valid for period not to exceed six months.



LEFT ELEVATION 3/16



RIGHT ELEVATION 3/16'



NOTE: INSULATOR
ANTI-AIR INFILTRATION SYSTEM:
CAULKING AT EXTERIOR JOINTS,
SEAMS, AND OPENINGS AROUND
DOOR AND WINDOW JAMBS, FOAM
SEALER AT OPENINGS ON
EXTERIOR WALLS.

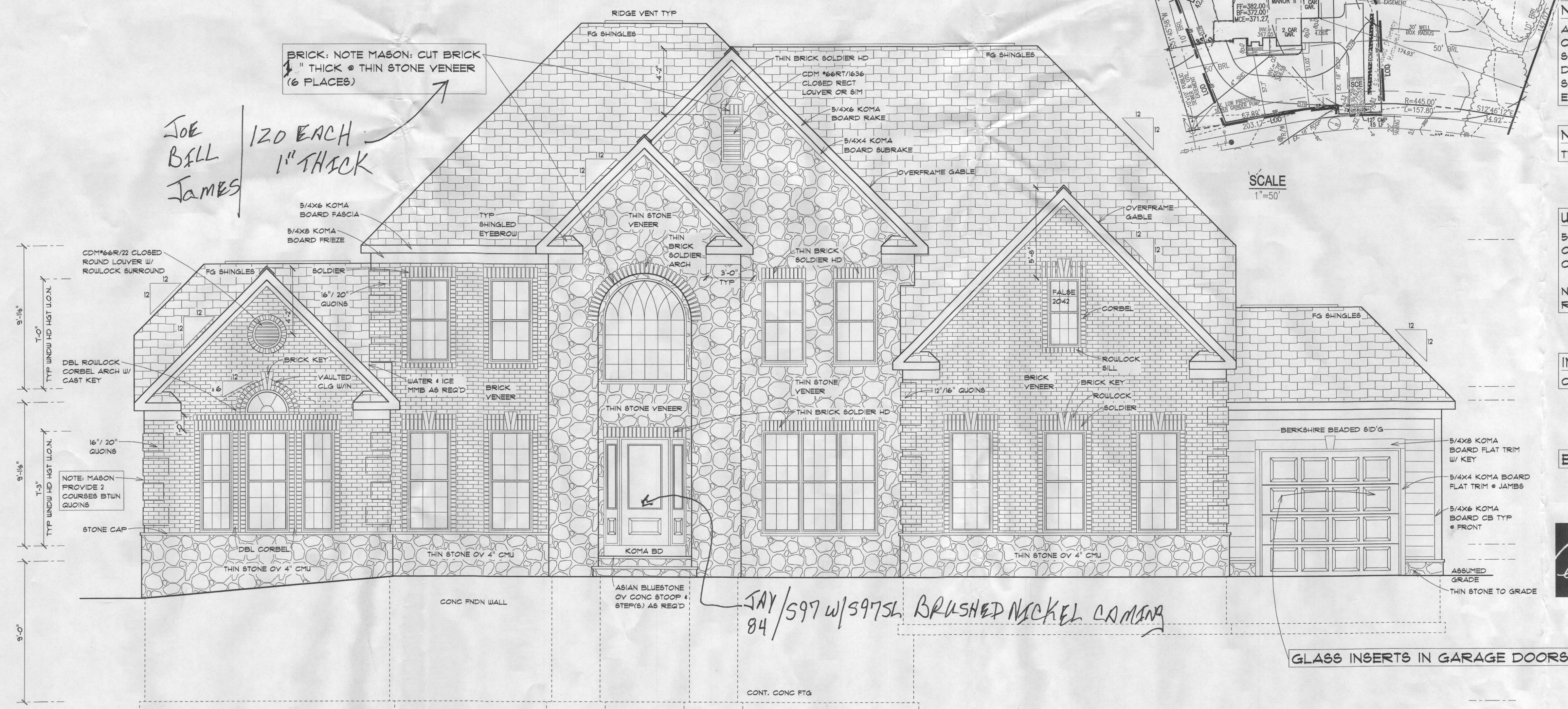
NOTE: CARPENTER
TYVEK HOUSE WRAP ALL 4 SIDES

UNITED DOUBLE-HUNG WINDOWS
5500 DOUBLE HUNG, LOW-E (U-VALUE OF
0.34) W/ GRILLES, SCREENS, WOOD
CASINGS & SIDE JAMBS EXCEPT GARAGE

NOTE: USE WINDOW DEVICES WHERE
REQUIRED PER IRC 2012 R312.2

INTERIOR SPRINKLER CONCEALED HEADS

EXTERIOR LAMP POST



FRONT ELEVATION #515 - CUSTOM
LOT 22 WALNUT CREEK

GLASS INSERTS IN GARAGE DOORS

B74003220
2012 CODE

PRESCRIPTIVE R-VALUE COMPLIANCE PATH

IECC 2012 ENERGY CODE COMPLIANCE REQUIREMENTS

THE BUILDING SHALL CONFORM TO THE FOLLOWING MANDATORY REQUIREMENTS PER THE 2012 INTERNATIONAL ENERGY CONSERVATION CODE:

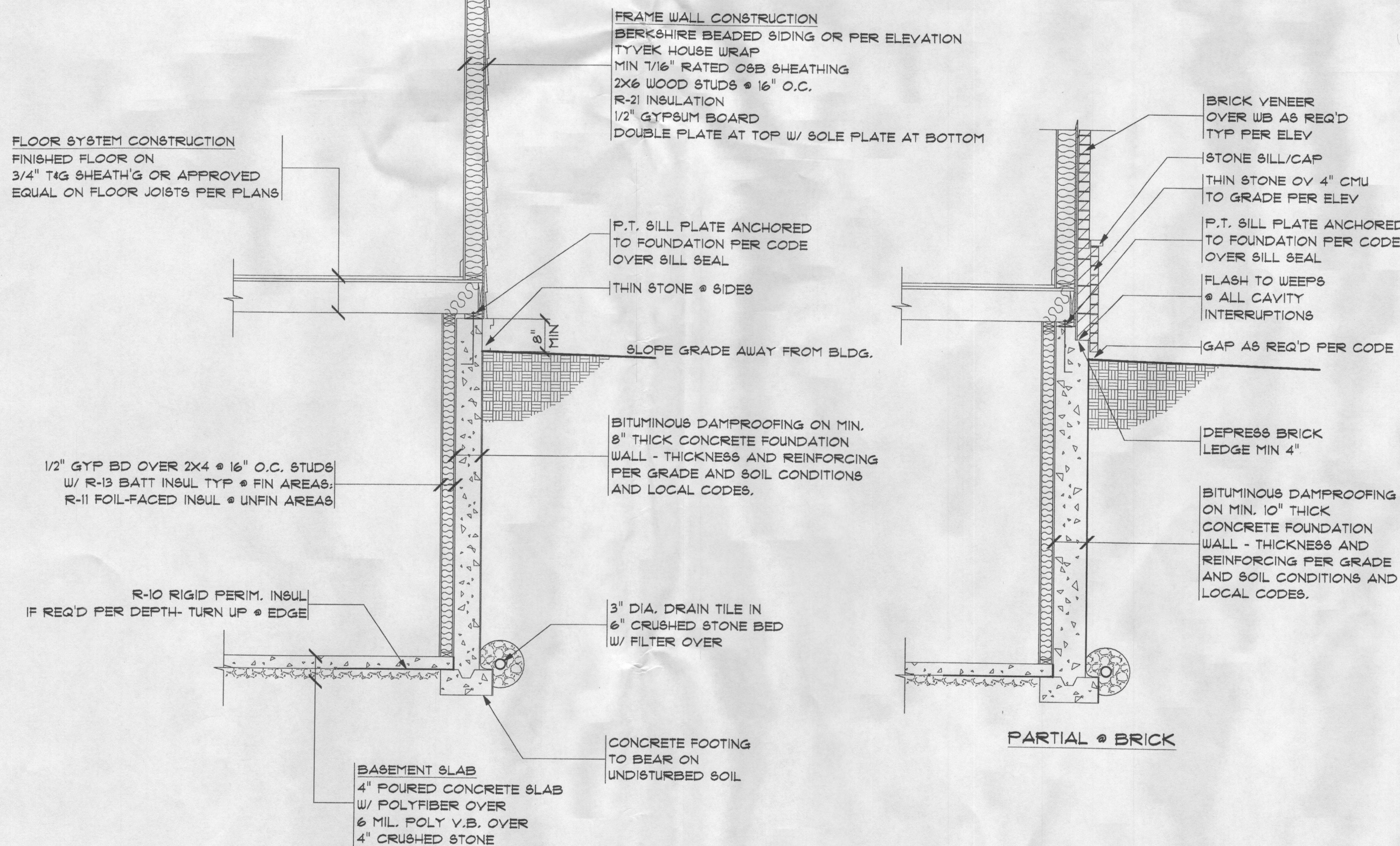
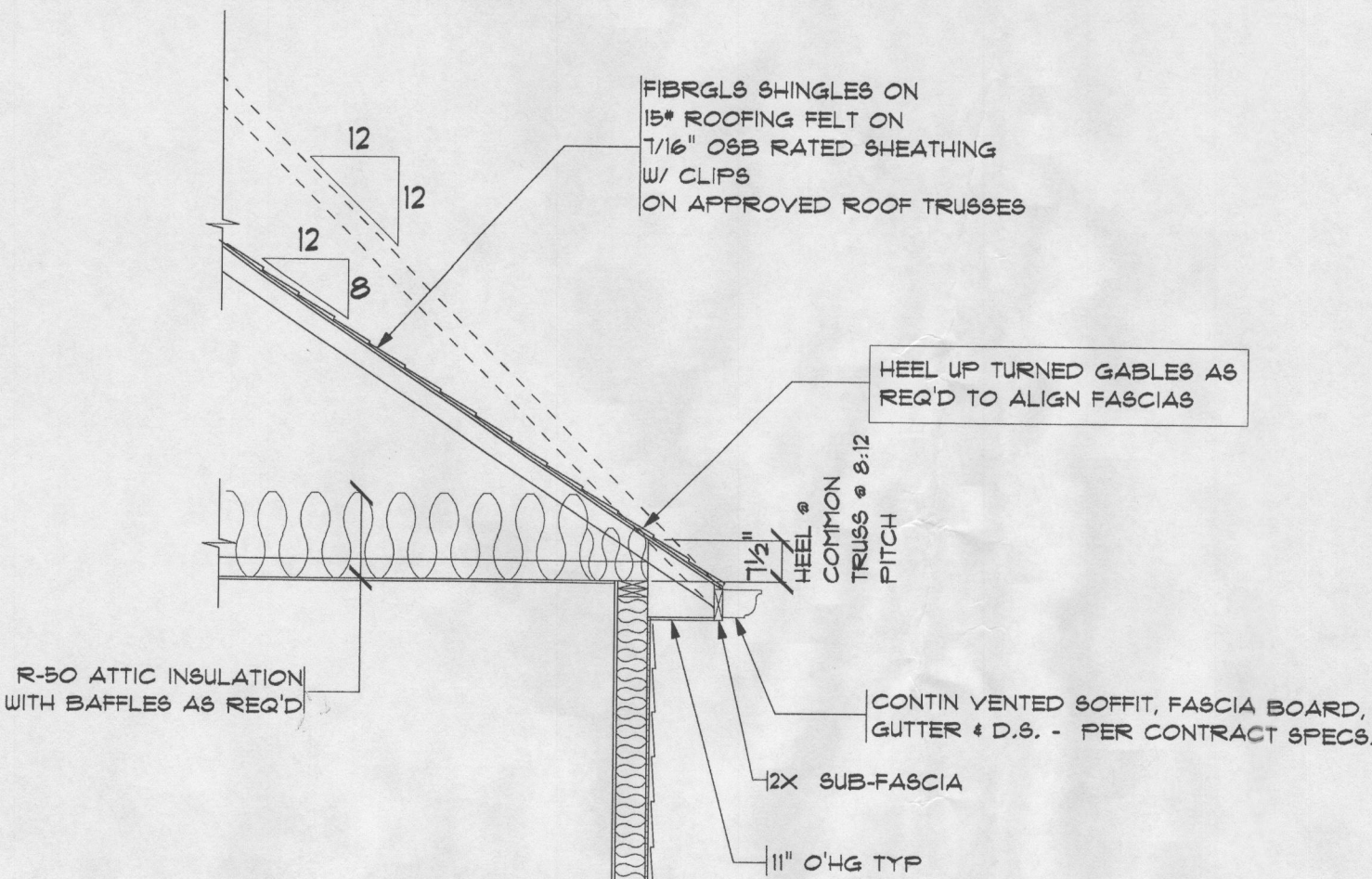
COMPLIANCE CERTIFICATE	A PERMANENT CERTIFICATE APPROVED BY THE LOCAL JURISDICTION DESCRIBING THE R-VALUES, U-FACTORS, AND SHGC OF THE BUILDING COMPONENTS AND BUILDING AIR LEAKAGE TEST RESULTS SHALL BE AFFIXED TO THE ELECTRICAL DISTRIBUTION PANEL OR ANOTHER LOCATION APPROVED BY THE LOCAL JURISDICTION PER IECC R401.3 (IRC N101.16).
AIR LEAKAGE	ALL NEW CONSTRUCTION BUILDINGS SHALL BE CONSTRUCTED TO LIMIT THE THERMAL ENVELOPE AIR LEAKAGE TO 3 AIR CHANGES PER HOUR AT 50 PASCALES OF PRESSURE AND TESTED VIA A BLOWER DOOR TEST PER IECC R402.4 (IRC N102.4).
MAXIMUM PENETRATION U-FACTOR AND SHGC	THE MAXIMUM U-FACTOR ALLOWED USING EITHER THE TOTAL UA ALTERNATIVE METHOD PER IECC R402.1.4 (IRC N102.1.4) OR THE SIMULATED PERFORMANCE ALTERNATIVE PER IECC R403.2 (IRC N103.2) SHALL BE 0.48 FOR VERTICAL PENETRATION AND 0.18 FOR SKYLIGHTS PER IECC R402.5 (IRC N102.5).
HVAC CONTROLS	EACH HEATING AND COOLING SYSTEM SHALL HAVE AT LEAST ONE THERMOSTAT PER IECC R403.1 (IRC N103.1). IF THE PRIMARY HEATING SYSTEM IS A FORCED AIR FURNACE, A PROGRAMMABLE THERMOSTAT SHALL BE PROVIDED PER IECC R403.1.1 (IRC N103.1.1).
HEAT PUMP SUPPLEMENTARY HEAT	HEAT PUMPS WITH SUPPLEMENTARY ELECTRIC RESISTANCE HEAT SHALL HAVE CONTROLS THAT EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT FROM OPERATING WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD PER IECC R403.1.2 (IRC N103.1.2).
DUCT SEALING	ALL DUCTS, AIR HANDLERS, AND FILTER BOXES SHALL BE SEALED PER IRC M1601.4.1. DUCT TIGHTNESS SHALL BE VERIFIED BY EITHER A ROUGH-IN OR POSTCONSTRUCTION TEST PER IECC R403.2.2 (IRC N103.2.2) UNLESS DUCTS AND AIR HANDLERS ARE LOCATED ENTIRELY WITHIN THE BUILDING THERMAL ENVELOPE.
BUILDING CAVITIES AS DUCTS OR PLENUMS	BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS PER IECC R403.2.3 (IRC N103.2.3).
MECHANICAL SYSTEM PIPING INSULATION	MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105°F OR BELOW 55°F SHALL BE INSULATED TO R-3 MINIMUM PER IECC R403.3 (IRC N103.3). PIPING INSULATION EXPOSED TO WEATHER SHALL BE PROTECTED FROM DEGRADATION AND DECAY PER IECC R403.3.1 (IRC N103.3.1).
CIRCULATING HOT WATER SYSTEMS	CIRCULATING HOT WATER SYSTEMS SHALL BE PROVIDED WITH AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH TO TURN OFF THE CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE PER IECC R403.4.1 (IRC N103.4.1).
MECHANICAL VENTILATION	THE BUILDING SHALL BE PROVIDED WITH VENTILATION PER IRC M1501 OR OTHER APPROVED MEANS OF VENTILATION PER IECC R403.5 (IRC N103.5). WHOLE-HOUSE VENTILATION FANS SHALL MEET EFFICIENCY STANDARDS PER IECC TABLE R403.5.1 (IRC TABLE N103.5.1).
EQUIPMENT SIZING	HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL J OR OTHER APPROVED HEATING AND COOLING CALCULATION METHODOLOGIES PER IECC R403.6 (IRC N103.6).
SYSTEMS SERVING MULTIPLE DWELLING UNITS	SYSTEMS SERVING MULTIPLE DWELLING UNITS SHALL CONFORM TO IECC SECTIONS C403 AND C404.
SNOW MELT SYSTEMS CONTROLS	SNOW AND ICE MELT SYSTEMS SUPPLIED THROUGH ENERGY SERVICE TO THE BUILDING SHALL INCLUDE AUTOMATIC CONTROLS CAPABLE OF SHUTTING OFF THE SYSTEM WHEN THE PAVEMENT TEMPERATURE IS ABOVE 50°F AND NO PRECIPITATION IS FALLING, AND AUTOMATIC OR MANUAL CONTROLS CAPABLE OF SHUTTING OFF THE SYSTEM WHEN THE OUTDOOR TEMPERATURE IS ABOVE 40°F PER IECC R403.8 (IRC N103.8).
POOLS AND INGROUND PERMANENTLY INSTALLED SPAS	POOLS AND INGROUND SPA HEATERS SHALL HAVE AN ACCESSIBLE ON-OFF SWITCH MOUNTED ON THE OUTSIDE OF THE HEATER THAT ALLOWS SHUT-OFF WITHOUT AFFECTING THE THERMOSTAT SETTING PER IECC R403.9.1 (IRC N103.9.1). GAS-FIRED HEATERS SHALL NOT HAVE CONSTANT BURNING PILOT LIGHTS. HEATERS SHALL HAVE TIME SWITCHES OR OTHER CONTROL METHODS TO AUTOMATICALLY TURN ON AND OFF PER A PRESET SCHEDULE PER IECC R403.9.2 (IRC N103.9.2). HEATED POOLS AND INGROUND SPAS SHALL BE PROVIDED WITH A VAPOR-RETARDANT COVER PER IECC R403.9.3 (IRC N103.9.3).
LIGHTING EQUIPMENT	A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS OR A MINIMUM OF 75% OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS PER IECC R404.1 (IRC N104.1).
FUEL GAS LIGHTING EQUIPMENT	FUEL GAS SYSTEMS SHALL NOT HAVE CONTINUOUSLY BURNING PILOT LIGHT SYSTEMS PER IECC R404.1.1 (IRC N104.1.1).

THE BUILDING SHALL ALSO CONFORM TO ONE OF THE FOLLOWING OPTIONS:

COMPONENT	REQUIRED VALUE
CEILING/ROOF	R-48 (COMPRESSED OVER WALL TOP PLATE AT EAVES) OR R-38 (UNCOMPRESSED OVER WALL TOP PLATE AT EAVES)
WALLS	R-20 CAVITY OR R-13 CAVITY PLUS R-5 CONTINUOUS
BASEMENT WALLS	R-10 CONTINUOUS OR R-13 CAVITY
SLAB	R-10, 2" DEPTH
CRAWL SPACE: WALL OR FLOOR	R-10 CONTINUOUS OR R-13 CAVITY
DUCTS OUTSIDE CONDITIONED SPACE	R-6 FOR SUPPLY DUCTS IN ATTICS R-6 FOR ALL OTHER DUCTS
HOT WATER PIPES	R-3 UNLESS OTHERWISE ALLOWED BY IECC R403.4.2 (IRC N103.4.2)
PENETRATION	U-FACTOR = 0.35 MAX; SHGC = 0.40 MAX
SKYLIGHTS	U-FACTOR = 0.55 MAX; SHGC = 0.40 MAX

2. TOTAL UA ALTERNATIVE
THE BUILDING THERMAL ENVELOPE'S TOTAL UA, CALCULATED PER THE ASHRAE HANDBOOK OF FUNDAMENTALS, IS LESS THAN OR EQUAL TO THE TOTAL UA OF AN EQUIVALENT BUILDING BUILT TO THE PRESCRIPTIVE REQUIREMENTS LISTED ABOVE PER IECC R402.1.4 (IRC N102.1.4). PRESCRIPTIVE SHGC REQUIREMENTS LISTED ABOVE SHALL BE MET.

3. SIMULATED PERFORMANCE ALTERNATIVE
A BUILDING ENERGY PERFORMANCE ANALYSIS IS PERFORMED PER IECC R405 (IRC N105) USING SOFTWARE APPROVED BY THE BUILDING OFFICIAL.



FRAME WALL SECTION

SCALE: N.T.S.

1. 2000 PSF SOIL BEARING CAPACITY ASSUMED.
2. BEAMS, JOISTS, HEADERS AND RAFTERS TO BE S-P-F #1/2 OR EQUAL TYPICAL THROUGHOUT UNLESS OTHERWISE NOTED
3. VERIFY SIZE AND LOCATIONS OF DOORS AND WINDOWS THIS PLAN PER GRADE AND BUILDER

HYAC: EQUIPMENT - AMANA
ZONE 1 & 2: 90% EFFICIENCY NATURAL
GAS FURNACE WITH 13 SEER A/C UNIT
ZONE 3: 13 SEER HEAT PUMP
VENT RANGE HOOD TO OUTSIDE

Gas: Natural	
Gas Furnace Zones: <i>TWO</i> ^{1/2}	YES
Fire Place	YES
Cook Top	YES

BASEMENT
4" CONC SLAB W/ POLYFIBER
OVER 6 MIL POLY V.B.
OVER 4" GRAVEL
PROVIDE EXPANSION AND
CONTROL JOINTS AS REQ'D

UNEXCAVATED

NOTE: PROVIDE GRADE BEARING AND/OR PIERS TO UNDISTURBED BEARING AS REQUIRED PER LOCAL AND FILL CONDITIONS

UNEXCAVATED

NOTE: PROVIDE GRADE BEARS
AND/OR PIERS TO UNDISTURBED
BEARING AS REQUIRED PER
AND FILL CONDITIONS

NOTE 4" MASONRY
LEDGE
— DEPRESS 4"

NOTE: FNDN FOR 4th
BRICK RETURN


NOTE: 9'-0" FOUNDATION WALLS

FOUNDATION PLAN

NOTE: 9'-0" FOUNDATION WALLS

E-ONE LINE
SEWER

TRINITY QUALITY HOMES INC. T/A
TRINITY
HOMES



THE YORKSHIRE MANOR II - 3 CAR

SCALE: 1/4" = 1'-0"
OR AS NOTED

REVISIONS

12-04-20

12-05-20

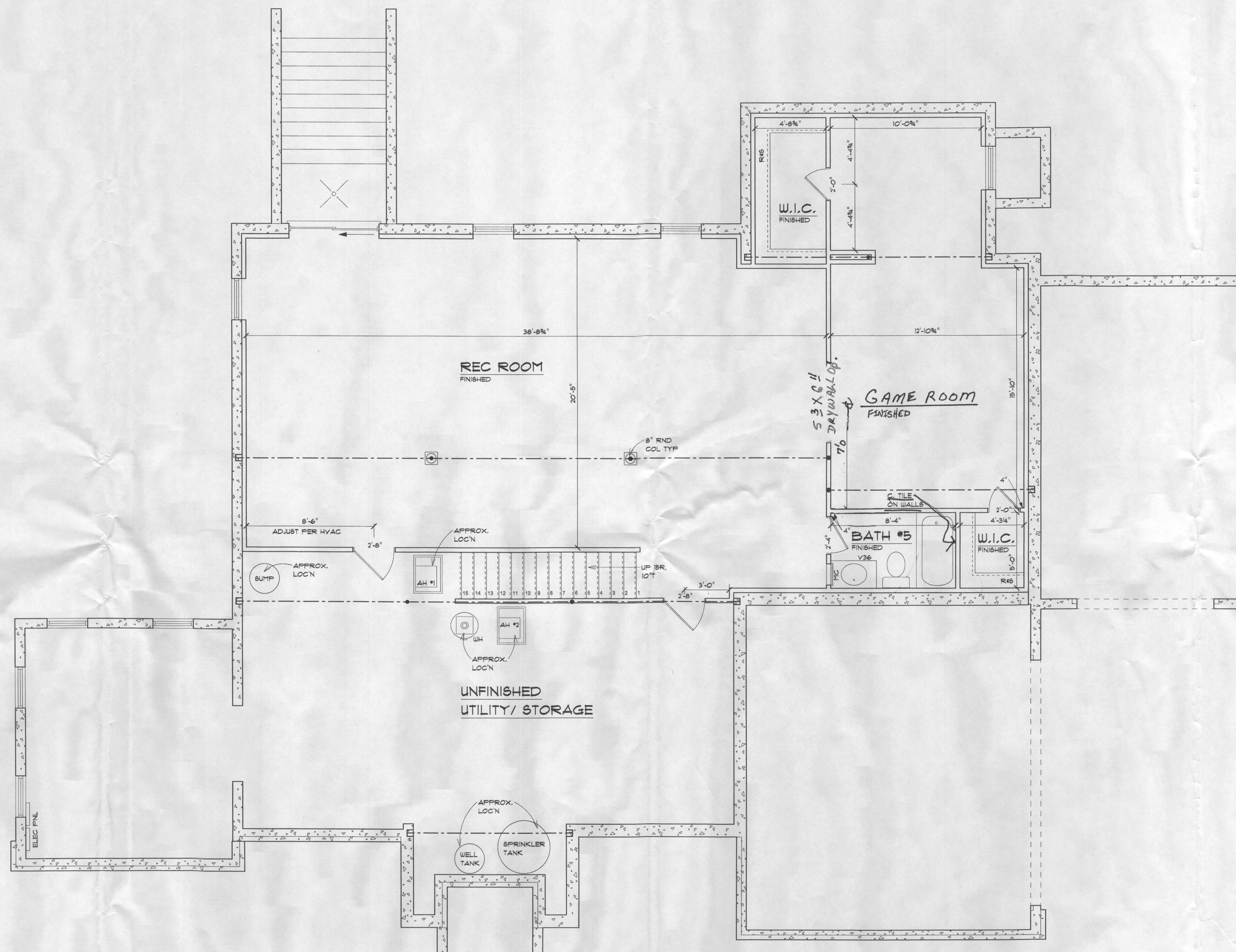
DATE	
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08-19-20

SHEET NO.

A-3

2012 CODE



FINISHED BASEMENT PLAN

2012 CODE

WALNUT CREEK INTERIOR TRIM PACKAGE

DOORS: 1ST, 2ND, & BASEMENT FLOORS - PREHUNG MASONITE, RAISED CAMDEN

DOOR HARDWARE: SATIN NICKEL STOPPS, KNOBS, HINGES, AND HANDLES

DOOR TRIM: 1ST, 2ND, & BASEMENT FLOORS - 3/4" BEADED EDGE CASING, FINGER JOINT

BASE: 1ST, 2ND, & BASEMENT FLOORS - 5/8" WM-163E

CHAIR RAIL: TWO PIECES WM-302 W/ 4 1/4" BEADED BOTTOM BACKER IN DINING ROOM

CROWN MOULDING: THREE PIECE 4 5/8" CROWN W/ BEADED BOTTOM BACKER W/ #183 TRIM IN LIVING ROOM, DINING ROOM, FAMILY ROOM, GALLERY, SUNROOM, FOYER, STUDY, SECOND FLOOR HALL, MASTER BEDROOM AND SITTING ROOM

COFFERED CEILING: TWO PIECE 4 5/8" CROWN W/ BOTTOM BACKER

NOTE: CARPENTER
ALLOW 4" FOR 3/4" CASING
ON 1ST FLOOR, 2ND FLOOR,
& FINISHED BASEMENT

**PROVIDE 2 MEDALLIONS-
LOCATIONS T.B.D. @ SELECTIONS**

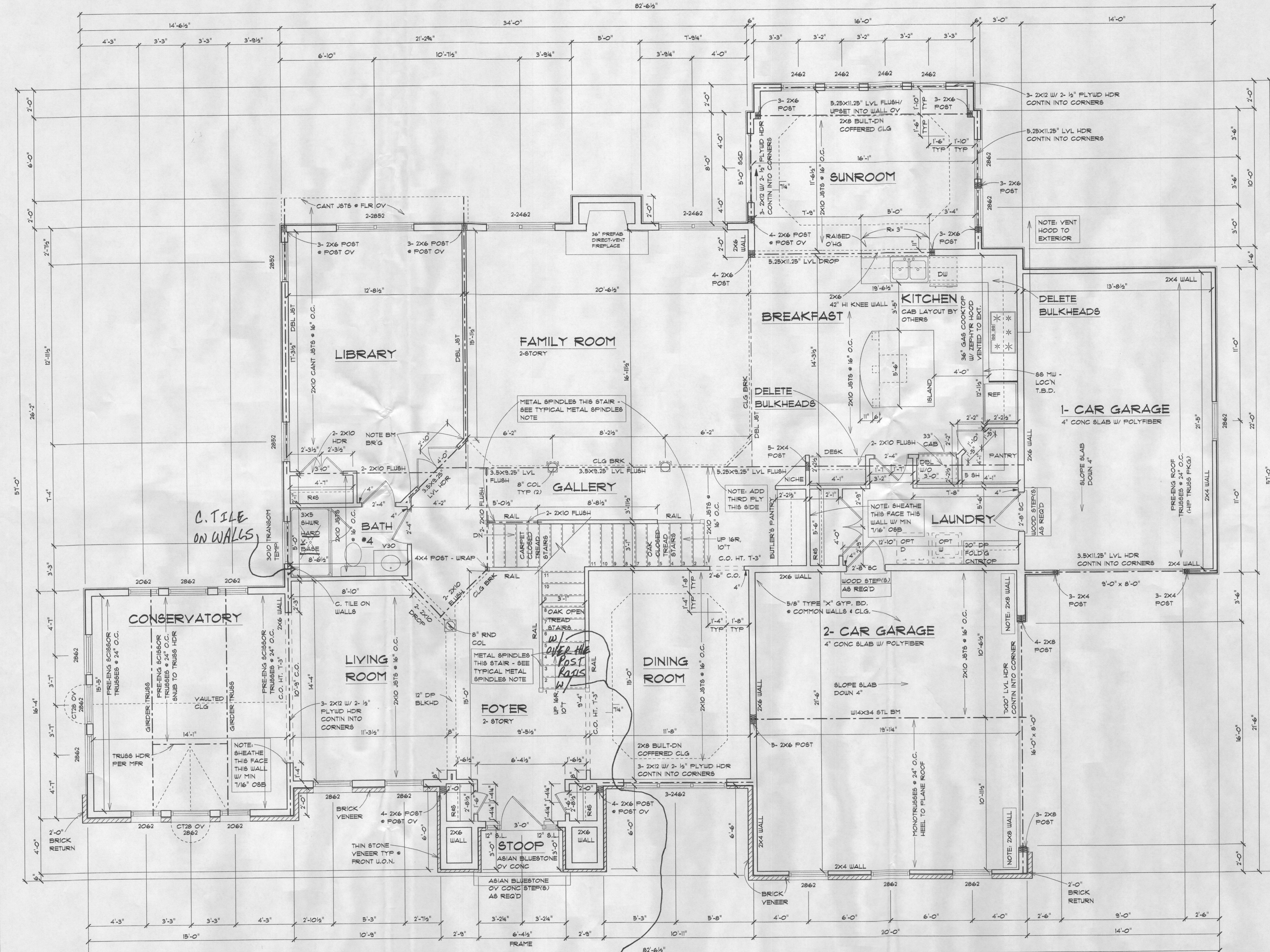
Foyer!
Dining Room!

2 GARAGE DOOR OPENERS
LIFTMASTER 3265

**NOTE: 9' CEILINGS U.O.N.
2X6 EXTERIOR WALLS U.O.N.**

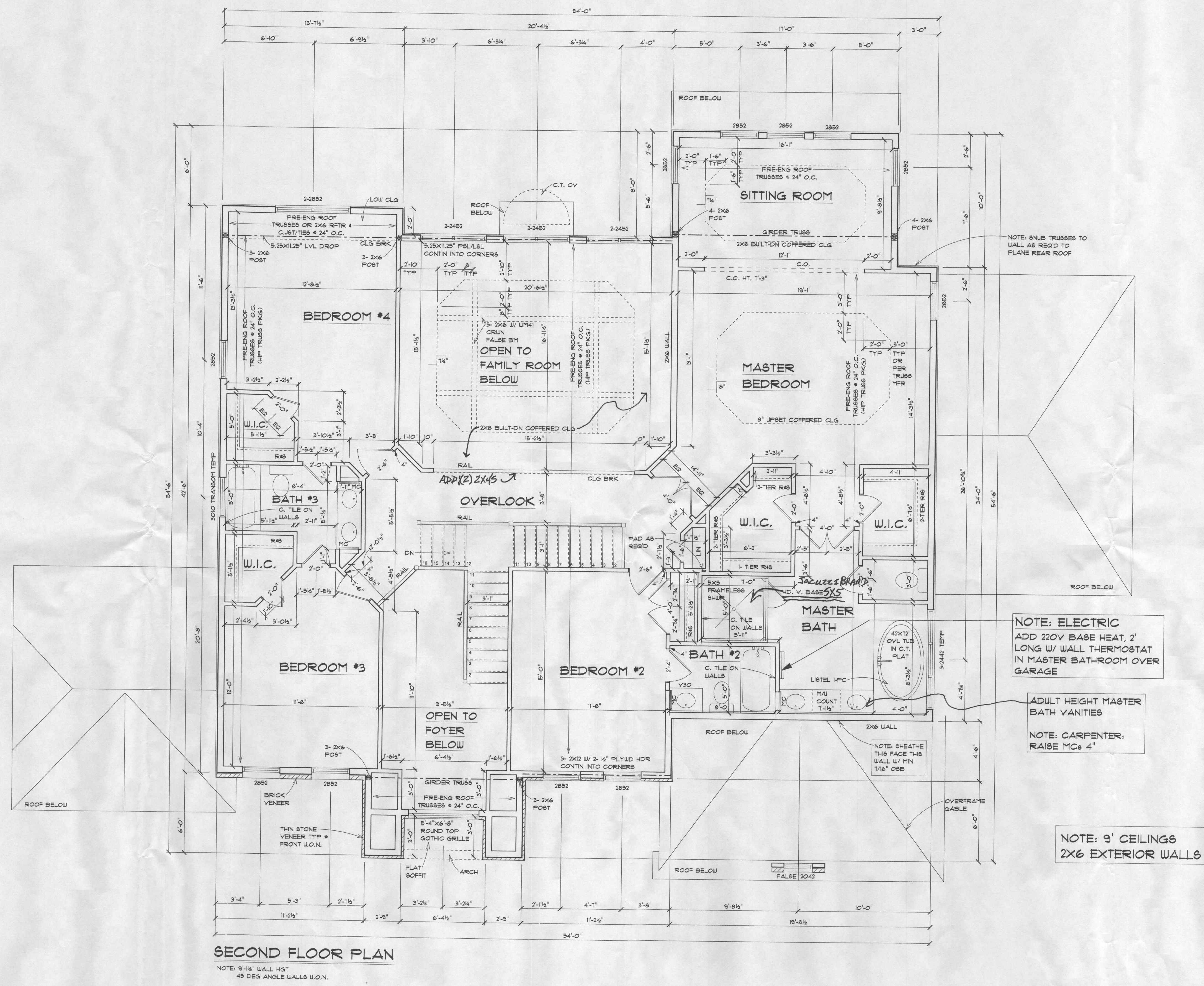
**NOTE: INTERIOR STAIRS SHALL CONFORM
TO THE FOLLOWING GEOMETRY:**

STRAIGHT:
RISER HEIGHT 7.75" MAX
TREAD DEPTH 10" MIN
NOSING .75" MIN 1.25" MAX
(NOTE: NOSING MAY BE OMITTED @
TREAD DEPTH OF 11" OR GREATER)



FIRST FLOOR PLAN
NOTE: 9'-1 1/8" WALL HGT
45 DEG ANGLE WALLS U.O.N.

TYPICAL METAL SPINDLES
INCLUDES OIL RUBBED COPPER
SPINDLES BASKET C2552 & STRAIGHT
C2551 BOTH W/ TWISTS & COLLARS AND
OVER THE POST RAILS FRONT & REAR
STAIRS (PER PLAN)



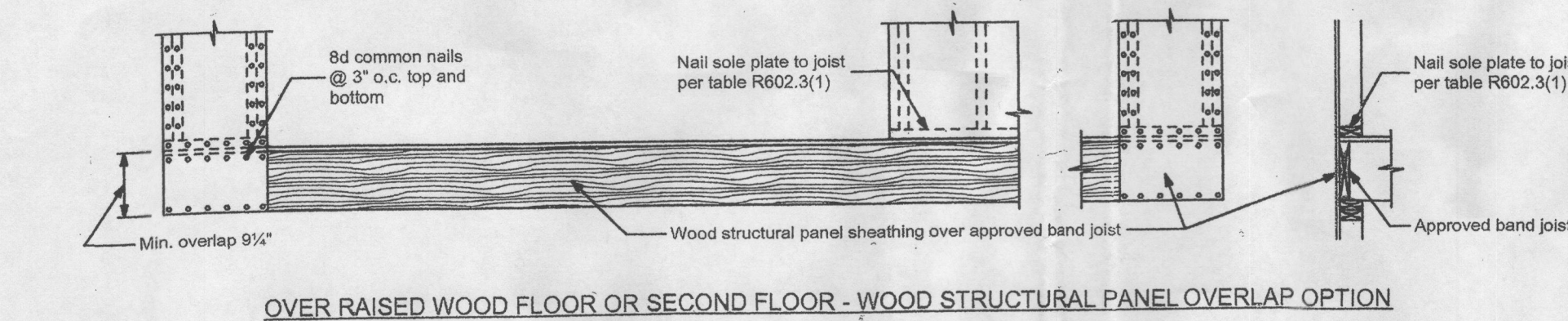
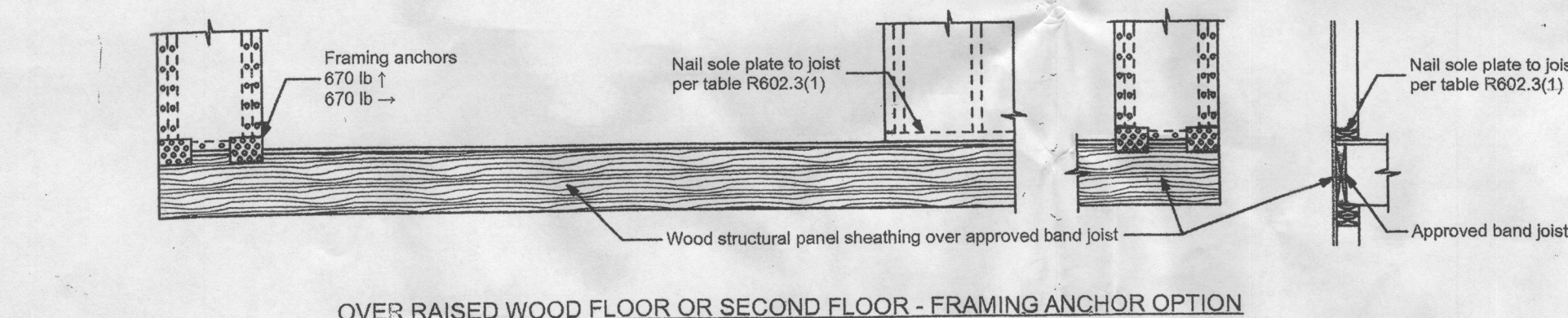
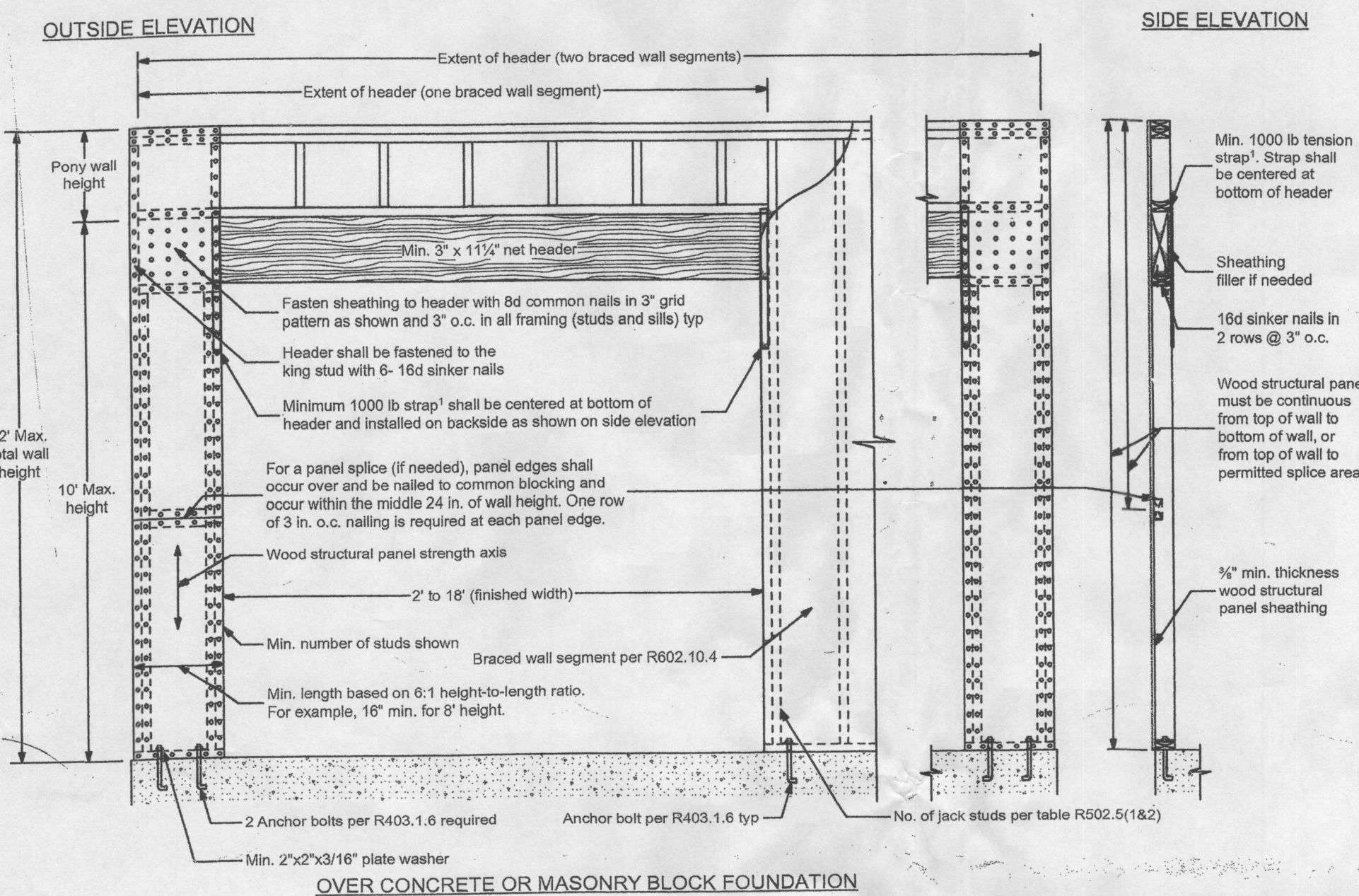
NOTES

Methods WSP & CS-WSP: Min. 7/16" OSB Wood Structural Panel sheathing attached to framing with 6d at 6" o.c. at panel edges and 12" o.c. at intermediate framing members.

Note: At Braced Wall Lines incorporating Continuously Sheathed bracing methods (CS-WSP & CS-PF), all exterior walls along the Braced Wall Line must be fully sheathed with min 7/16" OSB Wood Structural Panel sheathing fastened per IRC 2009 Tables R602.3(1), R602.3(2), and R602.3(3).

Method GB: Min. 1/2" gypsum board applied to each side of framing with adhesive and Type S or W screws @ 7" o.c. at panel edges and 24" o.c. at intermediate framing members or nails per IRC 2009 Table R702.3.5 @ 7" o.c. at panel edges and 16" o.c. at intermediate framing members.

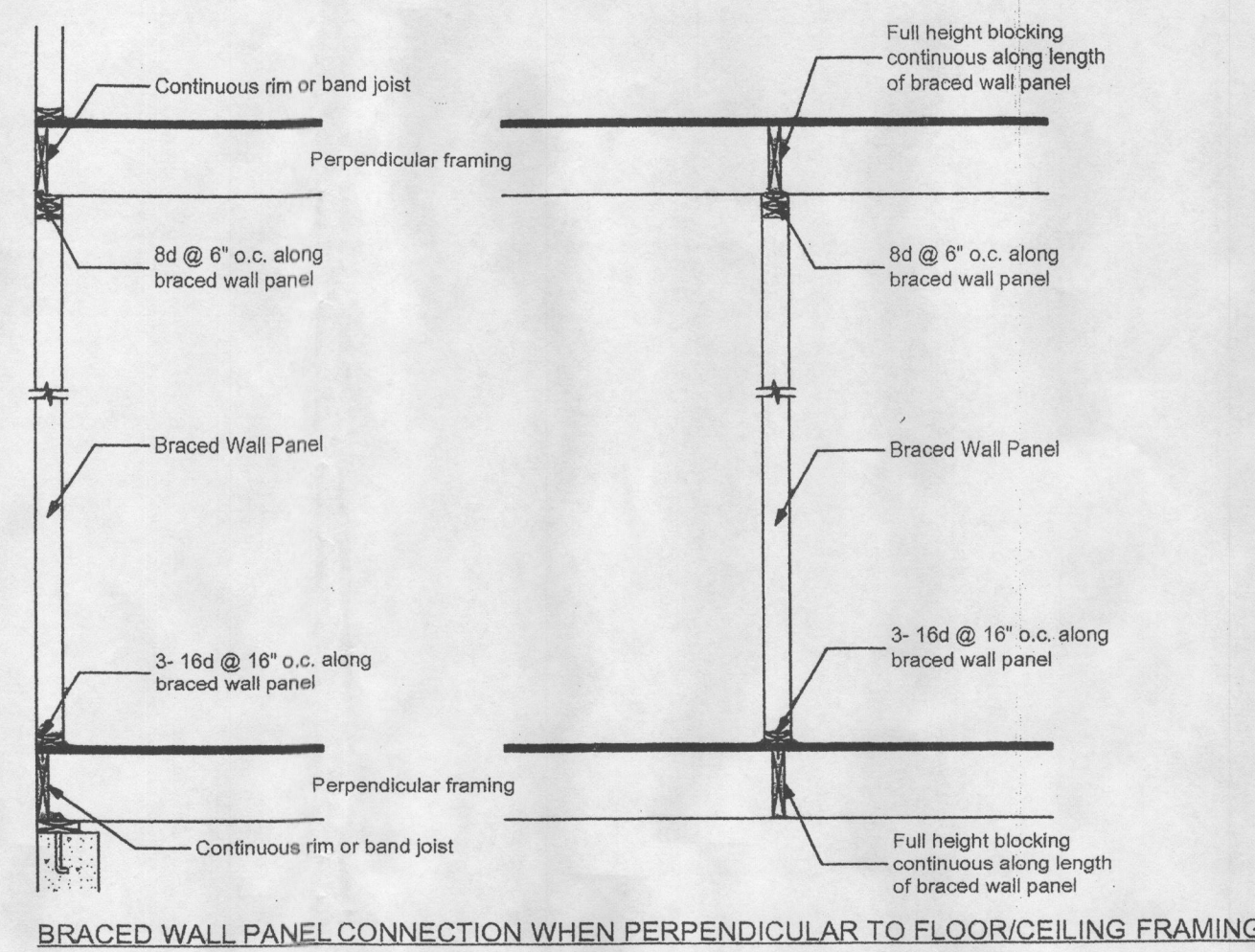
Method LIB: Simpson WB/WBC straps installed in an "X" pattern on one face of wall; fasten with 2- 16d nails at top and bottom plates and 1- 8d nail per stud. 8' tall walls to use either WB106/WB106C installed at 60° from horizontal (4'-8" linear wall length) or WB126/WB126C installed at 45° from horizontal (8'-1" linear wall length); 9' tall walls to use WB126/WB126C installed at 53° from horizontal (6'-10" linear wall length); 10' tall walls to use WB143C installed at 45° from horizontal (10'-1" linear wall length).



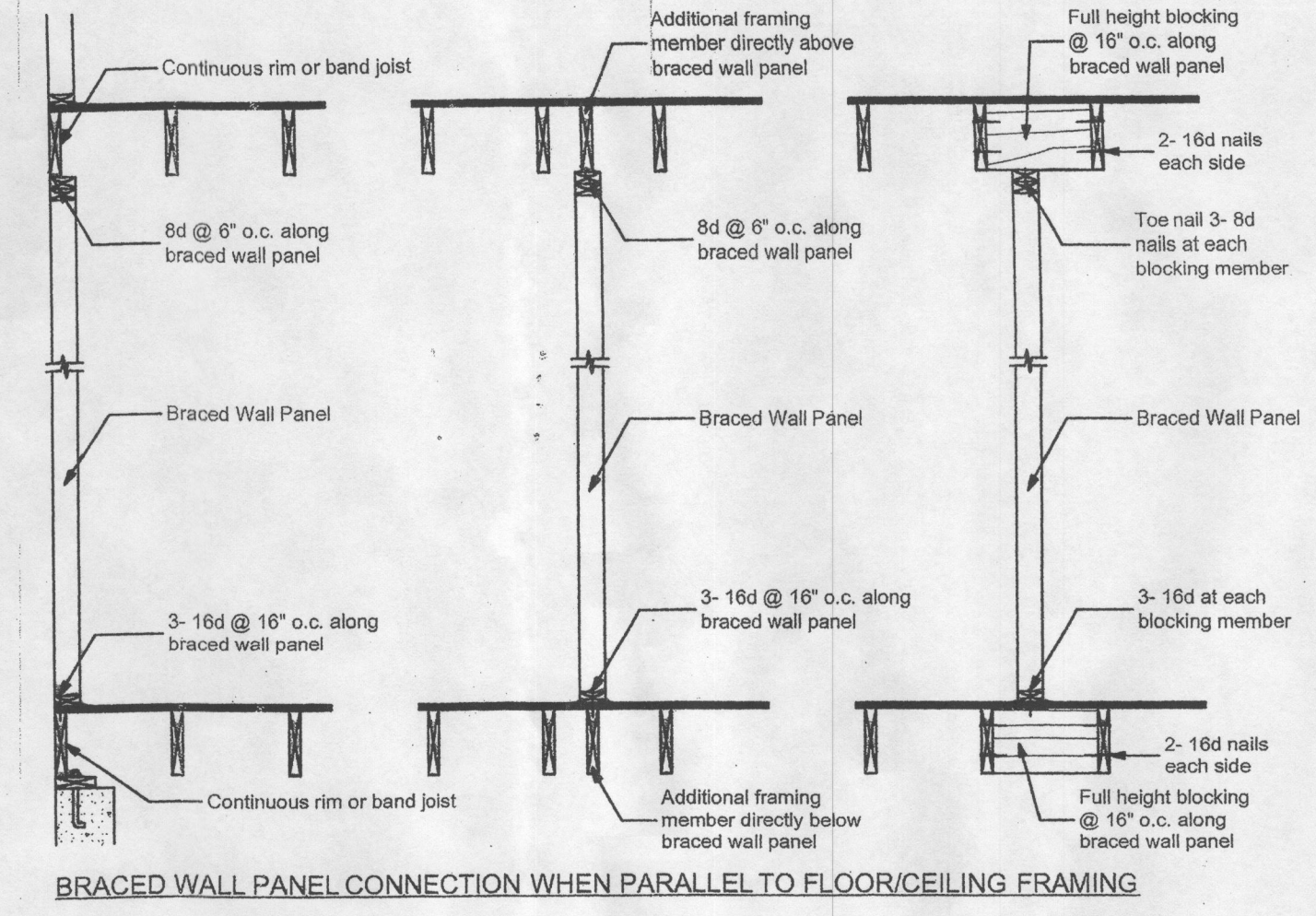
1 Tension Strap Capacity Required for Method CS-PF

Minimum Wall Stud Framing Nominal Size and Grade	Maximum Pory Wall Height (feet)	Maximum Total Wall Height (feet)	Maximum Opening Width (feet)	Wind Exposure B Tension strap capacity required (lb)	Wind Exposure C Tension strap capacity required (lb)
2x4 No. 2 Grade	1	10	18	1000	1000
			16	1000	2325
			18	1200	2725
			9	1000	1550
			16	2025	3900
			18	2400	DR
	2	12	18	1200	2750
			16	3200	DR
			18	3850	DR
			9	2350	DR
			16	DR	DR
			9	1000	1750
2x6 Stud Grade	2	12	16	2050	3550
			18	2450	4100
			9	1500	2775
			16	3150	DR
			18	3675	DR
			9	1500	2775

Notes: 1. Basic Wind Speed of 90mph. For other Basic Wind Speeds, see IRC 2009 Table R602.10.4.1.1
2. DR = Design Required



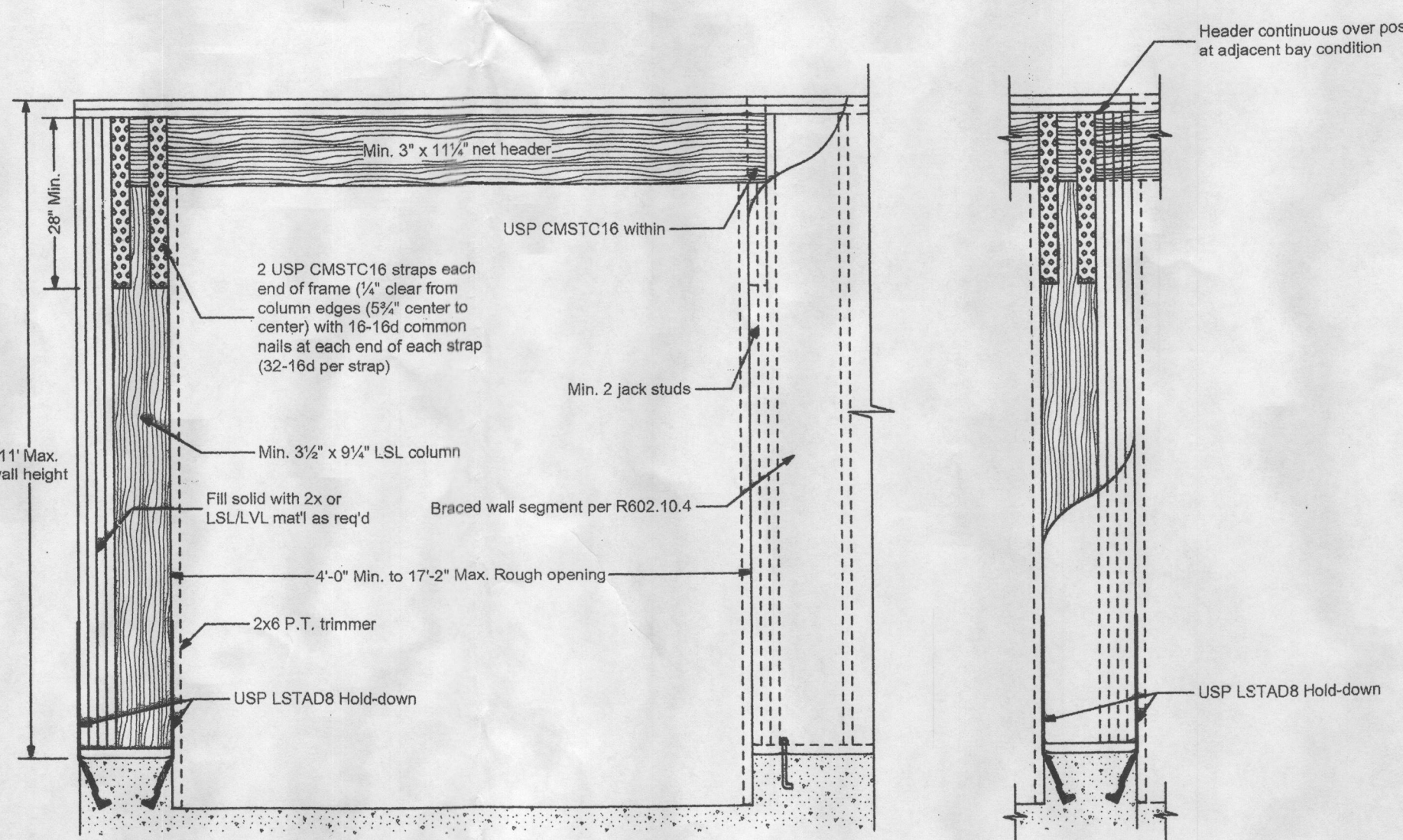
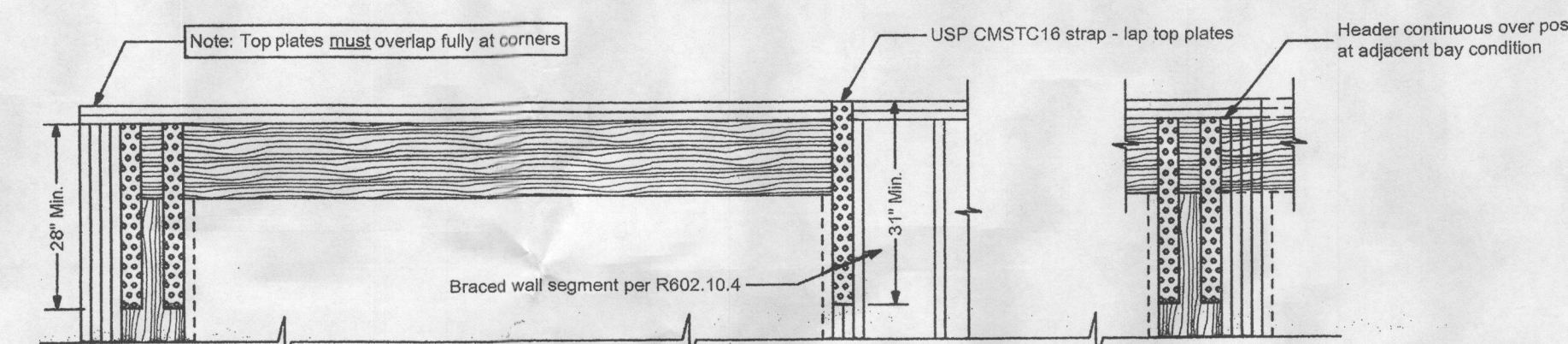
BRACED WALL PANEL CONNECTION WHEN PERPENDICULAR TO FLOOR/CEILING FRAMING



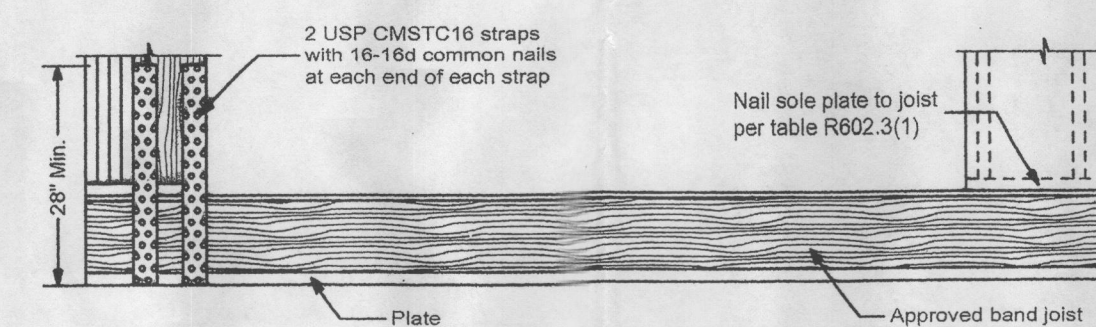
BRACED WALL PANEL CONNECTION WHEN PARALLEL TO FLOOR/CEILING FRAMING

Braced Wall Panel Connections to Floor and Ceiling Framing

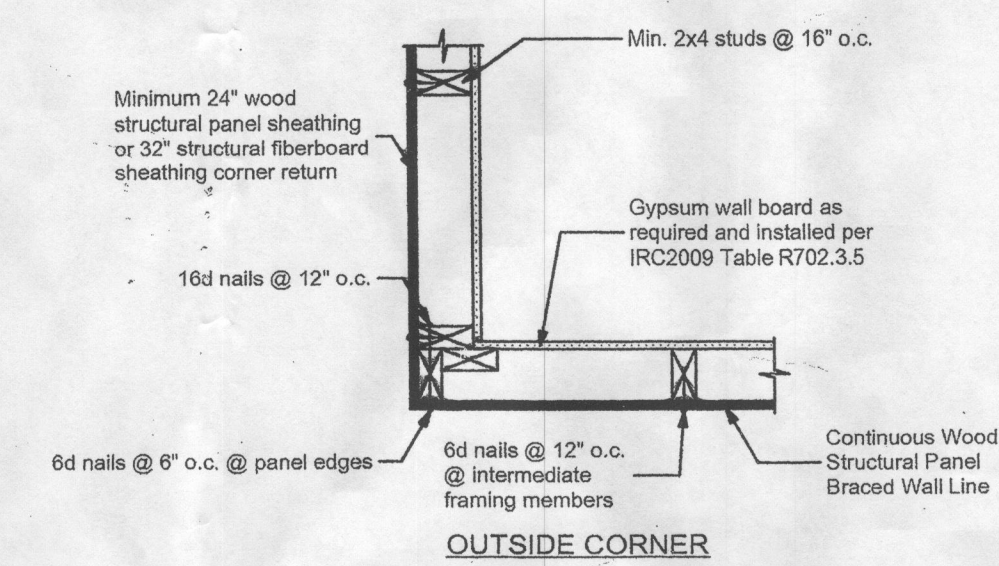
NOT TO SCALE



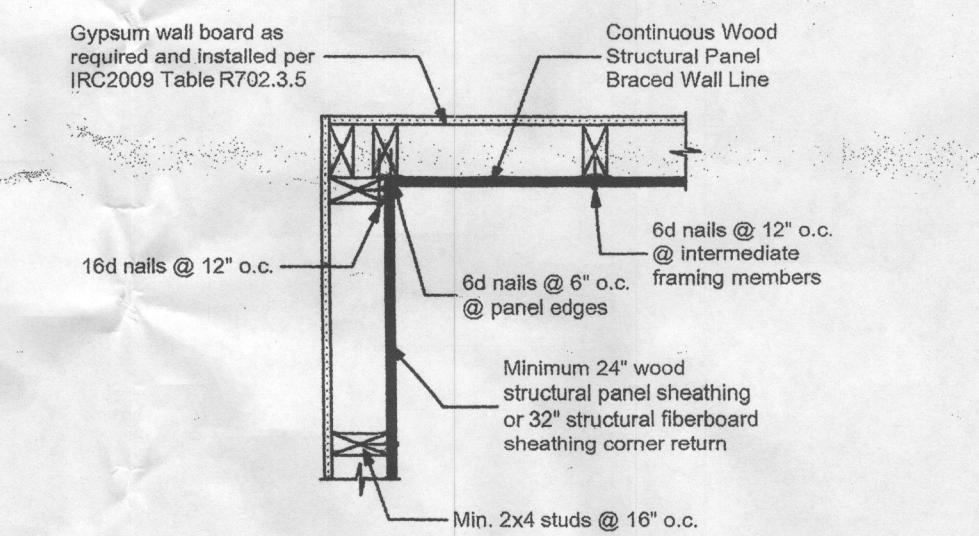
EXTERIOR ELEVATION OVER CONCRETE FOUNDATION



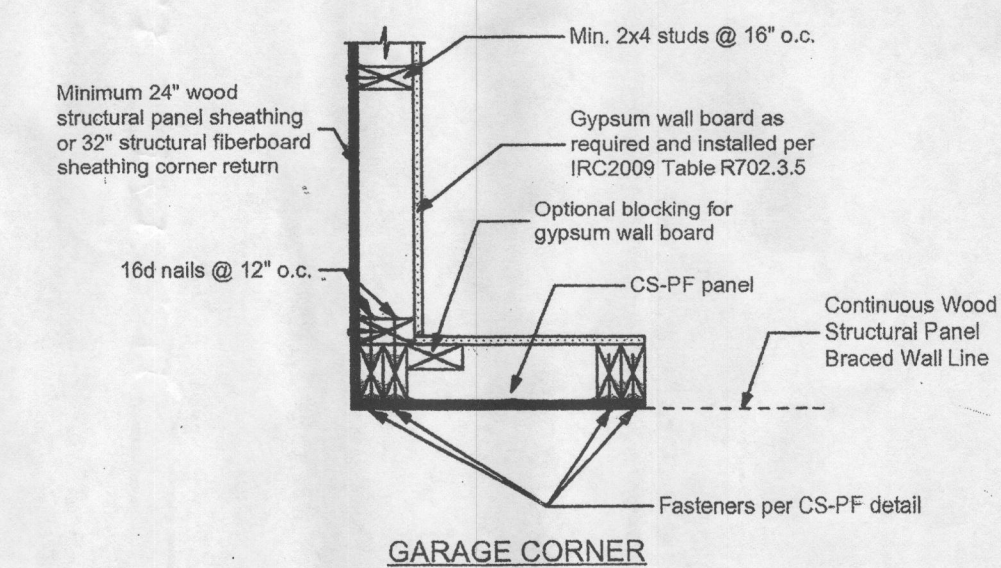
EXTERIOR ELEVATION OVER RAISED WOOD FLOOR



OUTSIDE CORNER



INSIDE CORNER



GARAGE CORNER

Corner Framing Details

NOT TO SCALE

CS-PF Continuous Portal Frame
NOT TO SCALE

EPF Engineered LSL Column Portal Frame
NOT TO SCALE

© 2010

STANDARD WIND BRACING DETAILS



REVISIONS
12/13/2010
04/10/2012
DATE
08/16/2010
SHEET NO.

W-1

A-7

