

Build. ermit Application

Howard Count Maryland

Department of Inspections, Licenses and Permits

3430 Court House Drive

Permits: 410,313,3455

Permits: 410-313-2455 www.howardcountymd.gov

Date	Received:	<u> </u>	ite.

Permit No.:

Building Address: 1857		Property Owner's Name:	a day in A		
City: 11100 State:	M P Zip Code: 2015	Address: Same State:	7in Code		
Suite/Apt. #SDF	P/WP/BA #:	Phone:	Fax:		
Census Tract:	_ Subdivision:	Email:			
Section:Area	Applicant's Name & Mailing Address, (If	other than stated herein)			
Tax Map: Parcel: Lot Size: Applicant's Name & Mailing Address, (if other than stated herein Applicant's Name: Address:					
	tes: Lot Size:	Address:	Zip Code:		
Zoning iwap Coordina	testot size:	City: State: Fax:	zip code		
Existing Use:	r. J. 10	Email:	5		
Proposed Use: Contractor Company: Joine Owner					
Estimated Construction Cost: \$	000	Contact Person:			
	1 1 1	Address:			
Description of Work:	No.	City:State:			
	20 T	License No. :			
		Phone: Fax:			
Occupant or Tenant:	·	Émail:			
Was tenant space previously occupied	? □Yes □No	*Engineer/Architect Company:	A STATE OF THE STATE OF		
Contact Name:		Responsible Design Prof.:			
Address:	4.00	Address:			
	State: Zip Code:	City:State:			
Email:	Phone: Fax: Phone: Fax:				
Lillan.e		Email:			
Commercial Building Characteristics	Residential Building Characteristics	Utilities			
Height:	☐ SF Dwelling ☐ SF Townhouse	<u>Water Supply</u>			
No. of stories: Gross area, sq. ft./floor:	Depth Width 1st floor:	Public			
Gross area, sq. re, moor.	2 nd floor:	☐ Private	· 计划 (10) (10) (10) (10) (10)		
Area of construction (sq. ft.):	Basement:	<u>Sewage Disposal</u>	Charles and the second		
	☐ Finished Basement	Public	24 (33) 46 (31 - 17)		
Use group:	☐ Unfinished Basement	Private			
Construction type:	☐ Crawl Space ☐ Slab on Grade	Electric:	1-20-10-15-EXECUTE:		
☐ Reinforced Concrete	No. of Bedrooms:	Gas: Yes No	等之义。 1965年 1967年 1967年		
☐ Structural Steel	Multi-family Dwelling	<u>Heating System</u>	3. T. G. G. G. J. J. J. G.		
☐ Masonry	No. of efficiency units:	☐ Electric ☐ Oil			
·□ Wood Frame	No. of 1 BR units:	☐ Natural Gas ☐ Propane Gas			
State Certified Modular	No. of 2 BR units:	☐ Other:			
	No. of 3 BR units:	Sprinkler System:			
	Other Structure:	☐ Yes ☐ No → r	Little Barrell, and Serve		
> Roadside Tree Project Permit	Dimensions: .Footings:	,			
□Yes □No	Roof:	Grading Permit Number	:		
Roadside Tree Project Permit #	☐ State Certified Modular		,		
	☐ Manufactured Home	Building Shell Permit Number	:		
WITH ALL REGULATIONS OF HOWARD COUNTY THIS APPLICATION; (5) THAT HE/SHE GRANTS CO	WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE N UNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PRO	D MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS WILL PERFORM NO WORK ON THE ABOVE REFERENCED P PPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERM	ROPERTY NOT SPECIFICALLY DESCRIBED IN		
Applicant's Signature	P	Print Name			
Email Address		Orto Williams			
Email Address		Oate			
Title/Company		v			
eg referit e g	Checks Payable to: DIRECTOR OF **PLEASE WRITE NE -FOR OFFIC				
AGENCY DATE S	GIGNATURE OF APPROVAL DPZ SETBACE	K INFORMATION Filing Fe			

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		V
PSZA (Engineering)	. 01	0 1
Health.	15/16	Brings

Is Sediment Control approval required for is

 \square CONTINGENCY CONSTRUCTION START

White: Building Officials

Rear: Side: All minimum setbacks met? ☐ Yes ☐ No

Check Pink: Health

Tech Fee

Excise Tax PSFS

Guaranty Fund

Add'l per Fee Total Fees Sub-Total Paid

Balance Due

Gold: SHA

Yellow: PSZA,Engineering

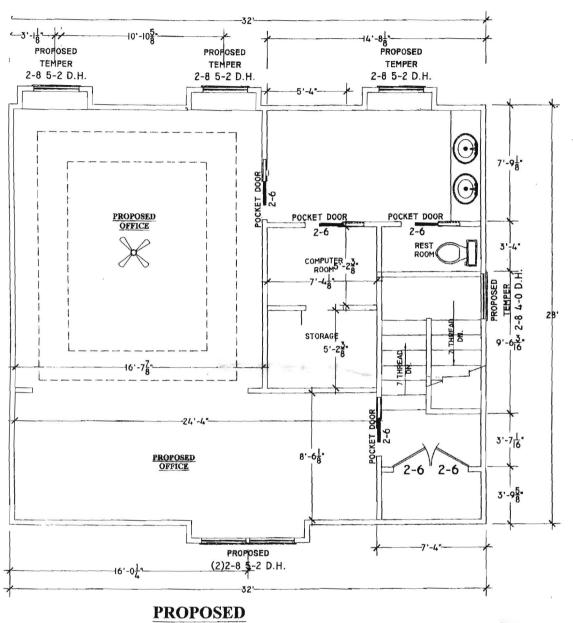
Distribution of Copies:

Howard County Health Department 8930 Stanford Boulevard Columbia Md 21045

To Whom It May Concern:

My name is Jacobi Jones. I reside at 11857 Scaggsville Rd. Fulton, Md. 20759. I would like to state that there are not any rough ins for Tubs or Showers in the Garage. If there are any other questions or concerns please call or email me at 678-758-1786 or cobijj@gmail.com.

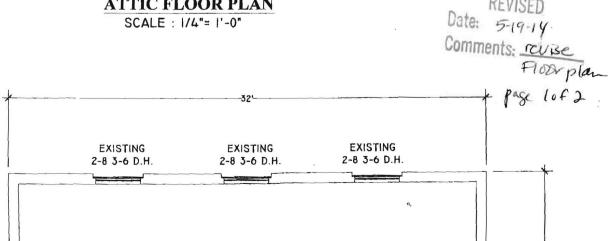
Thank you

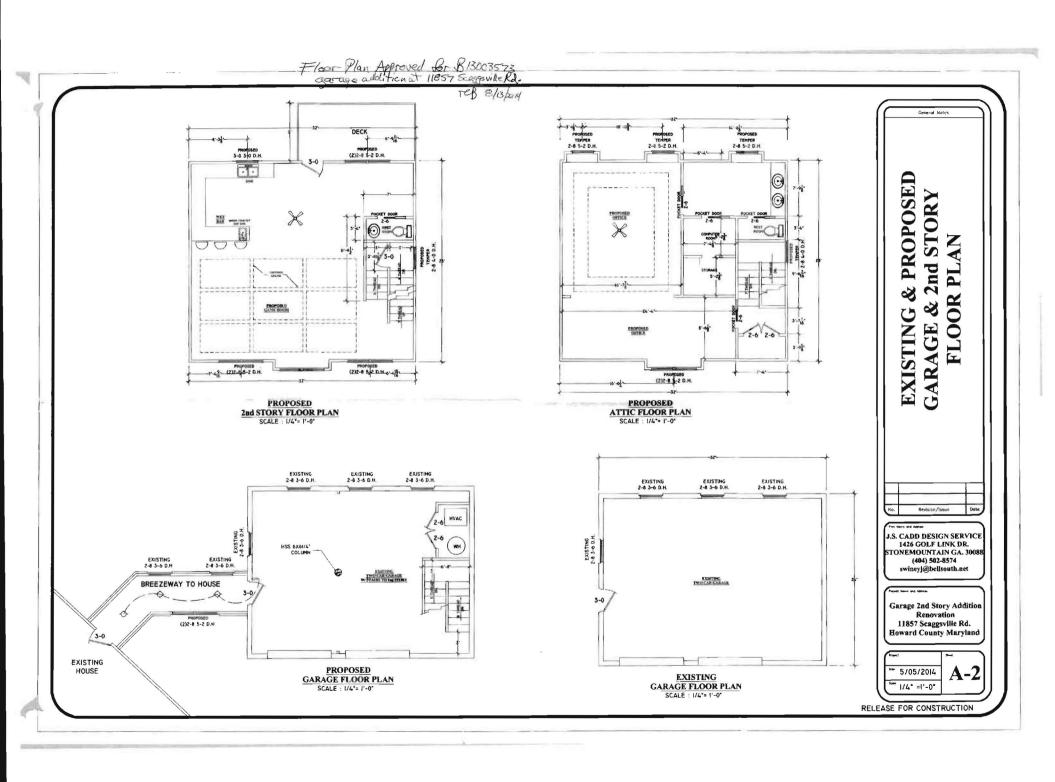


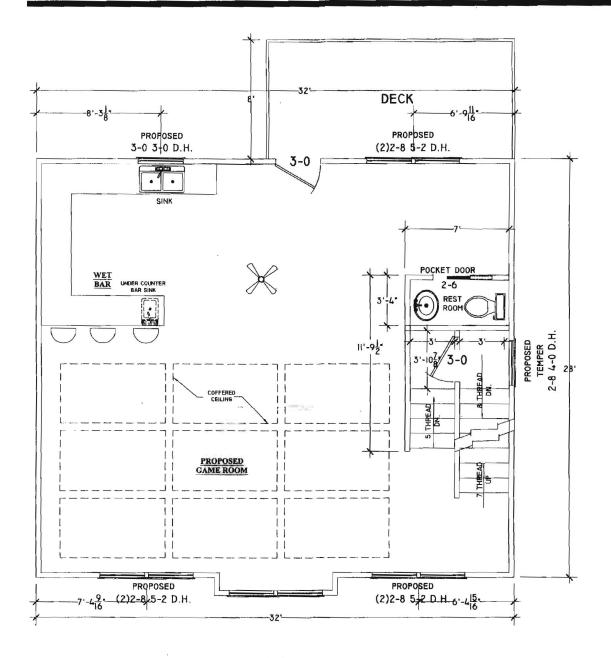
ATTIC FLOOR PLAN

SCALE : 1/4"= 1'-0"

REVISED







PROPOSED 2nd STORY FLOOR PLAN

SCALE : 1/4"= 1'-0"

REVISED

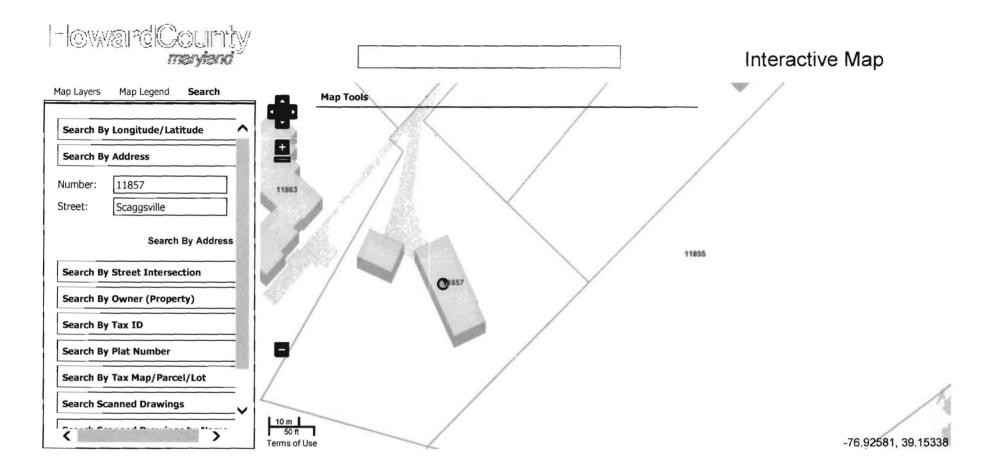
Date: 5-19-14

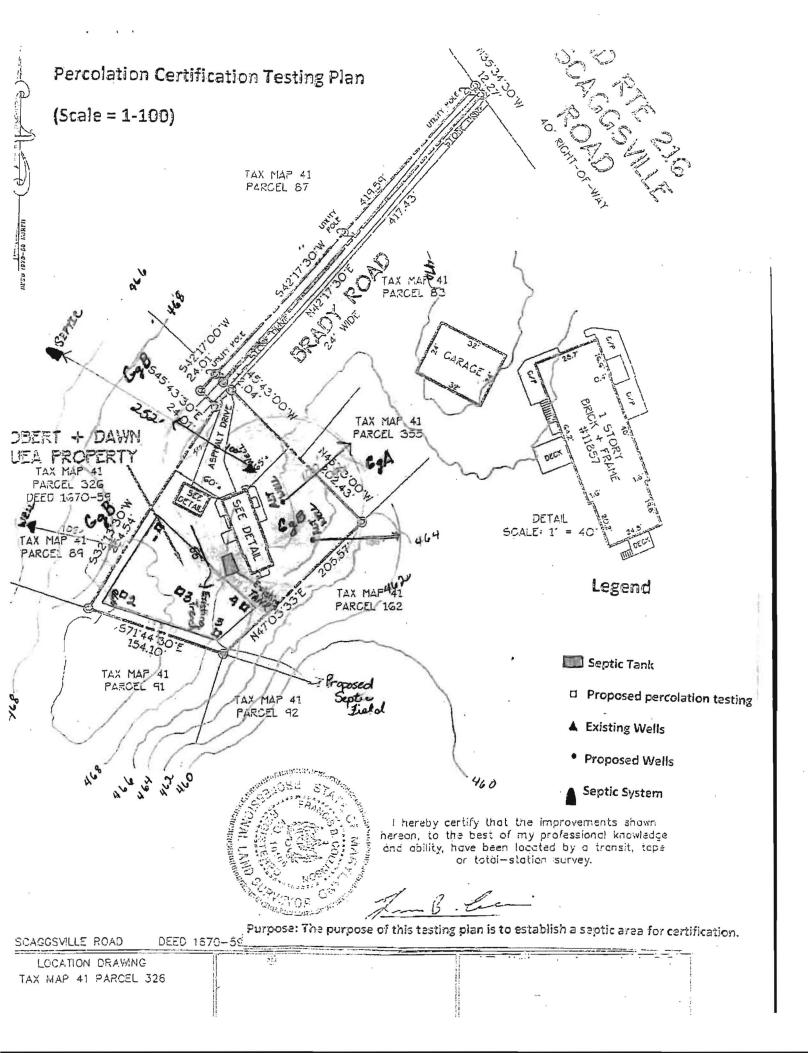
Comments: reuse
Floor plan

page 20F2

EXISTING EXISTING 2-8 3-6 D.H. 2-8 3-6 D.H. 2-8 3-6 D.H. 2-6 HVAC

SITE INSPECTION SHEET
OWNER: Jacobi Jores PHONE #:
ADDRESS: 11857 Scaggesville Recontractor:
Fulton MD 20759 WELL TAG#:
SUBDIVISION: LOT: COUNTY #:
PROPOSAL: 2nd floor addition, Approx 2868 SF
LOCATION DIAGRAM
Zaliti de la companya del companya del companya de la companya de
COMMENTS: 1 pa, well cap who conduit or try; cap was look
No evidence of septic issues.
DATE: 8-3-16 INSPECTOR: Hank Oswall





Bernard, Dana

From:

Bernard, Dana

Sent:

Wednesday, July 27, 2016 10:30 AM

To:

jacobi jones (

Subject:

11857 Scaggsville Road

Good Morning,

I hope all is well and you are enjoying your summer. I have reviewed your plan and I need your floor plans to approve your permit. I will need floor plans for the existing house and floor plans for the proposed addition. Talk to you soon.

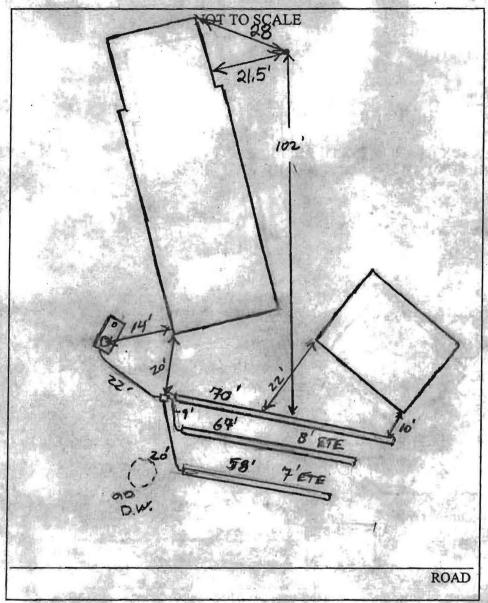
Thank you & Have a*")

* Wonderful Day!

Dana Bernard, R.E.H.S/L.E.H.S. Environmental Specialist II Bureau of Environmental Health Well and Septic Program

Phone (410) 313-2775

E-mail: DBernard@howardcountymd.gov



	TRENCH/DRAINFIELD DATA
	WIDTH INLET BOTTOM
	2 4.5 11
	NUMBER OF TRENCHES 3
	TOTAL LENGTH 19.5
	ABSORPTION AREA 390 +SW
	DISTRIBUTION BOX LEVEL Yes
į	DISTRIBUTION BOX BAFFLE Yes
100	DISTRIBUTION BOX PORT

Ŋ	SEPTIC TANK DATA SEPTIC TANK I LEVEL
	CAPACITY /2507 GAL
	SEAM LOC Aid
Sear Land	TANK LID DEPTH 4'
	BAFFLES Reco
	BAFFLE FILTER
	MANHOLE LOC Recr
	6" PORT LOC Frank
255	WATERTIGHT TEST
1	SEPTIC TANK 2 LEVEL
	CAPACITY GAL
T. California	SEAM LOC
	TANK LID DEPTH
	BAFFLES
I	BAFFLE FILTER
	MANHOLE LOC
	6" PORT LOC
	WATERTIGHT TEST
4	

NSTALLATION_	5/11/04	Ex	Dymes	1 ping	of colley	peed.
New to	enches c	inder d	steway.	Pressure	from	ea the
off of						
	back A			35		
		her in all		Line Burn	A 1	
AL SUL	根据是许证上		4			(1) (A.9)
78V 40517*		170				
F-16		, 60%		é	Total roll	

PUB. SEWER STA	TUS VERIFIED B	Y	
ISSUE DATE:	5/8/07	DEDMIT	P <u>5 26687</u>
ADDROVALDAT	n	PERMIT	

ON-SITE SEWAGE DISPOSAL SYSTEM HOWARD COUNTY HEALTH DEPARTMENT BUREAU OF ENVIRONMENTAL HEALTH

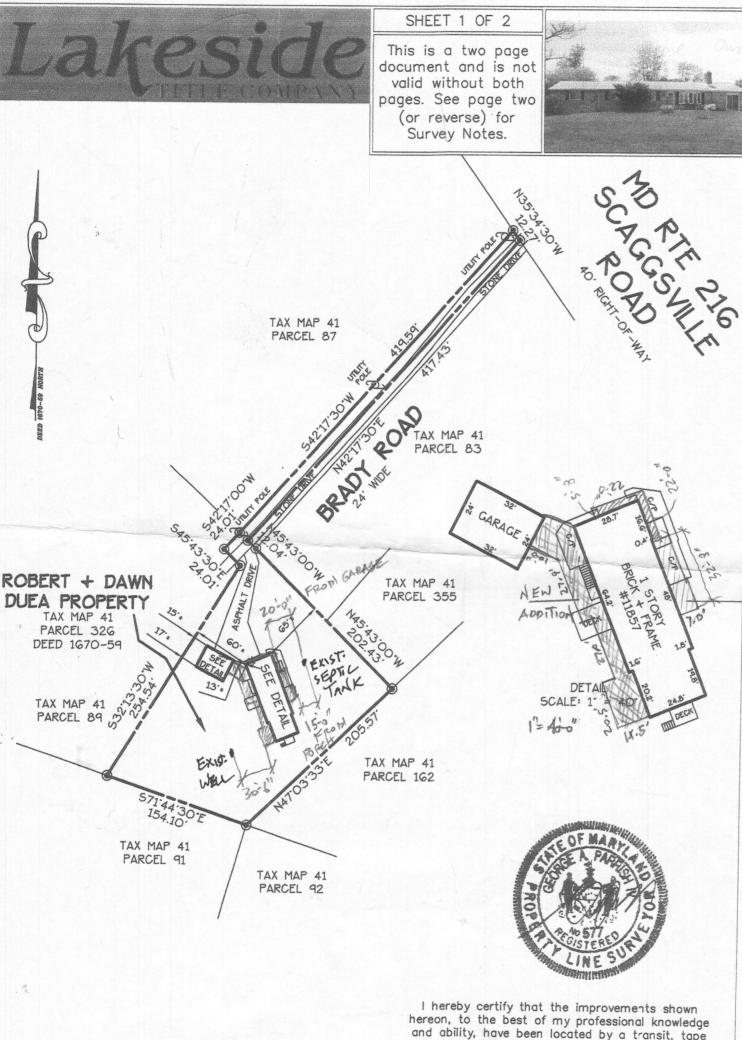
Tax ID # 05-352703

J M Contracting LLC		IS PERMITTED TO INSTALL □ ALTER ⊠	
ADDRESS:	425 Obrecht Road, Sykesville	PHONE NUMBER: 443-277-7526	
SUBDIVISION:		LOT NUMBER:	
ADDRESS:	11857 Scaggsville Road	PROPERTY OWNER: Dawn Duea	
PUMP CHAM NUMBER OF SQUARE FEI		Trenches 2' Wide In let 7.5' Bo Hom 11.5' 50', 60' and 70' Trenches le. Inlet feet below original grade. Bottom maximum depth feet below original grade.	
LOCATION:			
PURPOSE:	Existing septic system has sanitarian can recommend	failed. Call for inspection when ground is opened so repair.	
PLANS APPROVED:		DATE:	
NOTE: CONTRAC	OID AFTER 2 YEARS CTOR RESPONSIBLE FOR SCHEDULING A PRICHT SEPTIC TANKS REQUIRED	E-CONSTRUCTION INSPECTION FOR ALL INSTALLATIONS	

NOTE: ALL PARTS OF SEPTIC SYSTMEM SHALL BE 100 FEET FROM ANY WATER WELL

NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS

NEITHER THE HOWARD COUNTY COUNCIL OR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT CALL 410-313-2640 FOR INSPECTION OF SEPTIC SYSTEM



hereon, to the best of my professional knowledge and ability, have been located by a transit, tape or total-station survey.

GEORGE A. PARRISH IV PROP.LS#577

LICENSE EXPIRATION DATE 03/24/2015

11857 SCAGGSVILLE ROAD

LOCATION DRAWING TAX MAP 41 PARCEL 326

DEED 1670-59

ROBERT & DAWN DUEA PROPERTY

FIFTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND SCALE: 1" = 100' JUNE 2013

PROJECT#37153 F/N: DUEA-PROPERTY



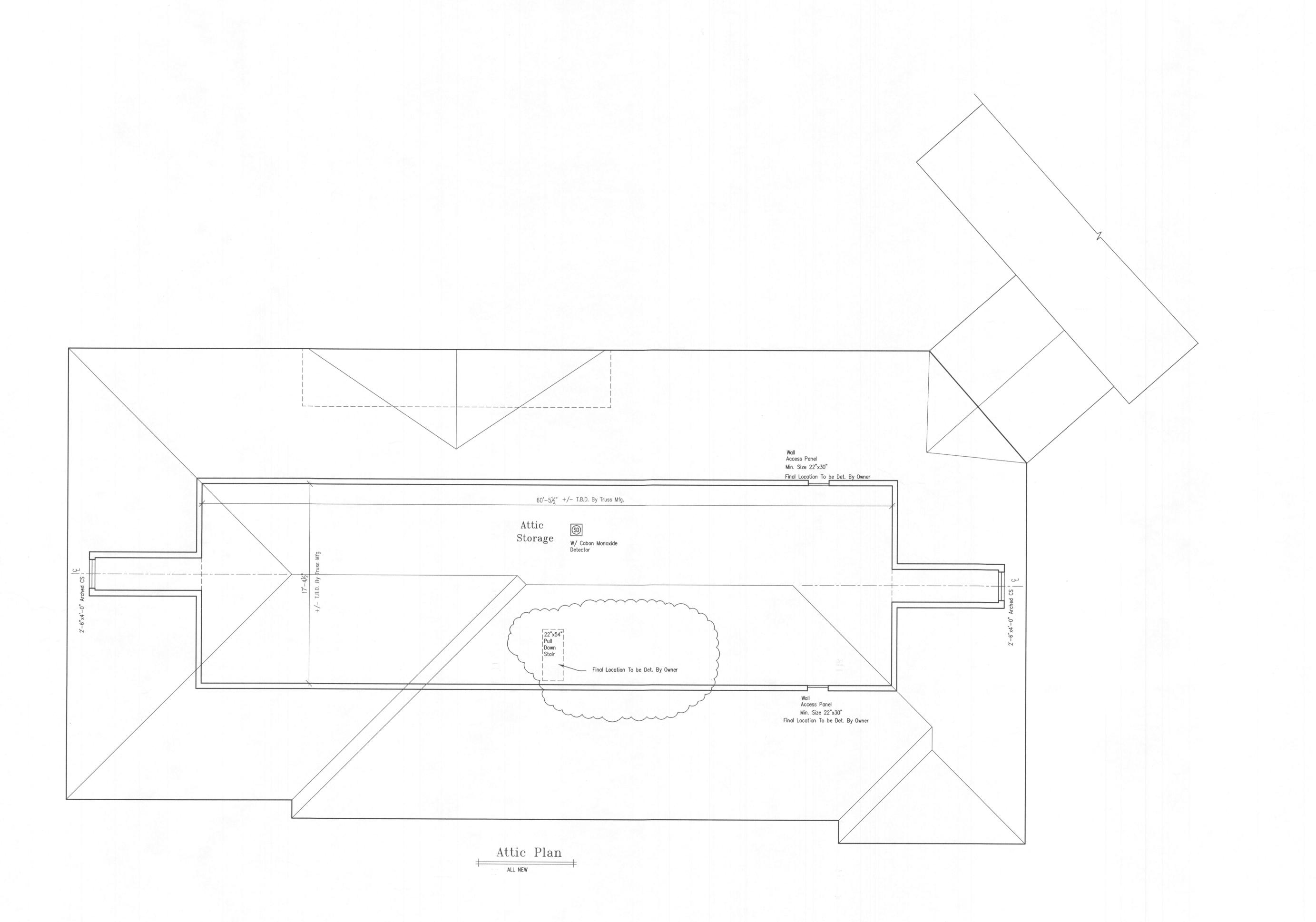


6/14/13

NEW

PORCH

Established 1975 3140 WEST WARD ROAD SUITE 103 DUNKIRK, MARYLAND 20754 P:(410)286-9712 F:(410)286-9716



ADDITION RENOVATION, UPPER FLOOR ADDITION,

11857 SCAGGSVILLE ROAD FULTON, MARYLAND 20759

QUIET STREAM ARCHITECTURE
TANIA L. BRUNO, ARCHITECT

8808 QUIET STREAM CT. POTOMAC, MARYLAND 20854 301-213-2520

THE ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES, OR FOR SAFETY MEASURES IN CONNECTION WITH THE WORK, AND SHALL NOT BE HELD RESPONSIBLE FOR THE FAILURE OF THE CONTRACTOR SUBCONTRACTORS OR ANYONE PERFORMING THE WORK TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL FIELD DIMENSIONS AND CONDITIONS PRIOR TO PROCEEDING WITH THE WORK, FAILURE TO VISIT SITE WILL NOT RELIEVE SUB CONTRACTOR FROM NECESSITY OF FURNISHING MATERIALS OR PERFORMING WORK THAT MAY BE REQUIRED TO COMPLETE WORK IN ACCORDANCE WITH DRAWINGS, NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED. DIMENSIONS, ARCHITECT SHALL BE NOTIFIED PROMPTLY OF ANY DIMENSIONAL OR INFORMATIONAL DISCREPANCIES NCLUDING FIELD CONDITIONS OR OTHER INFORMATION ON THE DRAWINGS PRIOR TO CONSTRUCTION.

THE GENERAL NOTES AND TYPICAL DETAILS APPLY THROUGHOUT THE CONSTRUCTION DOCUMENTS UNLESS INDICATED OTHERWISE, WHERE CONDITIONS ARE NOT SPECIFICALLY SHOWN OR DETAILED, THE CHARACTER AND QUALITY OF THE WORK SHALL BE THE SAME AS THAT INDICATED FOR SIMILAR CONDITIONS.

THE CONTRACTOR SHALL COORDINATE AND COMPARE ALL DRAWINGS BETWEEN THE DIFFERENT CONSULTANTS AND TRADES TO ENSURE THE EFFICIENT AND ORDERLY SEQUENCE OF INSTALLATION OF CONSTRUCTION ELEMENTS, WITH PROVISIONS FOR ACCOMMODATING ITEMS INSTALLED LATER. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, WHICH MAY BE FOUND. COORDINATE SPACE REQUIREMENTS AND INSTALLATION OF MECHANICAL, ELECTRICAL, PLUMBING AND OTHER COORDINATION WORK, WHICH IS INDICATED DIAGRAMMATICALLY, RESOLVE ROUTING ISSUES AND SPACE ALLOCATIONS BEFORE WORK IS STARTED. FOLLOW ROUTING INDICATED ON SHOP DRWGS FOR PIPES, DUCTS, AND CONDUITS AS CLOSELY AS PRACTICABLE, MAKE RUNS PARALLEL WITH LINES OF BUILDING. UTILIZE SPACES EFFICIENTLY TO MAXIMIZE ACCESSIBILITY FOR OTHER INSTALLATIONS, MAINTENANCE, AND REPAIRS.

INSTALLER SHALL INSPECT THE SUBSTRATE TO RECEIVE WORK AND CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED AND VERIFY LAYOUT OF WORK BEFORE BEGINNING INSTALLATION. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED TO SATISFACTION OF INSTALLER. BEGINNING OF WORK MEANS ACCEPTANCE OF WORK BY INSTALLER.

WHEN SUBJECT TO DAMAGE BECAUSE OF ADJACENT OPERATIONS, COVER, BOARD UP, OR SUBSTANTIALLY ENCLOSE WITH ADEQUATE PROTECTION.

FOR PRODUCTS OR WORKMANSHIP SPECIFIED OR INDICATED BY ASSOCIATION, TRADE OR FEDERAL STANDARDS COMPLY WITH REQUIREMENTS OF STANDARDS. EXCEPT WHEN MORE RIGID REQUIREMENTS ARE SPECIFIED OR ARE REQUIRED BY APPLICABLE CODES, EFFECTIVE DATE OF STANDARD IS THAT IN EFFECT AS OF DOCUMENTS DATE EXCEPT WHEN SPECIFIC DATE IS SPECIFIED OR WHEN STANDARD IS PART OF APPLICABLE CODE WHICH INCLUDES

DELIVER AND HANDLE PRODUCTS BY METHODS TO AVOID PRODUCT DAMAGE. STORE IN UNDAMAGED CONDITION IN MANUFACTURERS UNOPENED CONTAINERS OR PACKAGING, DRY,

MAINTAIN PROJECT AND SITE IN CLEAN AND ORDERLY CONDITION. REGULARLY REMOVE WASTE MATERIALS, DEBRIS AND RUBBISH FROM SITE.

PROVIDE ATTACHMENT AND CONNECTION DEVICES AND METHODS FOR SECURING WORK TO WITHSTAND STRESSES VIBRATION, AND RACKING, SECURE WORK TRUE TO LINE AND LEVEL INDICATED AND INDUSTRY RECOGNIZED. OLERANCES. ALLOW FOR EXPANSION AND BUILDING MOVEMENT. PHYSICALLY SEPARATE, PROVIDE ELECTRIC NSULATION, OR PROVIDE PROTECTIVE COATINGS TO PREVENT GALVANIC ACTION OR CORROSION BETWEEN DISSIMILAR METALS.

WHERE REQUIRED, TWO COPIES OF THE SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL THE ARCHITECTS REVIEW SHALL BE FOR GENERAL CONFORMANCE WITH THE DESIGN CONCEPT AND FOR GENERAL COMPLIANCE WITH THE INFORMATION GIVEN ON THE DRAWINGS, ARCHITECTS REVIEW SHALL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR DEVIATIONS OR ERRORS FROM THE REQUIREMENTS OF THE DRAWINGS DIMENSIONS REVISED OR ADDED AS A RESULT OF ARCHITECTS REVIEW ARE ONLY INTENDED AS SUGGESTIONS TO GUIDE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMISSION TO AND FOLLOW UP WITH LOCAL BUILDING OFFICIALS, FIELD DIMENSIONS AND FIELD CONDITIONS, VERIFICATION AND MODIFICATION OF DIMENSIONS FOR PROPER FIT AND INSTALLATION, QUANTITIES, CONSTRUCTION TECHNIQUES AND COORDINATION AND SATISFACTORY PERFORMANCE OF WORK OF ALL TRADES.

WHERE NOT INDICATED, MOUNT INDIVIDUAL UNITS OF WORK AT INDUSTRY RECOGNIZED STANDARD MOUNTING HEIGHTS FOR PARTICULAR APPLICATION INDICATED

PREFABRICATED TRUSS JOISTS SHALL BE DESIGNED TO RESIST THE LOADING SHOWN WITH A MAXIMUM LIVE LOAD DEFLECTION OF 1/480 OF THE SPAN OR AS NOTED IN THE CONSTRUCTION DOCUMENTS.

THE CONTRACTOR SHALL COMPLY WITH THE MANUFACTURER'S OR FABRICATOR'S INSTRUCTIONS OR PECOMMENDATIONS FOR THE PREPARATION OF SUBSTRATES. INSTAIL ATION AND USE OF THEIR PRODUCTS AND MATERIALS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICT BETWEEN MANUFACTURER'S NSTRUCTIONS, RECOMMENDATIONS OR STANDARD DETAILS AND THE REQUIREMENTS INDICATED IN THE

MAINTAIN ONE RECORD COPY OF DRAWINGS, ADDENDA, ACCEPTED SHOP DRAWINGS AND DOCUMENTS PRODUCT

IN CASE OF ANY DISCREPANCIES BETWEEN THESE NOTES AND NOTES ON THE STRUCTURAL DRAWINGS. THE PPROVED STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE

FOUNDATION ANCHOR BOLTS SHALL BE PROVIDED AT MAXIMUM 6'0" O.C. INTERVALS FOR ONE AND TWO STORY BUILDINGS AND AT 4'0" O.C. FOR BUILDINGS MORE THAN TWO STORIES IN HEIGHT AND PLACED 12" FROM THE END OF EACH SECTION WITH MINIMUM TWO ANCHOR BOLTS PER SECTION OF WALL. ANCHOR BOLT SHALL BE MINIMUM 1/2' DIAMETER AND SHALL BE EMBEDDED IN FOUNDATION TO A MINIMUM DEPTH OF 8" IN POURED IN PLACE CONCRETE AND NOT LESS THAN 15" IN GROUTED UNIT MASONRY, ANCHOR BOLT CAN BE SUBSTITUTED WITH METAL STRAP ANCHORS INSTALLED PER MANUFACTURES SPECIFICATIONS, ALL BEARING PLATES SHALL BEAR ON MINIMUM 8" DEEP

ALL WALL SILL PLATES SHALL BE MIN, 2x4

HOLES SHALL NOT BE CUT THROUGH BEAMS UNLESS INDICATED OR APPROVED BY ENGINEER. ALL POSTS SHOWN ON THE PLANS SHALL BEAR ON THE FOUNDATION LEVEL FRAMING UNLESS THEY ARE SUPPORTED

CONTRACTOR TO BE RESPONSIBLE FOR ALL NOISE ATTENUATION REQUIREMENTS.

RADON SHALL BE CONTROLLED IN ACCORDANCE WITH PROVISIONS OF APPENDIX F OF THE IRC CODE

2 SITE WORK

THESE DRAWINGS DO NOT COVER SITE WORK, EXCAVATION, GRADING AND LANDSCAPING, REFER TO THE SITE PRAWINGS PREPARED BY THE CIVIL ENGINEER, LANDSCAPE ARCHITECT, GEOTECHNICAL ENGINEER AND OTHER CONSULTANTS FOR THESE ITEMS. SOIL BEARING CAPACITY OF 2000 PSF IS USED FOR FOOTING SIZES SHOWN IN THE CONSTRUCTION DOCUMENTS, ARCHITECT SHALL BE NOTIFIED IF SOIL CAPACITIES ARE FOUND TO BE LESS THAN 2000

GEOTECHNICAL REPORT PREPARED BY OWNER'S SEPARATE CONSULTANT: OWNER TO PROVIDE IF REQUIRED

EXCAVATE AS REQUIRED FOR WALLS, FOUNDATIONS, PIERS, AREA PITS, ETC. TO DEPTHS INDICATED. RENCH BOTTOMS: PROVIDE FULL WIDTH REQUIRED. IF THROUGH ERROR, TRENCHES ARE CARRIED DEEPER THAN REQUIRED, FILL EXCESS DEPTH WITH COMPACTED FILL OR CONCRETE, IF DEBRIS, SOFT SPOTS, OR EXCESSIVELY MOIST AREAS ARE FOUND AT BOTTOM OF ANY EXCAVATION, IMMEDIATELY REPORT CONDITION TO OWNER WHO WILL CONSULT WITH GEOTECHNICAL ENGINEER TO DETERMINE IF CORRECTIVE WORK IS NECESSARY.

FOUNDATIONS WITHIN INDIVIDUAL BUILDING: PLACEMENT ON DISSIMILAR SOIL CONDITIONS NOT ALLOWED, BEARING SOIL; APPROVED BY GEOTECHNICAL ENGINEER BEFORE CONCRETE PLACEMENT,

UNCLASSIFIED EXCAVATION: ALL EXCAVATION (OTHER THAN ROCK EXCAVATION) IS CONSIDERED AS UNCLASSIFIED AND IS DEFINED AS REMOVAL OF ALL MATERIAL ENCOUNTERED. REGARDLESS OF SOIL TYPE.

ON-SITE EXCAVATED AND IMPORTED MATERIALS AS APPROVED BY GEOTECHNICAL ENGINEER , MATERIALS CONTAINING TOPSOIL, ICE, EXCESSIVE ORGANIC MATTER BUILDING DEBRIS, LARGE ROCKS OR OTHER DELETERIOUS

COMPACTED FILL FILL AND COMPACT TO LEVELS REQUIRED TO COMPLETE WORK INDICATED, SPREAD FILL MATERIAL IN UNIFORM HORIZONTAL LAYERS NO GREATER THAN 8 INCHES THICK, COMPACT FILL AT NEAR OPTIMUM MOISTURE CONTENT TO MINIMUM OF 95 PERCENT OF MAX DRY DENSITY, ASTM D698 UNDER FOUNDATIONS, SLABS ON GRADE AND PAVING.

FOUNDATION BEARING: APPROVED BY GEOTECHNICAL ENGINEER BEFORE CONCRETE PLACEMENT

ON-SITE EXCAVATED MATERIAL OR IMPORTED FILL FREE OF ORGANICS, RUBBLE, FILL AND DEBRIS AS DESCRIED IN GEOTECHNICAL REPORT AND APPROVED BY GEOTECHNICAL ENGINEER.

FREE DRAINING GRANULAR MATERIAL. EQUIVALENT FLUID BACK PRESSURE ON FOUNDATION WALLS SHALL NOT EXCEED 45 PCF FOR UNREINFORCED CONCRETE FOUNDATION WALLS. FILL AND COMPACT TEMPORARY HOLES AND EXCAVATION AROUND INTERIOR WALLS, GRADE BEAMS, PIERS, TRENCHES, ON INSIDE OF BUILDING AND EXCAVATION AROUND EXTERIOR FOUNDATION WALLS. VERIFY WATERPROOFING HAS BEEN INSPECTED AND PROTECTED BEFORE BACKFILLING. BACKFILL NOT ALLOWED PRIOR TO INSTALLATION OF ENTIRE FRAME SUPERSTRUCTURE, BACKFILL IN EVEN LIFTS ON BOTH SIDES OF FOUNDATION WALLS TO PREVENT EXCESSIVE PRESSURE ON ONE SIDE

CUT AND FILL ALL AREAS TO ELEVATIONS INDICATED. LEAVE GRADED SURFACE CLEAN, FREE FROM RUBBISH AND LARGE CLODS AND REASONABLY SMOOTH, DO NOT USE EARTH THAT HAS BEEN RENDERED UNFIT TO RECEIVE PLANTING DUE TO CONCRETE WATER, MORTAR OR LIME WATER DUMPED ON IT AT AREAS TO RECEIVE PLANTINGS.

FREE DRAINING 3/4 INCH TO 1 INCH WASHED. PLACE UNDER SLAB GRAVEL TO THICKNESS INDICATED ON DRAWINGS.

DRAGNET" OR APPROVED EQUAL APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION BELOW SLABS ON GRADE AND AT FOUNDATION PERIMETER OR PROVIDE PHYSICAL BARRIERS SUCH AS PLASTIC OR METAL

PERFORATED NEXT TO FOUNDATION: CORRUGATED POLYETHYLENE TUBING (OR EQUAL INSTALLED ACCORDING TO MANUFACTURERS INSTRUCTIONS), 1/8-INCH SLOTS, LAY DRAIN LINES ON MINIMUM 3 INCH GRAVEL BEDDING TO UNIFORM GRADES AND ALIGNMENT, WITH CONTINUOUS FALL IN DIRECTION OF FLOW WITH MINIMUM SLOPE OF 1/8 INCH PER FOOT. LAY PERFORATED PIPE WITH PERFORATIONS FACING DOWN. TIE DRAIN TILE INTO SUMP PUMP OR DAYLIGHT.

FREE DRAINING 3/4 INCH TO 1-1/2 INCH WASHED GRAVEL AFTER DRAINAGE PIPE INSTALLATION HAS BEEN ACCEPTED. PLACE GRAVEL BACKFILL MATERIAL ON EACH SIDE AND TOP OF TILE TO DIMENSIONS INDICATED, MINIMUM 6 INCHES. INSTALL IN MANNER TO PROVIDE FOR THE FREE FLOW OF WATER TO DRAINAGE PIPE

GEOTEXTILE FABRIC (OR EQUAL) WITH OPEN SIZE NO LARGER THAN NO. 70 US STANDARD FABRIC SIEVE SIZE. PLACE FILTER FABRIC OVER TOP OF GRAVEL FILL TO PROVIDE CONTINUOUS BARRIER BETWEEN GRAVEL FILL AND OTHER

ASTM C94. ASTM C260. ACI 301, ACI 304R.ACI 306R. ACI 318. MAXIMUM 4" SLUMP, PLACEMENT WITH FREE FALL OVER 5' NOT ALLOWED. CONCRETE SHALL REACH MINIMUM COMPRESSIVE STRENGTH (FC) AS NOTED IN THE TABLE BELOW. ALL CONCRETE TO BE POURED IN ACCORDANCE WITH ACI 301 SPECIFICATIONS. CONCRETE EXPOSED TO WEATHER TO BE

CONCRETE IN LOCATIONS WHICH MAY BE SUBJECT TO FREEZING AND THAWING DURING CONSTRUCTION SHALL BE AIR-ENTRAINED CONCRETE IN ACCORDANCE WITH FOOTNOTE 2. 2) CONCRETE SHALL BE AIR-ENTRAINED. TOTAL AIR CONTENT (PERCENT BY VOLUME OF CONCRETE) SHALL BE 5% MINIMUM & 7% MAXIMUM, CLASS B TOLERANCE, 1/2 - 1-INCH AGGREGATE.

USE OF ADDITIVES SHALL NOT BE PERMITTED UNLESS SPECIFICALLY APPROVED BY A STRUCTURAL ENGINEER, USE OF ADDITIVES CONTAINING CALCIUM CHLORIDE SHALL NOT BE PERMITTED.

PROVIDE AT TEMPORARY STOPPING OF CONCRETE PLACEMENT.

WWF SHALL CONFORM TO ASTM A82 AND ASTM A185, USE 6X6, 1,4X1,4 MESH, LAY CONTINUOUSLY IN AS LONG LENGTHS AS PRACTICABLE WITH EDGES AND ENDS OVERLAPPING ADJOINING SHEETS A MINIMUM OF ONE FULL MESH, TIED, PLACED AND SUPPORTED TO CENTER OF CONCRETE FILL PRIOR TO PLACING OF CONCRETE.

TO BE WELL BRACED. TRUE TO DIMENSION, LEVEL AND PLUMB, SECURELY FASTEN ANCHOR BOLTS, INSERTS, FORM BLOCK OUTS AND OTHER ITEMS BUILT IN TO FORMWORK

1. THE FOLLOWING ASSUMPTIONS WERE MADE DURING THE DESIGN OF THIS STRUCTURE. ALL CONDITIONS SHALL BE SOIL BEARING CAPACITY = 2,000 PSF UNDER ALL FOOTINGS AND CONCRETE SLABS WATERTABLE: MIN. 2'-0" BELOW BOTTOM OF ALL CONC. SLABS AND FOOTINGS

CONC. FOOTINGS, SLABS, AND WALLS SHALL NOT BE PLACED ON OR IN MARINE CLAY. PEAT OR OTHER ORGANIC MATERIALS IN THE EVENT THAT THESE CONDITIONS CANNOT BE CONFIRMED THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF THE DISCREPANCY AND THE NEED FOR SPECIAL ENGINEERING

2. THE BOTTOM OF ALL FOOTINGS SHALL EXTEND BELOW THE FROST LINE AS DETERMINED BY THE LOCAL JURISDICTION OR A MIN. 2'-6" BELOW GRADE.

3. ALL BACKFILL UNDER SLABS AND FOOTINGS SHALL BE CLEAN POROUS SOIL COMPACTED IN 8" LAYERS TO 95% DENSITY AND FREE FROM ORGANIC MATERIAL, TRASH, MUCK OR OTHER DELETERIOUS MATERIALS. 4. ALL CONCRETE SHALL ATTAIN THE FOLLOWING 28 DAY COMPRESSIVE STRENGTHS:

FOUNDATION WALLS, FOOTINGS, PIERS AND INTERIOR SLABS: 3,000 PSI ALL OTHER SLABS ON GRADE (INCLUDING GARAGE SLABS): 3,500 PSI

5. REINFORCING STEEL SHALL CONFORM TO ASTM-615, NEW BILLET, GRADE 60. PROVIDE CLEAR DISTANCE TO OUTERMOST REINFORCING AS FOLLOWS (UNLESS OTHERWISE NOTED) BEAMS 2" EXPOSED TO WEATHER

FOOTINGS 3" (BOTTOM) (WHERE APPLICABLE - SEE ARCHITECTURAL DRAWINGS IF REINFORCING IS REQUIRED) PROVIDE CORNER BARS TO MATCH HORIZONTAL REINFORCING IN WALLS (AND FOOTINGS IF APPLICABLE).

6. WELDED WIRE MESH SHALL CONFORM TO ASTM-185, WITH MINIMUM LAPS OF 8"

7. WALLS WITH LATERAL BACKFILL PRESSURE SHALL BE BRACED OR FLOOR OR ROOF CONSTRUCTION SHALL BE IN PLACE PRIOR TO BACKFILLING

4 MASONRY

BRICK OR STONE VENEER ON STUDS, USE TYPE N, 750 PSI. BELOW GRADE USE TYPE M, 2500 PSI. COMPLETELY FILL VERTICAL AND HORIZONTAL JOINTS AND VOIDS WITH MORTAR

INSTALL AT HEADS AND SILLS OF ALL OPENINGS, TOP OF SHELF ANGLES SPANDRELS AND OTHER SUPPORTS THAT INTERRUPT OUTER WYTHE: BASE OF WALLS ABOVE FINISH GRADE AND AT OTHER OBSTRUCTIONS TO DOWNWARD LOW OF WATER WITHIN WALL. EXTEND FLASHING MINIMUM OF 4" INTO MASONRY AT EACH END OF LINTELS AND SHELF ANGLES. TURN UP ENDS A MINIMUM OF 2" TO FORM END DAMS AT OPENINGS. EXTEND FLASHING FROM EXTERIOR FACE THROUGH VENEER AND TURN UP MINIMUM OF 8" AND SECURE AND SEAL TO SHEATHING, LAP AND SEAL JOINTS AND SPLICES. SEAL TERMINATION ENDS AND PENETRATIONS

OPEN HEAD JOINTS, INSTALL AT 24" O.C. IN HEAD JOINTS OF FIRST COURSE TO FULL DEPTH OF OUTER WYTHE ABOVE WHERE FLASHING TURNS OUT AND TERMINATES AT EXTERIOR FACE, PROVIDE FLASHING AT BASE AND WEEP HOLES AT 24" O.C. TAKE PRECAUTIONS TO PREVENT WEEP HOLES FROM BECOMING CLOGGED WITH MORTAR.

1 MATERIALS ASTM C270 MORTAR: HOLLOW CMU: ASTM C-90 GROUT AGGREGATED: ASTM-404

2. ALL MASONRY SHALL BE PROTECTED FROM FREEZING FOR NOT LESS THAN 48 HOURS AFTER INSTALLATION AND SHALL NOT BE CONSTRUCTED BELOW 40 DEGREES F WITHOUT PRECAUTIONS NECESSARY TO PREVENT FREEZING. NO ANTI-FREEZE MIXTURES SHALL BE ADDED TO THE MORTAR.

3. BRICK VENEER SHALL BE ATTACHED TO WOOD FRAME WITH MINIMUM #22 GALVANIZED SHEET GAUGE CORROSION-RESISTIVE CORRUGATED METAL TIES, MIN. $\frac{7}{4}$ " WIDE, AT VERTICAL INTERVALS MAX. 16" AND HORIZONTAL INTERVALS MAX. 16". PROVIDE WEEP HOLES AT 2'-0" O.C. @ FIRST COURSE ABOVE GRADE AND FIRST COURSE ABOVE STEEL LINTELS. 4. PROVIDE HORIZONTAL JOINT REINFORCEMENT (DUROWALL) IN ALL MASONRY WALLS @ 8" O.C. UNLESS

OTHERWISE SPECIFIED 5. THE TOP COURSE OF ALL MASONRY BEARING WALLS SHALL BE CONSTRUCTED OF SOLID MASONRY UNITS OR

GROUT FILLED HOLLOW UNITS OR OTHERWISE DESIGNED TO INSURE ADEQUATE DISTRIBUTION OF LOAD. 6. ALL MASONRY WORK SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF BIA AND NCMA,

1. ALL "W" SHAPES SHALL CONFORM TO ASTM A992 Fy=50 KSI. ALL OTHER STRUCTURAL STEEL SPECIFIED IN THESE DOCUMENTS SHALL CONFORM TO ASTM A-36.

2. STEEL PIPE SHALL CONFORM TO ASTM A-53.

3. ALL WELDS SHALL COMPLY WITH AWS STANDARDS.

4. ALL BOLTS IN BOLTED STEEL CONNECTIONS SHALL CONFORM TO ASTM A-325.

5. ALL REQUIRED STEEL ANCHORS, STRAPS, CAPS, NAILS AND JOIST HANGERS SHALL BE CONSTRUCTED OF CODE APPROVED GALVANIZED STEEL, ALL METAL NAILS, HANGERS, STRAPS AND BOLTS THAT ARE IN DIRECT CONTACT NITH PRESSURE TREATED LUMBER SHALL BE FABRICATED FROM STAINLESS STEEL OR OTHER NON-CORROSIVE METAL APPROVED BY THE BUILDING OFFICIAL

6. ALL CONNECTIONS SHALL CONFORM TO AISC STANDARDS.

7. FLITCH BEAMS: UNLESS NOTED OTHERWISE, ALL STEEL FLITCH BEAMS SHALL BE ASSEMBLED WITH 2 ROWS OF BOLTS, 12" O.C. TOP AND BOTTOM, STAGGER ROWS 6". THERE SHALL BE A BOLT TOP AND BOTTOM 8" FROM EACH

8. PROVIDE HOT DIPPED GALVANIZED STEEL ANGLES AS NOTED IN THE CONSTRUCTION DOCUMENTS. FOR OPENINGS GREATER THAN 6'-0" FASTEN VERTICAL LEG WITH 1/2" DIA,x4" LONG LAG SCREWS AT 32" o.c., ALL STEEL BRICK LINTELS SHALL HAVE A MINIMUM 8" BEARING .

AND WALL STUD @ 4'-0"o.c.

ERECT FRAMING PLUMB, LEVEL AND TRUE, RIGIDLY ANCHORED IN PLACE, CUT FRAMING SQUARE ON BEARINGS, CLOSELY FIT AND ACCURATELY SET TO REQUIRED LINES AND LEVELS. NAIL OR SPIKE MEMBERS IN ACCORDANCE WITH APPLICABLE CODES. FRAME MEMBERS FOR PASSAGE OF PIPES AND DUCTS TO AVOID CUTTING STRUCTURAL MEMBERS, REPLACE WARPED LUMBER IN WALLS AND JOISTS PRIOR TO INSTALLATION OF FINISHED SURFACE, DO NOT OMIT, CHANGE SIZE, NOTCH, CUT BLOCK OR RELOCATE STRUCTURAL MEMBERS WITHOUT PRIOR ACCEPTANCE OF ARCHITECT, STRUCTURAL VARIATIONS ALLOWED ONLY WHEN SUBSTANTIATED BY ENGINEERING CALCULATIONS STAMPED BY A PROFESSIONAL ENGINEER REGISTERED IN THE JURISDICTION OF THE PROJECT, SUBMIT CALCULATIONS TO ARCHITECT FOR REVIEW PRIOR TO CONSTRUCTION.

PROVIDE FIRESTOPPING TO CUT OFF CONCEALED DRAFT OPENINGS WITH 2X OR 2 LAYERS OF 1X LUMBER WITH BROKEN LAP JOINTS. ACCURATELY FIT BLOCKING TO FILL OPENINGS STRESS GRADE LUMBER SHALL BE CLEARLY STAMPED WITH THE LUMBER INSPECTION ASSOCIATION SEAL SHOWING THE STRESS GRADE. ALL FABRICATION, ERECTION AND OTHER PROCEDURES SHALL CONFORM TO THE CURRENT

MULTIPLE MEMBERS SHALL BE FASTENED TOGETHER WITH 16d NAILS @ 12"o.c. AS FOLLOWS: . TO 8" DEEP ONE ROW STAGGERED TWO ROWS 3. GREATER THAN 13" DEEP THREE ROWS

"NATIONAL DESIGN SPECIFICATION FOR STRESS GRADE LUMBER AND ITS FASTENINGS."

ALL RAFTERS SHALL BE CONNECTED AT BEARING POINTS WITH ONE PREFABRICATED GALVANIZED METAL CONNECTOR, MINIMUM 18 GA, WITH CAPACITY TO RESIST 450# LOADING UNLESS SHOWN OTHERWISE ON DRAWINGS PROVIDE ROOF TRUSS AND GIRDER TRUSS ANCHORS CAPABLE OF WITHSTANDING THE UPLIFT LOADS PROVIDED BY

THE TRUSS MANUFACTURER. MINIMUM ANCHORS SHALL BE: SIMPSON H2.5 @ 4'-0"o.c. AND SIMPSON H6 @ TOP PLATE

PROVIDE SIMPSON 18 GAGE, MST LIGHT GAGE STRAPS (OR EQUIVALENT) ON GIRDER TRUSS POSTS AT THE SECOND FLOOR LEVEL WITH UPLIFT LOADS GREATER THEN 500 LBS. THE LIGHT GAGE STRAPS NEED TO BE CAPABLE OF WITHSTANDING THE UPLIFT LOADS PROVIDED BY THE TRUSS MANUFACTURER.

JOISTS SHALL BE PER DEPTH AND SPACING SHOWN ON DRAWINGS, SUPPLIER SHALL CONFIRM THAT MEMBERS PROVIDED CONFORM TO THE SPECIFICATIONS HERE-IN. TRUSSES, TRUSS JOISTS AND FLOOR JOISTS SHALL ALIGN DIRECTLY OVER STUDS WITH AN OFFSET OF NO MORE THAN ONE INCH. INSTALL ADDITIONAL STUDS AS REQUIRED. WHERE JOISTS ARE PARALLEL TO EXTERIOR WALL, PROVIDE SOLID BLOCKING @ 4'-0" O.C. BETWEEN RIM JOIST AND

MANUFACTURED WOOD FLOOR AND ROOF TRUSSES SHALL BE DESIGNED AND FABRICATED BY THE TRUSS MANUFACTURER AND SHALL COMPLY AND BE INSTALLED IN ACCORDANCE WITH THE NATIONAL DESIGN SPECIFICATION FOR STRESS GRADE LUMBER AND ITS FASTENINGS. AND TRUSS PLATE INSTITUTES (TPI) DESIGN CIFICATIONS AND ALL APPLICABLE BUILDING CODES. ROOF AND FLOOR TRUSSES AND ALL BRIDGING AND/OR LATERAL BRACING REQUIRED FOR STRUCTURAL INTEGRITY OF ROOF OR FLOOR TRUSS SYSTEM IS TO BE DESIGNED BY MANUFACTURES DRAWINGS. SUBMIT SHOP DRAWINGS AND CALCULATIONS SEALED BY A REGISTERED PROFESSIONAL ENGINEER TO THE JURISDICTIONAL PLAN REVIEWER AS REQUIRED BY GOVERNMENT AUTHORITY.

WOOD FLOOR TRUSSES TO HAVE MINIMUM BEARING AS PER MANUFACTURERS RECOMMENDATIONS. PREFABRICATED MEMBERS SHALL BE INSTALLED AND BRACED PER MANUFACTURER'S RECOMMENDATION. MEMBERS SHALL NOT BE CUT OR DRILLED UNLESS SO AUTHORIZED BY THE MANUFACTURER OR PER MANUFACTURERS

PREFAB JOISTS AND BEAM HANGERS SHALL BE SIZED AND ATTACHED PER MANUFACTURES RECOMMENDATIONS. HOLES THROUGH MANUFACTURED WOOD TRUSSES SHALL NOT EXCEED MANUFACTURES RECOMMENDATIONS, NO CUTS OR HOLES ARE ALLOWED IN THE TOP OR BOTTOM CHORD.

INSTALL TEMPORARY AND PERMANENT BRACING AND BRIDGING FOR FLOOR AND ROOF TRUSSES IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AS SPECIFIED ON SHOP DRAWINGS AND IN ACCORDANCE WITH TPI'S RECOMMENDATIONS AND LOCAL CODE REQUIREMENTS.

PROVIDE NECESSARY BOLTS, SCREWS, CLIPS, NAILS, PLATES, STRAPS, HANGERS, ETC NECESSARY FOR COMPLETION OF ROUGH CARPENTRY, PROVIDE PROPER SIZE AND STRENGTH FOR PURPOSE INTENDED CONFORMING TO DRAWINGS AND APPLICABLE CODES, EXTERIOR LOCATIONS USE GALVANIZED MATERIAL. FIBERGLASS INSULATION OR POLYSTYRENE INSULATION. SET WOOD SILL PLATES ON CONCRETE ON SILL SEAL

ALL EXTERIOR WOOD FRAMEWORK SUPPORTED ON APPROVED FOUNDATION WALLS SHALL BE MINIMUM 8" ABOVE FINISHED GRADE.

PROVIDE CONTINUOUS DOUBLE TOP PLATE AT ALL BEARING STUD WALLS. ALL BEARING PARTITIONS SHALL BE 2x4 STUDS @ 16" O.C. OR AS NOTED. ALL STRUCTURAL WOOD POSTS UNDER BEAMS AND HEADERS OVER 4'-0" SPAN SHALL BE MIN. 2-2x4

ALL STRUCTURAL WOOD JOISTS, RAFTERS, HEADERS SHALL BE STRESSED GRADED HEM-FIR #2 19% M.C. IN ACCORDANCE WITH NDS BY NFOPA, UNLESS NOTED. ALL STRUCTURAL STUDS AND POSTS SHALL BE SPRUCE PINE #2 GRADE OR BETTER.
ALL STRUCTURAL WOOD EXPOSED TO THE OUTSIDE UNPROTECTED OR BEARING DIRECTLY ON CONCRETE SHALL BE PRESSURE TREATED WITH APPROVED MATERIALS TO RESIST DECAY AND INFESTATION OF TERMITES

ALL PRESSURE TREATED LUMBER SHALL BE #2 SOUTHERN PINE KD-19 PRESSURE PRESSURE TREATED TO .40 POUNDS PER CUBIC FOOT CHEMICAL RETENTION AND SHALL BE DENOTED AS "P.T." ALL LUMBER IN CONTACT WITH THE GROUND SHALL BE RATED AS "GROUND CONTACT".

ALL WOOD SHALL COMPLY TO THE FOLLOWING MINIMUM SPECIFICATIONS: #2 HEM FIR. 19% M.C. Fb min. = 980 psi REPETITIVE USE; 850 psi SINGLE MEMBER USE E min. = 1,300,000 psi Fy min. = 75 psi Fc min. = 1,250 psl

#2 SPRUCE PINE FIR, 19% M.C. (#2 S.P.F.): Fb mln. = 1,005 psl REPETITIVE USE; 875 psl SINGLE MEMBER USE E mln. = 1.400,000 pslFc mln. = 1.100 psl Fc_imln. = 425 psl

#2 SOUTHERN PINE, 19% M.C. (#2 S.Y.P.): To min. = 860 psi REPETITIVE USE; 750 psi SINGLE MEMBER USE E min. = 1.400,000 psi

Fc mln. = 925 psl $Fc_1min. = 565 psi$ 1.9E MICRO-LAM LVL:

Fc_imin. = 405 psi

b min. = 2,600 psi REPETITIVE USE E min. = 1.900.000 psi Fv mln. = 285 psl Fc min. = 2.510 ps Fc_1 min. = 750 psi

2.0E PARALLAM PSL b min. = 2.900 nsl REPETITIVE USE E mln. = 2,000,000 psl Fy mln. = 290 psl

Fc min. = 2.900 psi Fcimin. = 750 psl

ALL STUDS IN BEARING WALLS SHALL CONFORM TO THE FOLLOWING MINIMUM SPECIFICATIONS: STUD GRADE SPRUCE PINE FIR. 19% M.C. Fb min. = 775 psi REPETITIVE USE; 675 psi SINGLE MEMBER USE

Fy mln. = 70 psl Fcimin. = 425 psi **PLYWOOD**

E min. = 1,200,000 psi

ALL PLYWOOD LISED STRUCTURALLY SHALL MEET THE PERFORMANCE STANDARDS AND ALL OTHER REQUIREMENTS OF THE APA AND APPLICABLE U.S. COMMERCIAL STANDARDS FOR THE TYPE, GRADE AND SPECIES OF PLYWOOD AND SHALL BE SO IDENTIFIED BY AN APPROVED TESTING AGENCY

ALL ROOF SHEATHING SHALL BE MIN. 1/2" CDX, APA STRUCTURAL II RATED SHEATHING, EXPOSURE I, PER THE AMERICAN PLYWOOD ASSOCIATION, OR MIN. 7/16" OSB

FASTEN ROOF SHEATHING TO ROOF MEMBERS WITH 8d NAILS @ 6"o.c. MAX AT EDGES AND 12"o.c. MAX FIELD. ALL WALL SHEATHING SHALL BE 1/2" CDX, APA STRUCTURAL II RATED SHEATHING, EXPOSURE I PER THE AMERICAN PLYWOOD ASSOCIATION, OR MIN. 7/16" OSB.

ALL PLYWOOD SUBFLOORING SHALL BE MIN. 5/8" THICK T&G APA RATED 40/20 SHEATHING OR STURD-I-FLOOR 20"o.c. RATED

PLYWOOD SUBFLOORS SHALL BE GLUED AND NAILED TO FLOOR JOISTS WITH APA APPROVED ELASTOMERIC STRUCTURAL ADHESIVE AND 8d COMMON NAILS SPACED AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. KILN DRIED 6-12 % MOISTURE CONTENT, NO FINGER JOINT MATERIAL, PROVIDE SINGLE PIECE FOR EACH LENGTH OF

FINISH WHEREVER POSSIBLE. BEVEL BUTT JOINTS. INSTALL LEVEL, PLUMB AND TRUE. TIGHTLY SECURE WITH FINISH NAILS WITH NAIL PUNCH, REPLACE FINISH MATERIALS BEARING HAMMER MARKS, SPLITS, CRACKS MARS OR OTHER CLEAR PINE, KILN DRIED, S4, 5/4 X IF NOT NOTED OTHERWISE OR 5/4 SYNTHETIC BOARD MATERIAL, WOOD TO BE PRIMED ON BOTH SIDES AND ENDS. FACE NAIL INTO FRAMING USING ALUMINUM OR HOT DIPPED GALVANIZED CASING

7 THERMAL AND MOISTURE PROTECTION

WATERPROOFING FOR CONCRETE AND MASONRY FOUNDATIONS EXTERIOR FOUNDATION WALLS SHALL BE WATERPROOFED WITH MEMBRANES EXTENDING FROM THE EDGE OF THE FOOTING TO THE FINISH GRADE LINE. THE MEMBRANE SHALL CONSIST OF EITHER 2-PLY HOT MOPPED FELTS, 6 MIL. POLYVINYL CHLORIDE, 5-POUND ROLL ROOFING OR EQUIVALENT MATERIALS AS APPROVED BY LOCAL BUILDING OFFICIALS. THE LAPS IN THE WATERPROOFING MEMBRANE SHALL BE SEALED AND FIRMLY AFFIXED TO THE WALL

INSTALL BATT INSULATION IN WIDTHS TO FIT FRAMING, INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, FIT TIGHT TO ELIMINATE OPEN JOINTS, HOLES, CRACKS AND VOIDS, ATTACH INSULATION IN MANNER INSURING STABILITY AND TO ELIMINATE SAGGING, SECURE FLANGES TO INSIDE FACE OF FRAMING FOR LEAK FREE THERMAL BARRIER. FILL VOIDS WITH PIECES OF INSULATION TO ACHIEVE COMPLETE THERMAL BARRIER. DO NOT STUFF OR COMPRESS BATTS, PLACE CEILING INSULATION AGAINST BAFFLES.

ALL SLABS ON GRADE IN CONDITIONED SPACES SHALL BE INSULATED WITH MIN. R-10 RIGID INSULATION FROM TOP OF SLAB DOWNWARD TO 24" BELOW SLAB OR INWARD 24" FROM EXTERIOR OF SLAB AT ALL SLAB

CEILINGS & ROOF - BLOWN INSULATION TO BE CELLULOSE TYPE TESTED, LISTED AND LABELED BY UL TO MEET ALL APPLICABLE CRITERIA AND CODE REGULATIONS. PROVIDE BAFFLES WITH BLOWN INSULATION TO ENSURE FREE FLOW OF AIR AT ALL VENTS.

A) INSTALLATION SHALL BE IN ACCORDANCE WITH STANDARDS AND DETAILS ESTABLISHED BY THE SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOC. INC. (SMACNA) AND NATIONAL ROOFING CONTRACTORS B) VALLEY FLASHING. OPEN VALLEYS SHALL BE FLASHED WITH MIN. NO. 28 GAUGE GALVANIZED

CORROSION-RESISTANT SHEET METAL AND SHALL EXTEND MIN. 8" FROM CENTER LINE EACH WAY. CLOSED VALLEY FLASHING SHALL BE 2 LAYERS 90# MINERAL SURFACED CAP SHEET WITH BOTTOM LAYER MINIMUM 12" WIDE AND TOP LAYER 24" WIDE, CEMENTED TOGETHER, CLOSED VALLEYS MAY ALSO BE OF 36" WIDE FOIL ROOFING MATERIAL NOT LESS THAN NO. 50 IN VALLEY OVER THE UNDERLAYMENT.

D) ROOF EDGE. PROVIDE NON-CORROSIVE ALUMINUM DRIP EDGE FLASHING AT ROOF EDGE. E) BASE AND COUNTER FLASH AT JUNCTURES OF ROOF AND VERTICAL SURFACES.

F) FLASH ALL EXTERIOR OPENINGS AND ALL BLDG. CORNERS WITH APPROVED WATERPROOF BLDG. PAPER TO EXTEND AT LEAST 4" BEHIND WALL COVERING

G) FLASH AND CAULK WOOD BEAMS AND OTHER PROJECTIONS THROUGH EXTERIOR WALLS OR ROOF SURFACES. SEAL ALL JOINTS REQUIRING SEALANT TO SEAL VISUALLY AND AGAINST INFILTRATION FROM AIR AND WATER NCLUDING BUT NOT LIMITED TO EXPANSION JOINTS IN CONCRETE SLABS AND PAVING, EXTERIOR WALL JOINTS; ISOLATION JOINTS BETWEEN STRUCTURE AND OTHER ELEMENTS; JOINTS AT PENETRATIONS OF WALLS; DECKS AND FLOORS BY PIPING AND OTHER SERVICE EQUIPMENT: JOINTS BETWEEN ITEMS OF EQUIPMENT AND OTHER CONSTRUCTION JOINTS BETWEEN DOOR AND WINDOW FRAMES AND ADJACENT MATERIALS. EXTERIOR AND INTERIOR SIDES; BEDDING FOR DOOR THRESHOLDS; OPEN JOINTS BETWEEN DISSIMILAR MATERIALS AS REQUIRED TO CLOSE AND CONCEAL JOINTING OF WORK CONSTRUCTION AND EXPANSION JOINTS: JOINTS AROUND LOLIVERS AND OTHER PENETRATIONS IN EXTERIOR WALL AND OTHER JOINTS AS INDICATED, INTERIOR AT WET LOCATION USE MILDEW RESISTANT SILICONE, OTHER LOCATIONS USE LATEX ACRYLIC, ASTM C834, PROVIDE BACKER ROD, PRIMER AND BOND

MECHANICAL/PLUMBING/ELECTRICAL CONTRACTORS SHALL BE REQUIRED TO SEAL ALL HORIZONTAL AND VERTICAL PENETRATIONS IN THE EXTERIOR WALL CAUSED BY THEIR TRADE.

Building thermal envelope. The building thermal envelope shall be durably sealed to limit infiltration. he sealing methods between dissimilar materials shall allow for differential expansion and contraction. he following shall be caulked, gasketed, weatherstripped or otherwise sealed with an air barrier material, suitable film or solid material:

BREAKERS AS RECOMMENDED BY MANUFACTURER. INSTALL IN ACCORDANCE WITH MANUFACTURER'S

 All joints, seams and penetrations. 2. Site-built windows, doors and skylights. 3. Openings between window and door assemblies and their respective jambs and framing. 4. Utility penetrations.

5. Dropped cellings or chases adjacent to the thermal envelope. 6. Knee walls. 7. Walls and cellings separating a garage from conditioned spaces. 8. Behind tubs and showers on exterior walls. Common walls between dwelling units.

C) RIDGE FLASHING. INSTALL AS PER MANUFACTURER SPECIFICATIONS.

Attic access openings. Rim joist junction. Other sources of infiltration. Note: Air Permeable Insulation (Fiberglass, Rockwool, etc.) shall not be used as a sealing material

IF REQUIRED BY LOCAL BUILDING CODES, PROVIDE TYVEK HOUSE WRAP OR EQUIVALENT TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, WITH VINYL OR CEMENTUOUS SIDING PRODUCTS, PROVIDE VAPOR BARRIER IF INSTRUCTED BY MANUFACTURERS INSTALLATION RECOMMENDATIONS.

PREFABRICATED OR FIELD FABRICATED PRE-FINISHED ALUMINUM OR COPPER (TO BE APPROVED BY OWNER). SIZE AND INSTALLATION PER SMACNA MANUAL OF ROOF DRAINAGE SYSTEMS CALCULATE FOR EACH AREA IN ACCORDANCE WITH CODE REQUIREMENTS, GUTTERS TO BE LEAK FREE, COLOR TO

8 DOORS AND WINDOWS EXTERIOR ENTRANCE DOORS

FRONT ENTRY AND GARAGE ENTRY DOOR TO BE PRE HUNG WITH MATCHING FRAME. SEE DRAWINGS FOR DESIGN. PROVIDE COMPLETE WEATHER STRIPPING AND METAL THRESHOLD FOR ALL DOORS, DOORS SHALL HAVE AN AIR INFILTRATION RATE LESS THAN 1,25 CFM PER SQUARE FOOT OF DOOR AREA. ADJUST AND LUBRICATE FOR PROPER OPERATION AT PROJECT COMPLETION. INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. INTERIOR DOORS

SEE DRAWINGS FOR SIZES AND STYLE. WINDOWS

SIZES AND STYLE PER CONSTRUCTION DOCUMENTS, DOUBLE GLAZING,

UNLESS OTHERWISE NOTED, WINDOW SIZES DEFINE INTENDED AESTHETIC SIZE AND TYPE BY INDICATING SASH

OPENING IN FEET AND INCHES (I.E. 2852 DH DENOTES A 2*8" WIDE BY 5*2" TALL SASH OPENING DOUBLE HUNG WINDOW).

CONTRACTOR SHALL VERIFY THAT WINDOWS AND DOORS (INCLUDING OVERHEAD DOOR) TO BE INSTALLED

COMPLY WITH LOCAL CODE STANDARDS FOR EGRESS, LIGHT, VENTILATION, AND WIND/IMPACT LOADS. WINDOWS SHALL HAVE NON-CORROSIVE SCREENS AND SASH LOCKS.

9 FINISHES

JOINT TREATMENT

GYPSUM WALLBOARD SHALL BE GLUED AND SCREWED, INSTALLED IN ACCORDANCE WITH U.S. GYPSUM ASSOCIATION GA216 RECOMMENDATIONS AND SHALL MEET THE REQUIREMENTS OF IRC AND OTHER APPLICABLE CODES. TYPICAL INTERIOR PARTITIONS TO HAVE 1/2" TAPERED EDGE TAPED AND FINISHED, APPLY GYPSUM BOARD PERPENDICULAR FRAMING WITH ABUTTING ENDS OVER FRAMING MEMBERS, WALLBOARD SHALL NOT BE INSTALLED UNTIL WEATHER PROTECTION FOR THE INSTALLATION IS PROVIDED. INSTALL CORNER BEAD (ASTM 1047 GALVANIZES STEEL ANGLE TRIM) AT ALL OUTSIDE CORNERS. PROVIDE DUROCK WHEREVER MOISTURE CONDITIONS CAN EXIST. PROVIDE DUROCK AT TUBS AND SHOWERS.

ASTM C475 REINFORCED TAPE, JOINT COMPOUND, ADHESIVE, WATER AND FASTENERS. FINISH JOINTS, TRIM AND FASTENER DIMPLES AS RECOMMENDED BY MANUFACTURER. SAND SMOOTH. TYPE X GYPSUM BOARD ASTM C 36 TAPERED EDGE TYPE X, 5/8" THICK GYPSUM PANELS.

CERAMIC TILE (OR PORCELAIN TILE) AND MARBLE FOR THIN SET CERAMIC TILE OR MARBLE USE "HARDIBACKER" OR EQUAL AT TUB AND SHOWER AREAS AND WATER RESISTANT DRYWALL AT OTHER WET LOCATIONS. PROVIDE BASE, BULLNOSE AND MISCELLANEOUS TRIM. TILE COLOR AND STYLE

AS SELECTED BY OWNER, PROVIDE MARBLE THRESHOLD FOR TRANSITION BETWEEN CERAMIC FLOOR TILE AND

OTHER FLOOR FINISHES. ALL FLOOR TILE SHALL BE NON-SLIP. EXTEND TILE INTO RECESSES AND UNDER EQUIPMENT AND FIXTURES TO FORM COMPLETE COVERING WITHOUT INTERRUPTIONS. LAY TILE IN GRID PATTERN AND CENTER TILE FIELD IN BOTH DIRECTIONS IN EACH SPACE, ADJUST O MINIMIZE TILE CUTTING AND PROVIDE UNIFORM JOINT WIDTHS. TERMINATE TILE NEATLY AT OBSTRUCTIONS, EDGES AND CORNERS WITHOUT DISRUPTION OF PATTERN OR JOINT ALIGNMENT, UPON COMPLETION, CLEAN AND POLISH TILE, ACID OR ACID CLEANERS NOT ALLOWED.

COMMERCIAL WATERPROOF GROUT INSTALLED PER MANUFACTURER'S INSTRUCTIONS INSTALLED ACCORDING TO MANUFACTURERS INSTRUCTIONS, STYLE, FINISH AND COLOR TO BE SELECTED BY

CARPET AND PADDING TO BE SELECTED BY OWNER

10 BATH VANITIES AND KITCHEN CABINETS KITCHEN CABINETS AND VANITIES STYLE TO BE SELECTED BY OWNER.

11 EQUIPMENT KITCHEN EQUIPMENT

Any and all drawings and specifications for sitework, plumbing supply or waste, electrical circuiting, and heating, ventilation, and air conditioning systems not contained in the "list of drawings" listed on this page are not a part of the professional services provided to the Owner by the Architect under their Agreement. Any discrepancies with these documents by any of the above listed services shown in documents by others should be indicated in writing to Architect immediately

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BUILDING CODE

CONSTRUCTION IS TO BE COMPLETED IN ACCORDANCE WITH 2015 INTERNATIONAL RESIDENTIAL CODE FOR 1 &2 FAMILY DWELLINGS AS AMENDED BY HOWARD COUNTY, MARYLAND, AND THE ICC INTERNATIONAL ENERGY CONSERVATION CODE/2015.

AREA CALCULATIONS

AREA CALCULATIONS INCLUDE GROSS FLOOR AREA TO EXTERIOR FACE OF WALL FOR ALL CONDITIONED SPACES AND EXCLUDES THE SECOND STORY OF MULTI-STORY SPACES. EXISTING BASEMENT 1347 SF LOWER FLOOR 2291 SF 2738 SF +447 SF UPPER FLOOR 2868 SF +2868 SF 1195 SF +1195 SF 3638 SF 6801 SF +4510 SF

LIST OF DRAWINGS

ABBREVIATIONS

ABOVE SUBFLOOR

CONCRETE MASONRY

FINISHED(ed)
FLASHING
FLOOR
FIREPLACE
FURRING
FLOOR DRAIN
FRENCH DOOR
FOUNDATION
FLUORESCENT
FOOTING

HOSE BIB
HORIZONTAL
HEAT VENT &
AIR CONDITION

INSULATION INTERIOR INCH

D1 DETAIL REFERENCE

SECTION REFERENCE

1 REVISION NUMBER

FROST FREE HOSE BIB

SMOKE DETECTOR

POUND LINEN CLOSET DR SHELI

GRAPHIC SYMBOLS

AS BUILT FLOOR PLANS, AS BUILT FLEVATION DEMO FLOOR PLANS DEMO FOUNDATION PLAN & DETAILS LOWER FLOOR PLAN UPPER FLOOR PLAN A-4 ATTIC FLOOR PLAN FRONT ELEVATION REAR ELEVATION RIGHT & LEFT SIDE ELEVATIONS LOWER FLOOR FRAMING PLAN A-9 UPPER FLOOR FRAMING PLAN A-10 ROOF & ATTIC FRAMING PLANS LOWER FLOOR BRACED WALL LOCATION UPPER FLOOR BRACED WALL LOCATION BUILDING SECTIONS

DRAWING STANDARDS/NOTES

1. EXTERIOR WALL DIMENSIONS INCLUDE ½" FOR EXTERIOR SHEATHING. 2. FOR NEW CONSTRUCTION: INTERIOR PARTITIONS NOT DIMENSIONED SHALL BE 3 1/2".

3. CONTRACTOR TO FIELD VERIFY ALL EXISTING DIMENSIONS AND FRAMING INFORMATION.

NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. 4. CONTRACTOR TO PROVIDE SEALANT @ ALL JOINTS WHERE DISSIMILAR MATERIALS ABUT

5. CONTRACTOR TO COORDINATE ALL ELECTRICAL, PLUMBING AND HVAC

ROUTING THROUGH CONCEALED SPACES. DRAWINGS PROVIDE SCHEMATIC

ARRANGEMENTS ONLY.

DEAD LOAD

NO STORAGE

LIVE LOAD

DEAD LOAD

DESIGN AND LOADING CRITERIA (SEE BUILDING SECTION FOR MIN. U & R VALUES)) LOADS ASSUMED IN THE STRUCTURAL DESIGN OF THIS BUILDING ARE LISTED BELOW:

ATTIC TRUSSES SLEEPING AREAS LIVE LOAD 30 PSF LIVE LOAD 30 PSF 10 PSF DEAD LOAD LIVE LOAD @ ATTIC AREA 40 PSF TOTAL 40 PSF DEAD LOAD ALL OTHER AREAS TOP CHORD 10 PSF воттом сноя LIVE LOAD 40 PSF TOTAL 87 PSF DEAD LOAD 10 PSF TOTAL 50 PSF STANDARD TRUSSES LIVE LOAD 30 PSF ALL FLOORS DEAD LOAD MAX. LIVE LOAD DEFLECTION L/360 TOP CHORD ВОТТОМ СНОЯ 47 PSF 50 PSF LIVE LOAD 2,000 lbs OVER 20in 2AREA RAFTERS LIVE LOAD 30 PSF

10 PSF

TOTAL 40 PSF 30 PSF LIVE LOAD DEAD LOAD W/ CATH. CLG. 15 PSF TOTAL 45 PSF CEILING JOISTS LIMITED STORAGE LIVE LOAD 20 PSF DEAD LOAD 10 PSF TOTAL 30 PSF

SOIL BEARING CAPACITY = 2,000 PSF UNDER ALL FOOTINGS AND CONCRETE SLABS

10 PSF

5 PSF

SNOW LOAD (GROUND SNOW) 30 PSF ULTIMATE WND SPEED 115 MPH TOPOGRAPHIC EFFECTS SEISMIC DESIGN CATEGOR WEATHERING SEVERE FROST LINE DEPTH 30 IN. TERMITE HAZARD MODERATE TO HEAVY SLIGHT TO MODERATE WINTER DESIGN TEMP. ICE SHIELD UNDERLAYMENT REQUIRED FLOOD HAZARDS JULY 2, 1979 AIR FREEZING INDEX 300 MEAN ANNUAL TEMP.

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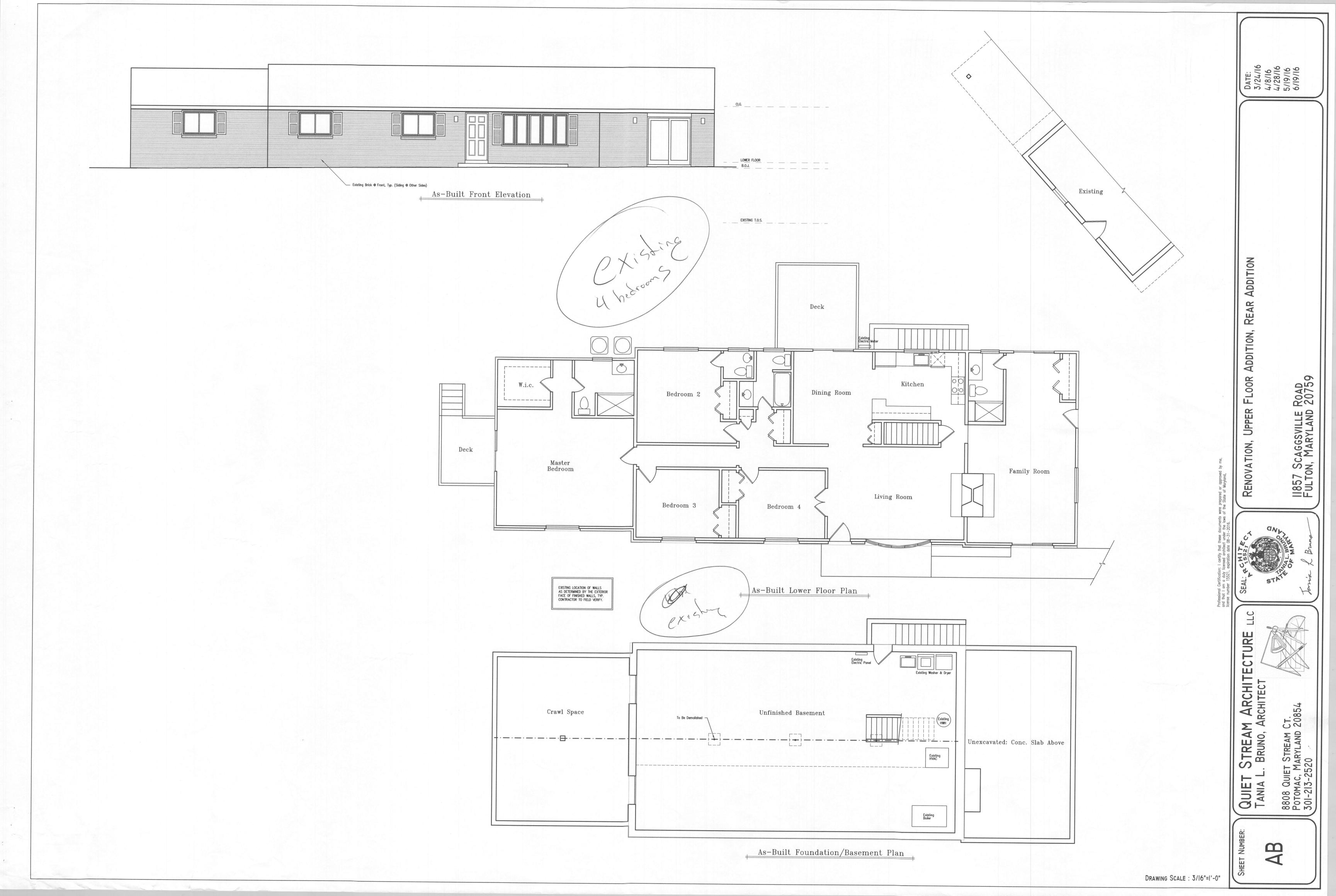
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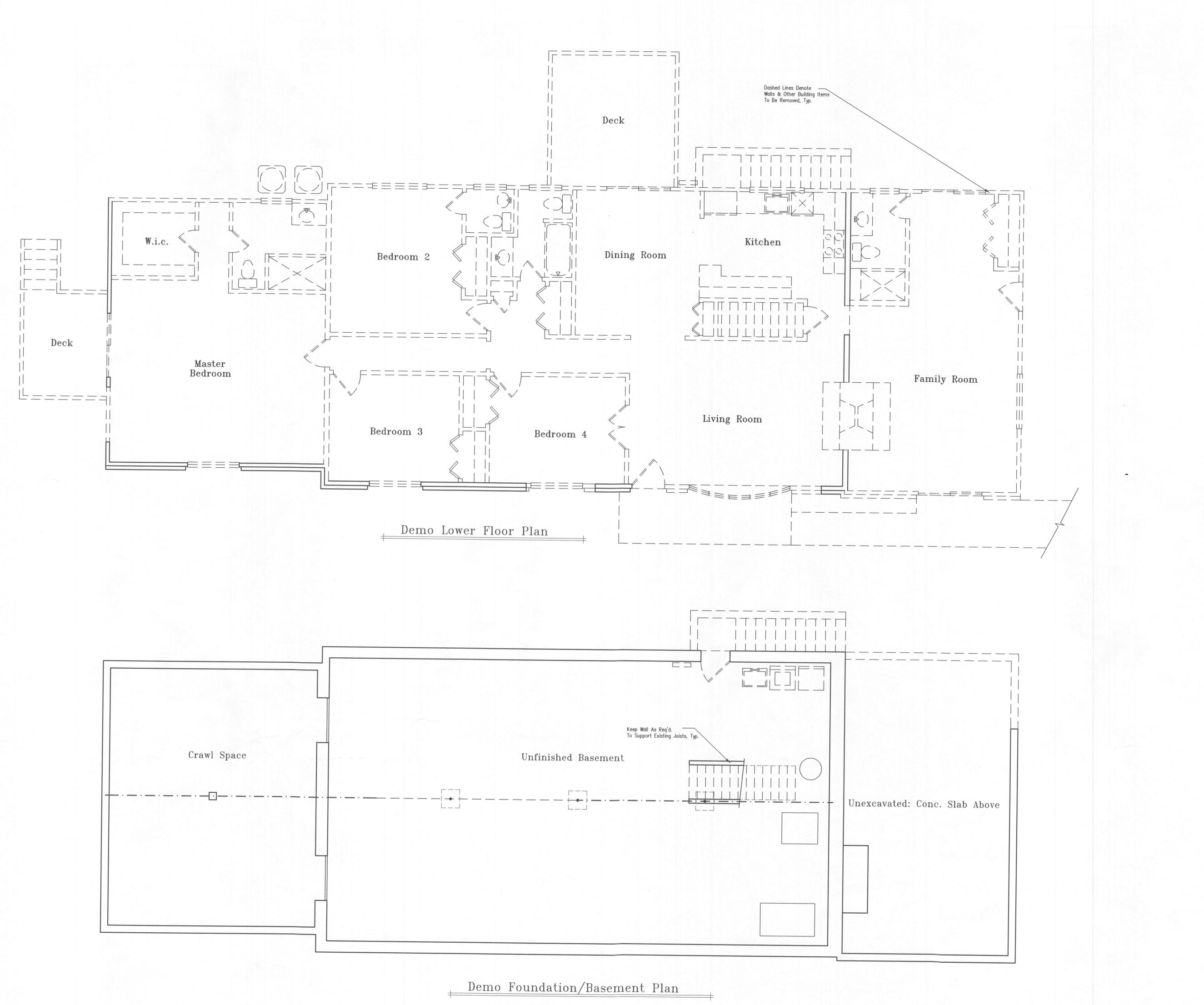
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ROAD 20759

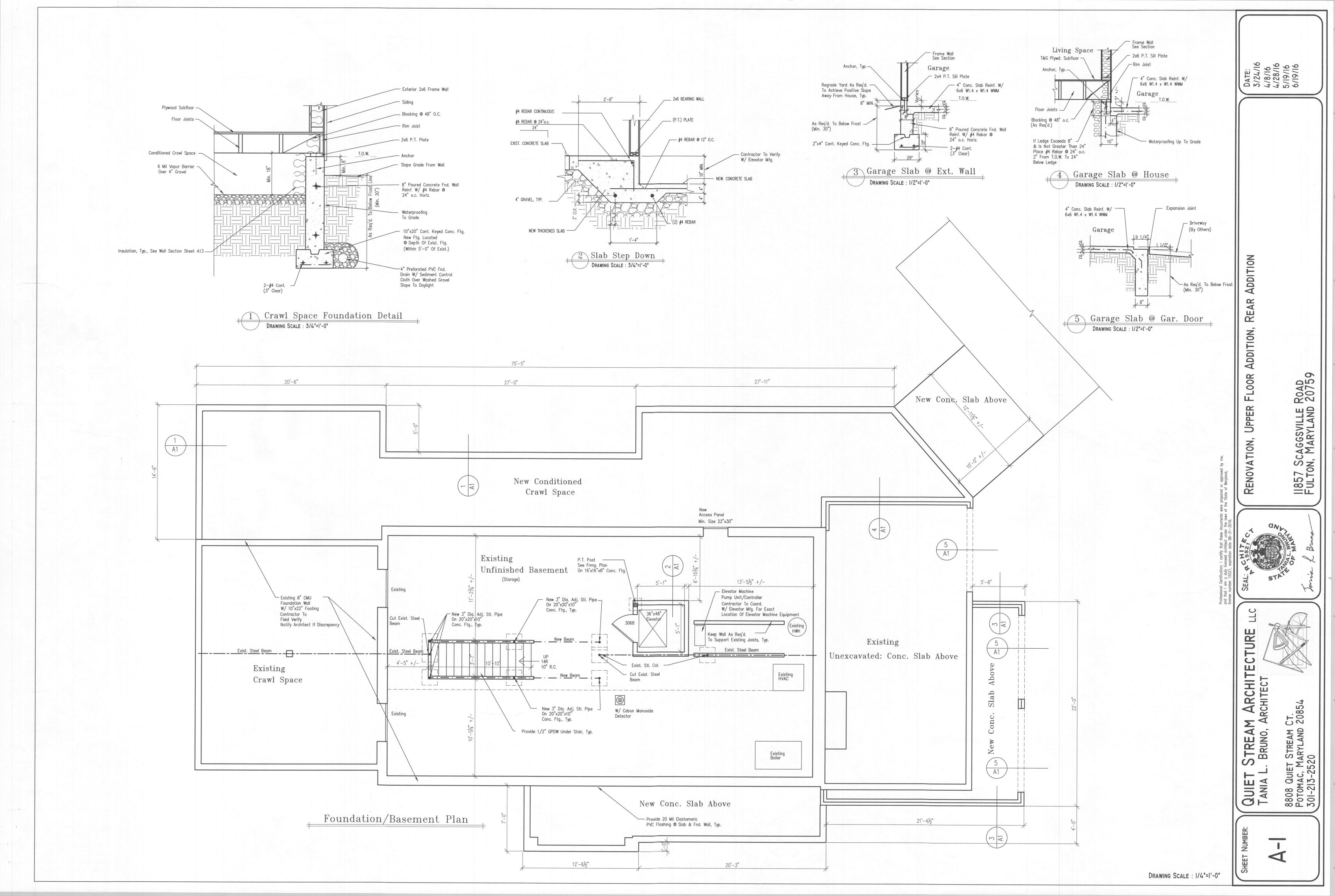
11857 SCAGGSVILLE F FULTON, MARYLAND

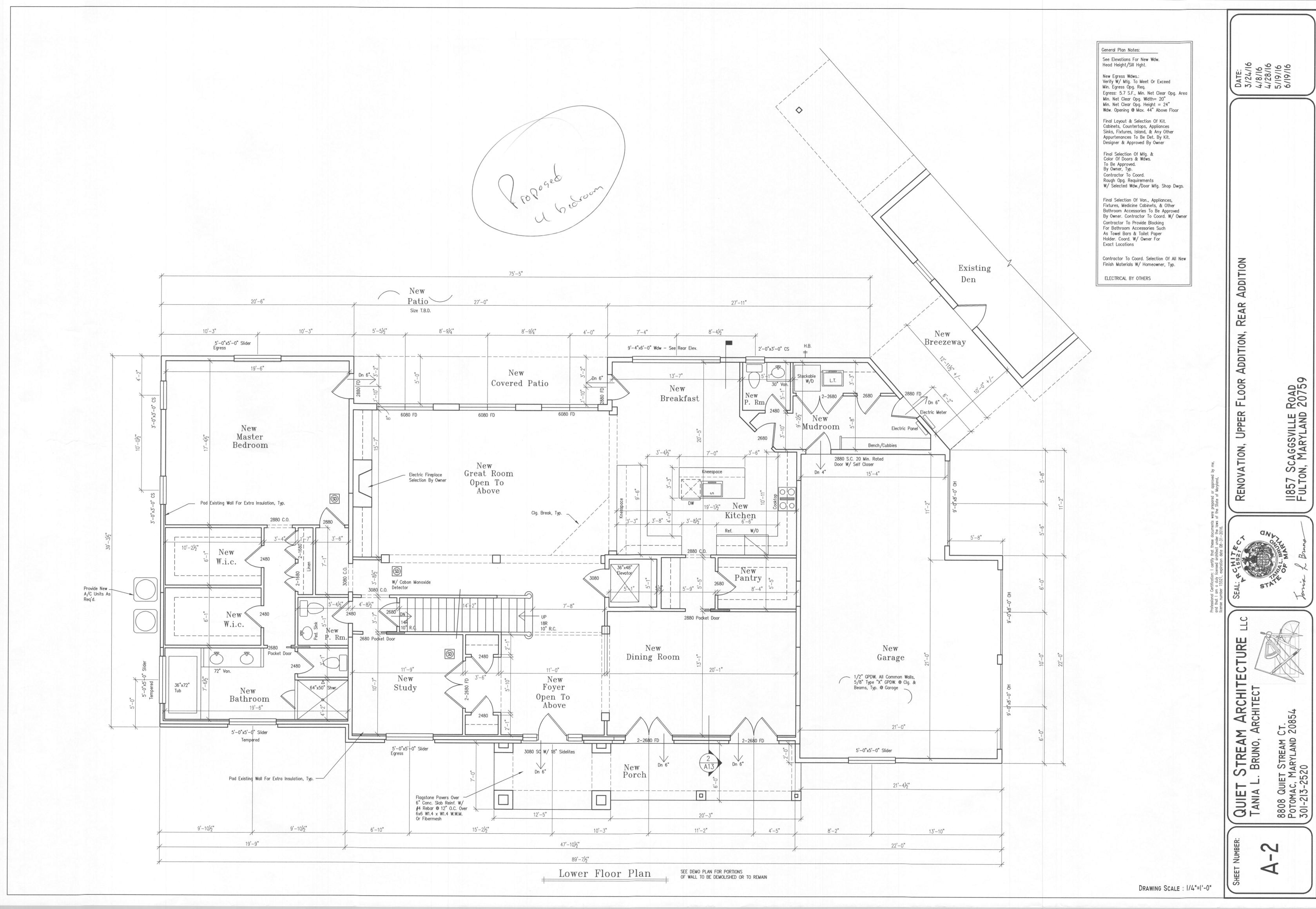


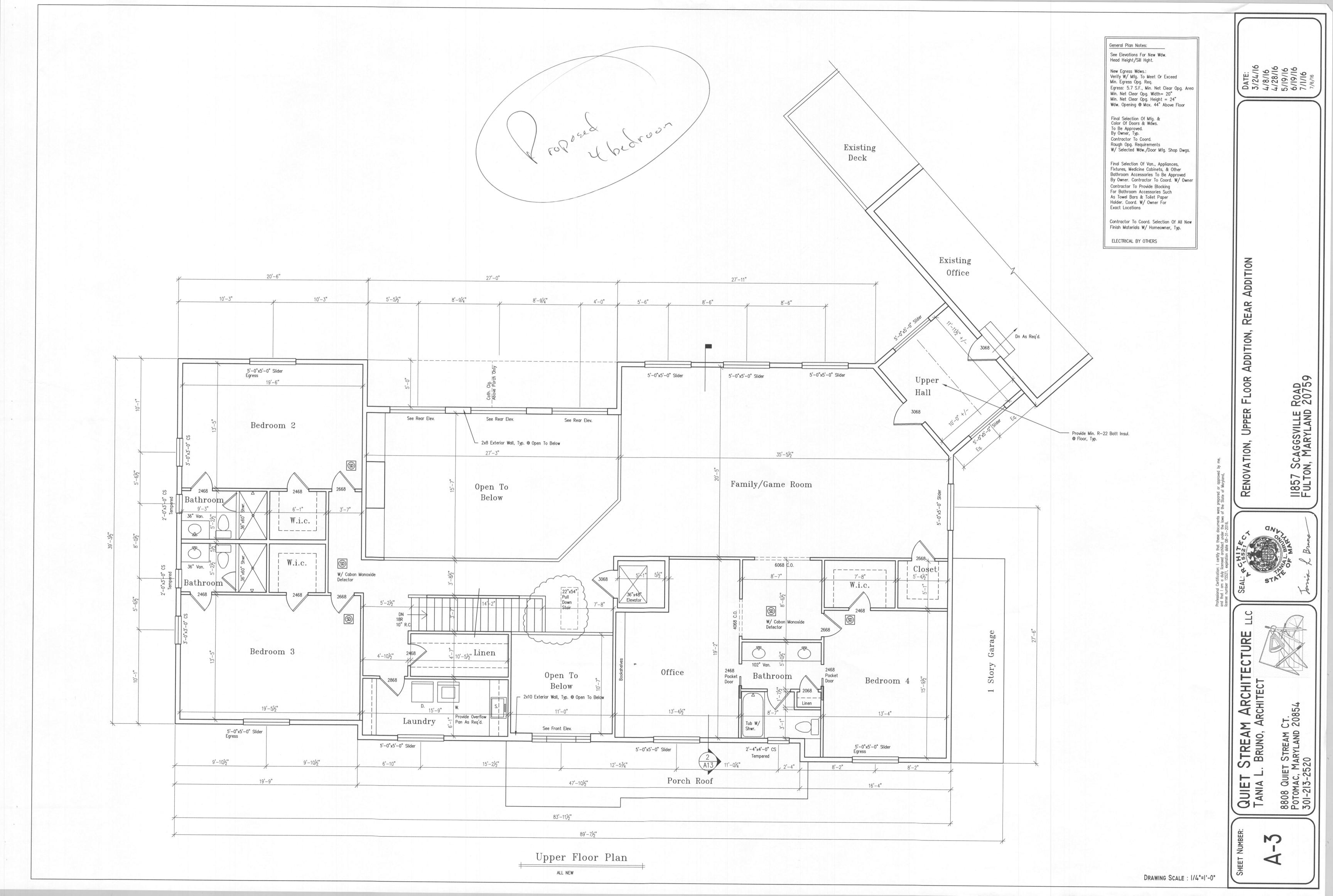
STREAM ARCHITECTURE. BRUNO, ARCHITECT QUIET TANIA L.

8808 QUIET STREAM CT. POTOMAC, MARYLAND 20854 301-213-2520

DEMO









RENOVATION, UPPER FLOOR ADDITION, REAR ADDITION 11857 SCAGGSVILLE ROAD FULTON, MARYLAND 20759

STREAM ARCHITECTURE. BRUNO, ARCHITECT QUIET TANIA L

8808 QUIET STREAM CT. POTOMAC, MARYLAND 20854 301-213-2520

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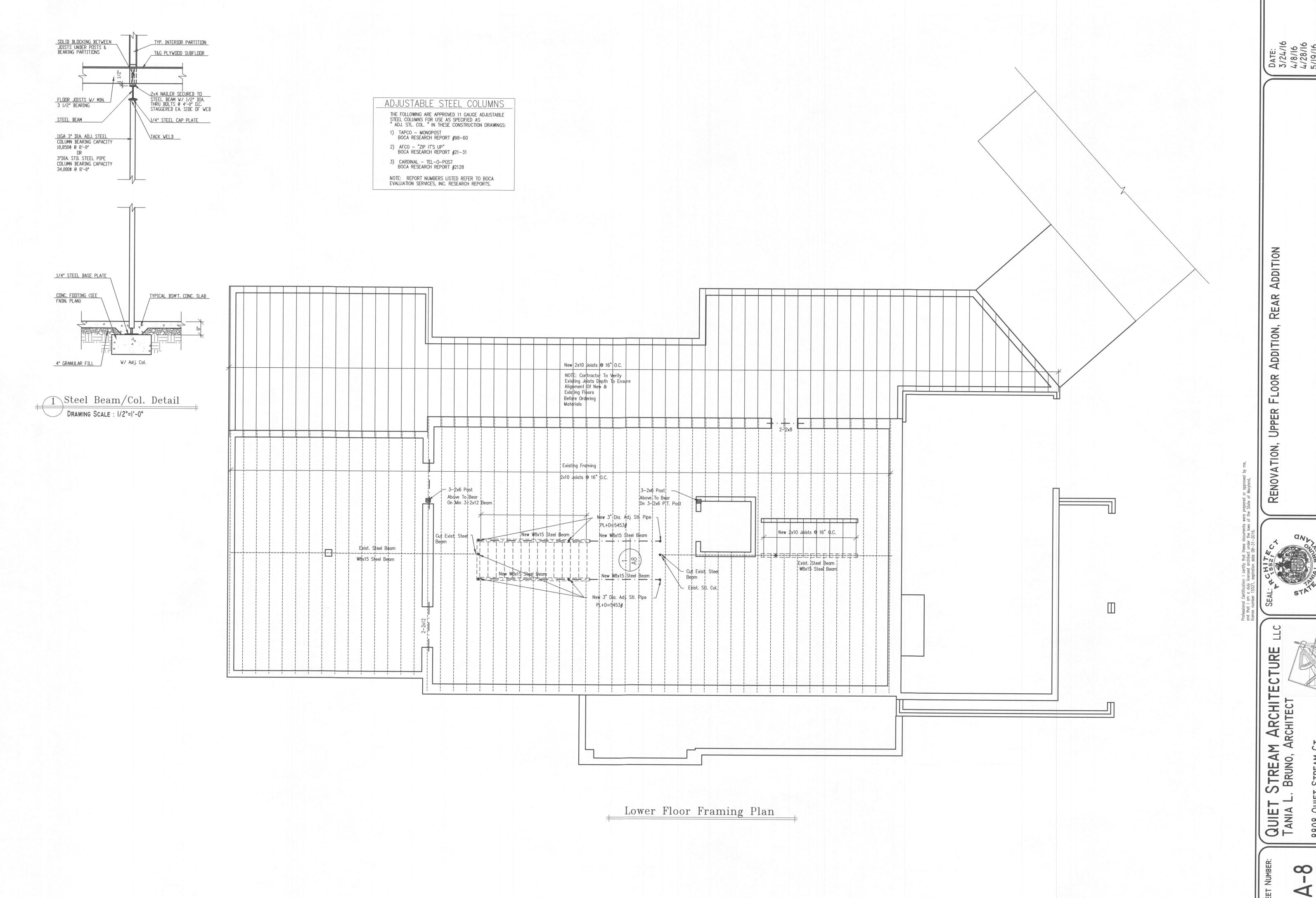
REAR ADDITION

ATION, UPPER FLOOR ADDITION, 11857 SCAGGSVILLE ROAD FULTON, MARYLAND 20759

QUIET STREAM ARCHITECTURE
TANIA L. BRUNO, ARCHITECT

8808 QUIET STREAM CT. POTOMAC, MARYLAND 20854 301-213-2520



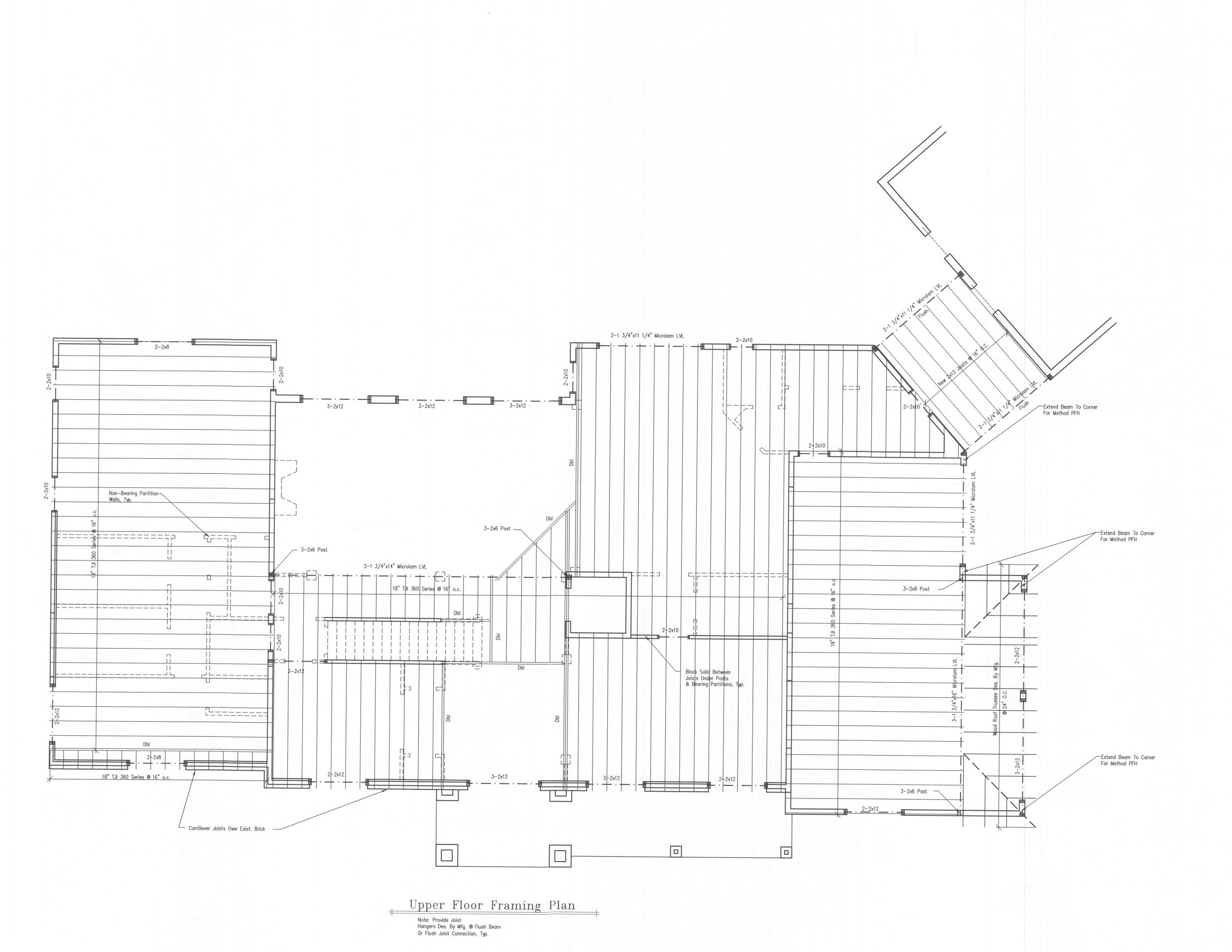


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8808 QUIET STREAM CT. POTOMAC, MARYLAND 20854 301-213-2520

11857 SCAGGSVILLE ROAD FULTON, MARYLAND 2075

DRAWING SCALE : 1/4"=1'-0"



ADDITION FLOOR ADDITION, REAR RENOVA-

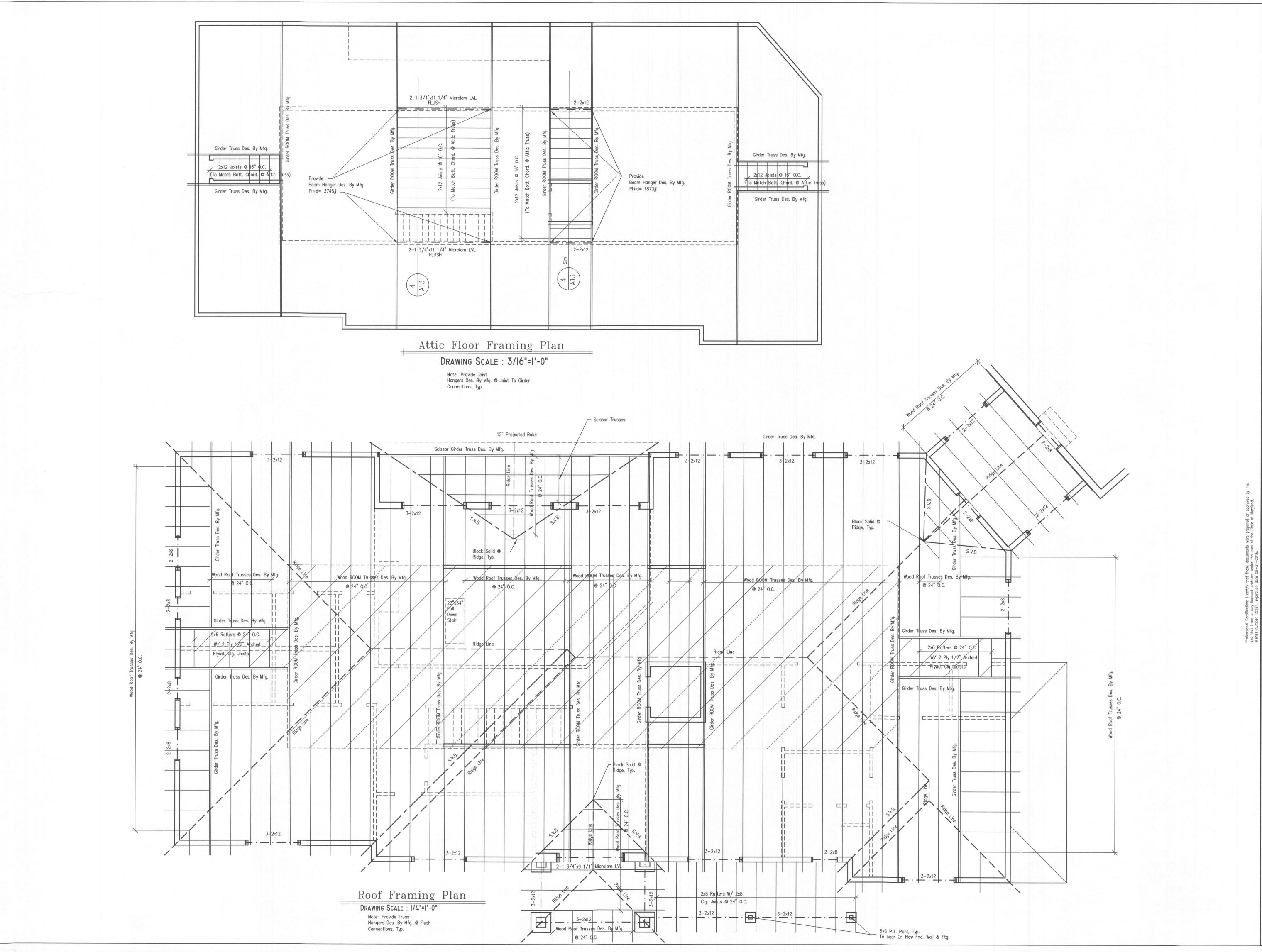
11857 SCAGGSVILLE ROAD FULTON, MARYLAND 20759

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STREAM ARCHITECTURE. BRUNO, ARCHITECT

8808 QUIET STREAM CT. POTOMAC, MARYLAND 20854 301-213-2520 QUIET TANIA L

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RENOVATION,

QUIET STREAM ARCHITECTURE
TANIA L. BRUNO, ARCHITECT

8808 QUIET STREAM C POTOMAC, MARYLAND 2 301-213-2520

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UPPER FLOOR ADDITION, REAR ADDITION

11857 SCAGGSVILLE ROAD FULTON, MARYLAND 20759

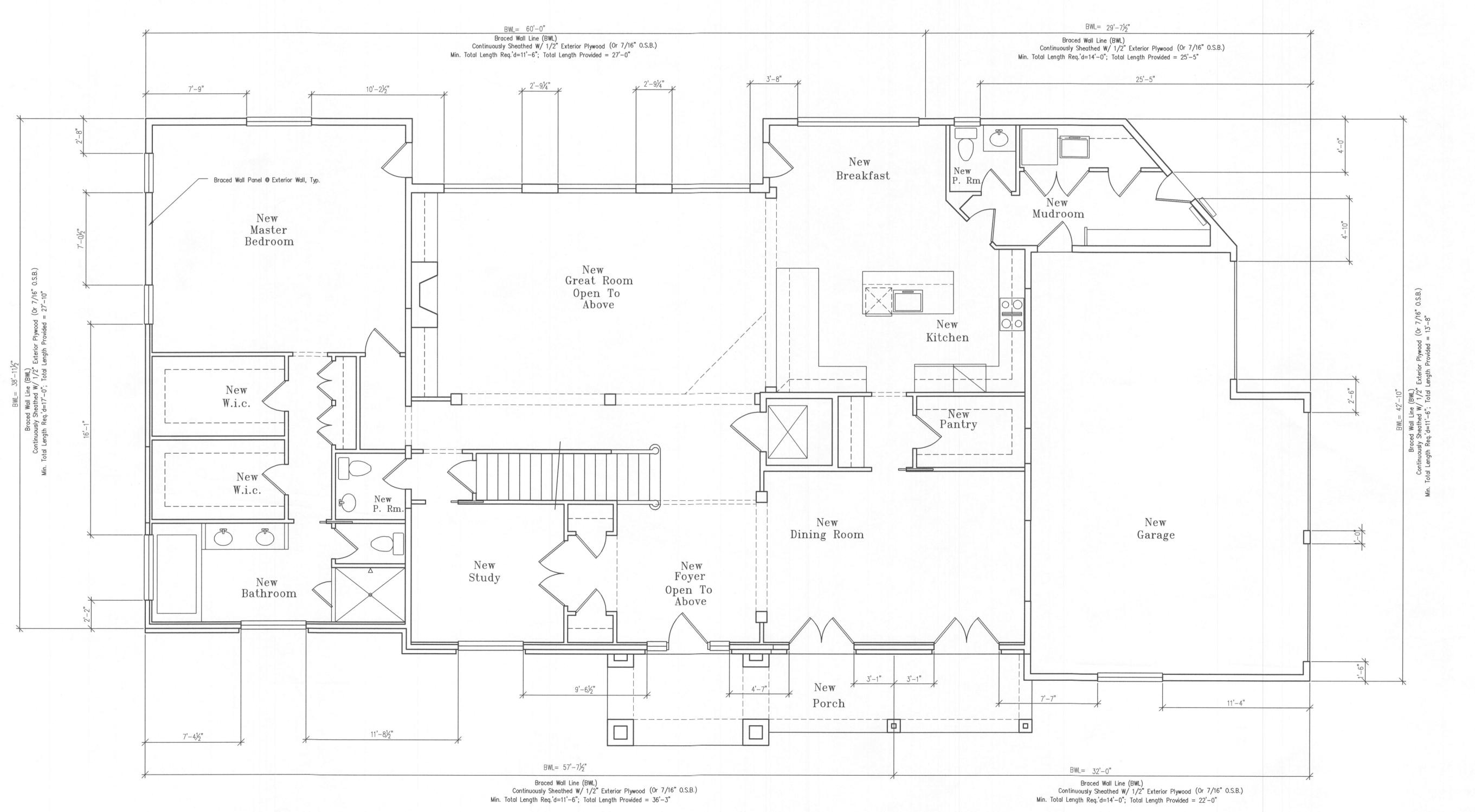
Typ. Exterior Corner Framing N.T.S.

For Cont. Structural Panel Sheathing (CS-WSP)

to framing, rim joist, band joist and/or blocking shall be in accordance with Table R602.3(1).

R602.10.8 Braced wall panel connections. Braced wall panels shall be connected to floor framing or foundations as follows: 1. Where joists are perpendicular to a braced wall panel above or below, a rim joist, band joist or blocking shall be provided along the entire length of the braced wall panel in accordance with Figure R602.10.8(1). Fastening of top and bottom wall plates

2. Where joists are parallel to a braced wall panel above or below, a rim joist, end joist or other parallel framing member shall be provided directly above and below the braced wall panel in accordance with Figure R602.10.8(2). Where a parallel framing member cannot be located directly above and below the panel, full-depth blocking at 16 inch (406 mm) spacing shall be provided between the parallel framing members to each side of the braced wall panel in accordance with Figure R602.10.8(2). Fastening of blocking and wall plates shall be in accordance with Table R602.3(1) and Figure R602.10.8(2).



RENOVATION,

ADDITION

REAR

ADDITION,

FLOOR

ROAD 2075

STREAM ARCHITECTURE. BRUNO, ARCHITECT

QUIET TANIA L.

8808 QUIET STREAM C POTOMAC, MARYLAND 3 301-213-2520

DRAWING SCALE : 1/4"=1'-0"

