



Building Permit Application

Howard County, Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: B1602765

Building Address: 11857 Scaggsville Rd
City: Tulton State: MD Zip Code: 20759
Suite/Apt. # _____ SDP/WP/BA #: _____
Census Tract: _____ Subdivision: _____
Section: _____ Area: _____ Lot: _____
Tax Map: _____ Parcel: _____ Grid: _____
Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: _____
Proposed Use: _____
Estimated Construction Cost: \$ 110,000
Description of Work: 2nd floor
2868 SF

Occupant or Tenant: _____
Was tenant space previously occupied? ☐ Yes ☐ No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor:
	2 nd floor:
Area of construction (sq. ft.):	Basement:
	<input type="checkbox"/> Finished Basement
Use group:	<input type="checkbox"/> Unfinished Basement
	<input type="checkbox"/> Crawl Space
Construction type:	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:
<input type="checkbox"/> Structural Steel	Multi-family Dwelling
<input type="checkbox"/> Masonry	No. of efficiency units:
<input type="checkbox"/> Wood Frame	No. of 1 BR units:
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:
<input type="checkbox"/> Yes <input type="checkbox"/> No	Roof:
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Property Owner's Name: _____
Address: Same
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Contractor Company: Home Owner
Contact Person: _____
Address: _____
City: _____ State: _____ Zip Code: _____
License No.: _____
Phone: _____ Fax: _____
Email: _____

Engineer/Architect Company: _____
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Utilities
Water Supply
<input type="checkbox"/> Public
<input type="checkbox"/> Private
Sewage Disposal
<input type="checkbox"/> Public
<input type="checkbox"/> Private
Electric: <input type="checkbox"/> Yes <input type="checkbox"/> No
Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No
Heating System
<input type="checkbox"/> Electric <input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas
<input type="checkbox"/> Other:
Sprinkler System:
<input type="checkbox"/> Yes <input type="checkbox"/> No
Grading Permit Number:
Building Shell Permit Number:

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature _____

Print Name _____

Email Address _____

Date: 1/20/16

Title/Company _____

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY

-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health		

Is Sediment Control approval required for issuance? ☐ Yes ☒ No
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ <u>25.00</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# <u>1719</u>

Distribution of Copies: White: Building Officials

Green: PSZA, Zoning

Yellow: PSZA, Engineering

Pink: Health

Gold: SHA

T:\Operations\Updated Forms\Building applmp 8.2012.docx

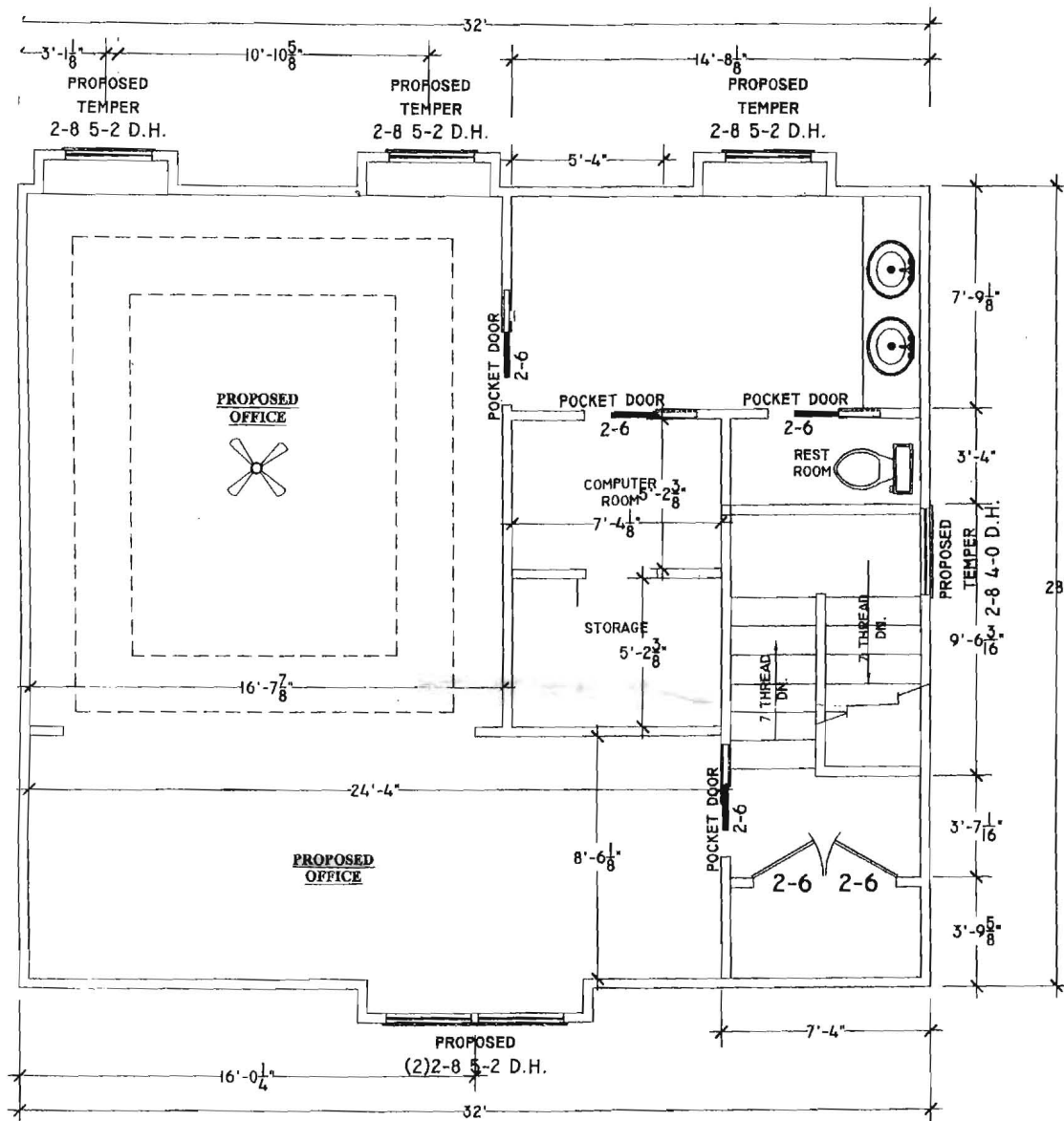
Howard County Health Department
8930 Stanford Boulevard
Columbia Md 21045

To Whom It May Concern:

My name is Jacobi Jones. I reside at 11857 Scaggsville Rd. Fulton, Md. 20759. I would like to state that there are not any rough ins for Tubs or Showers in the Garage. If there are any other questions or concerns please call or email me at 678-758-1786 or cobijj@gmail.com.

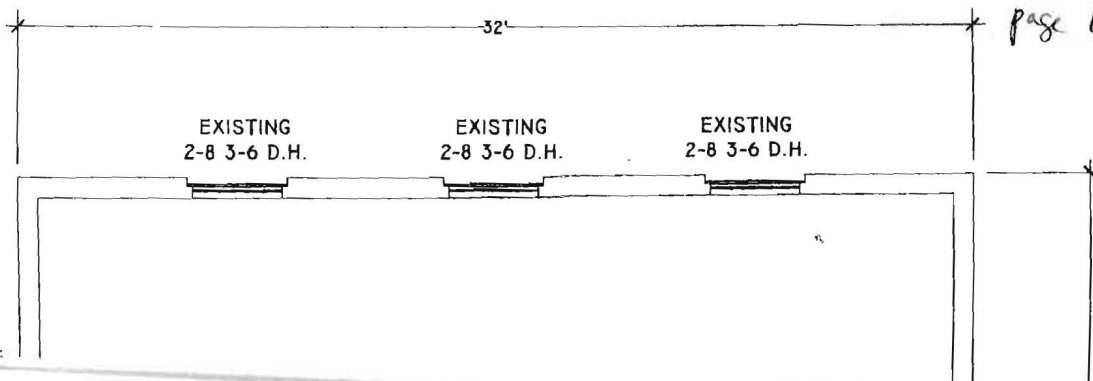
Thank you

A handwritten signature in black ink, appearing to be 'Jacobi Jones', with a stylized, flowing script.

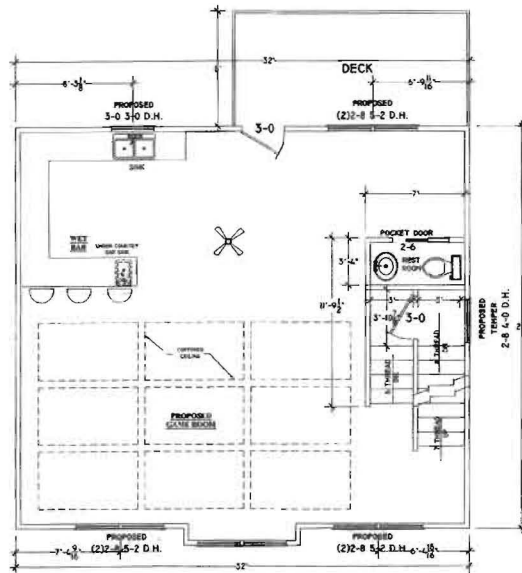


PROPOSED
ATTIC FLOOR PLAN
 SCALE : 1/4" = 1'-0"

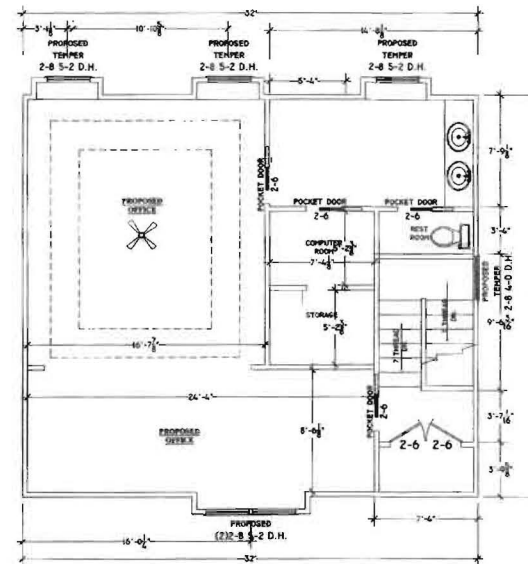
REVISED
 Date: 5-19-14
 Comments: revise Floor plan
 page 1 of 2



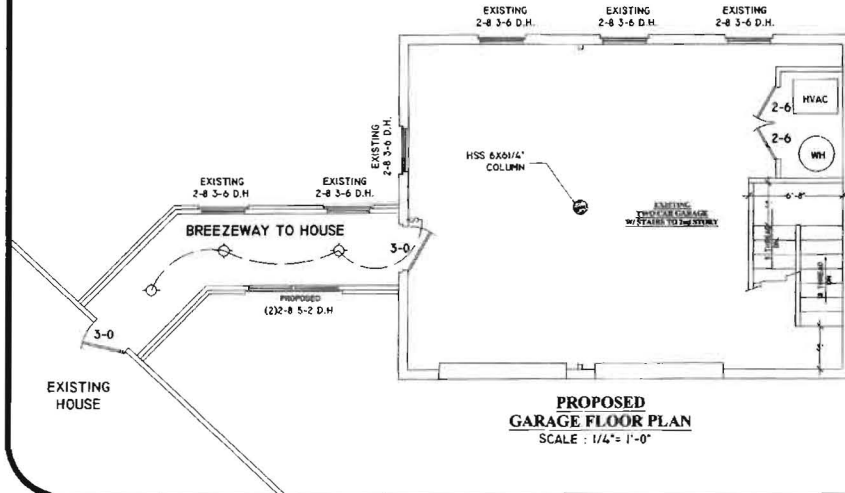
Floor Plan Approved for B13003573
garage addition at 11857 Scaggsville Rd.
reb 8/13/24



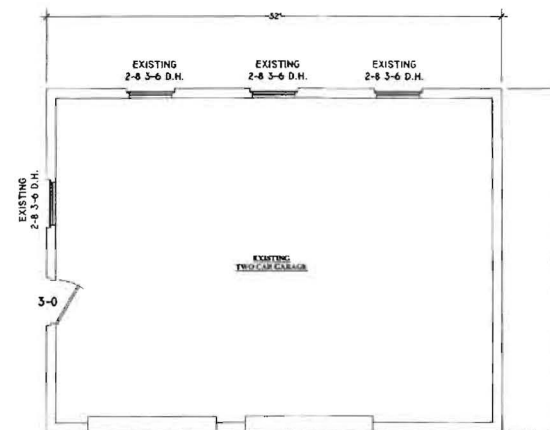
**PROPOSED
2nd STORY FLOOR PLAN**
SCALE: 1/4" = 1'-0"



**PROPOSED
ATTIC FLOOR PLAN**
SCALE: 1/4" = 1'-0"



**PROPOSED
GARAGE FLOOR PLAN**
SCALE: 1/4" = 1'-0"



**EXISTING
GARAGE FLOOR PLAN**
SCALE: 1/4" = 1'-0"

General Notes

EXISTING & PROPOSED GARAGE & 2nd STORY FLOOR PLAN

No. Revision/Issued Date

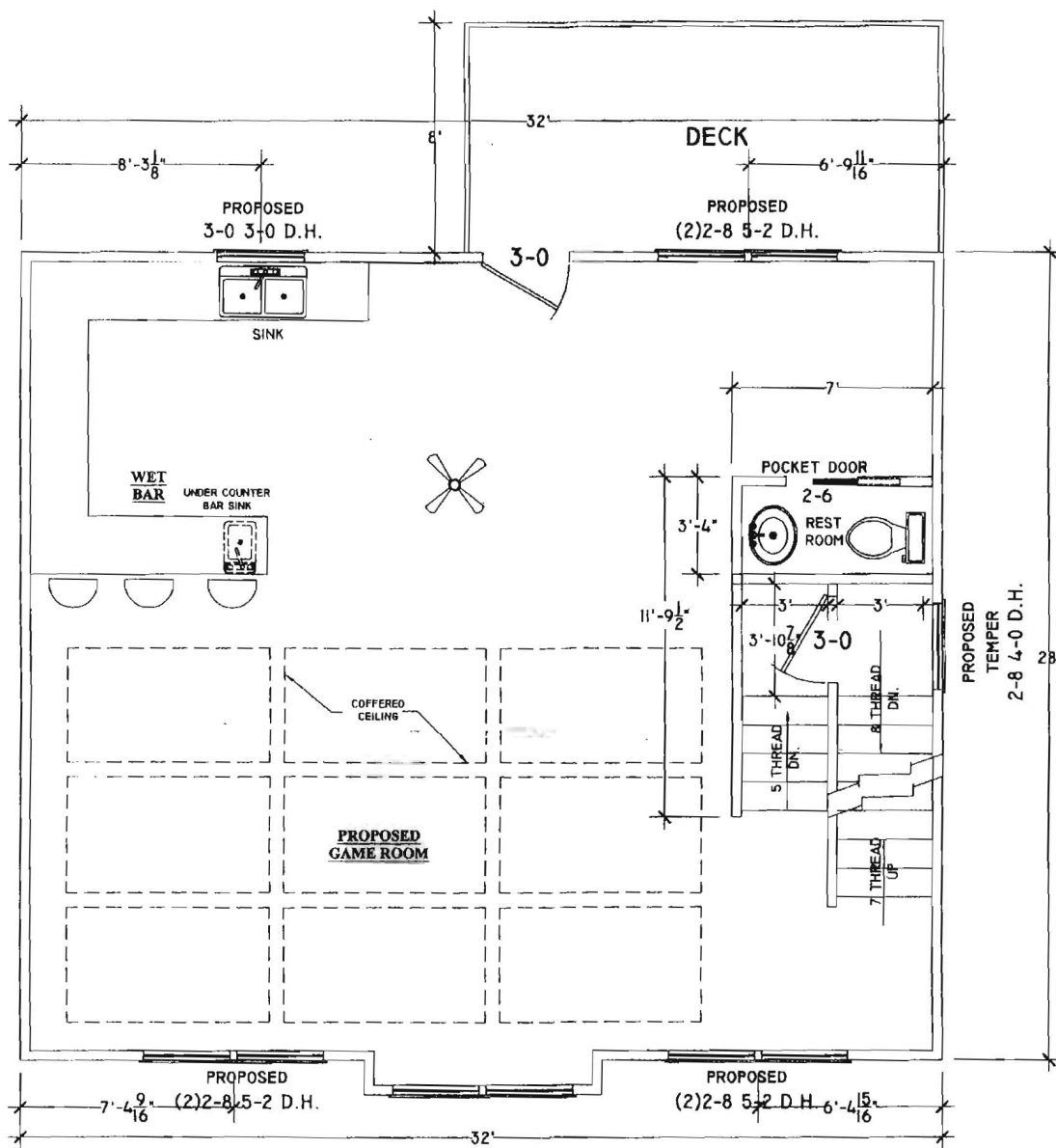
Prepared by and Address
J.S. CADD DESIGN SERVICE
1426 GOLF LINK DR.
STONEMOUNTAIN GA. 30088
(404) 502-8574
swiney@bellsouth.net

Project Name and Address
**Garage 2nd Story Addition
Renovation**
11857 Scaggsville Rd.
Howard County Maryland

Project
Date: 5/05/2014
Scale: 1/4" = 1'-0"

A-2

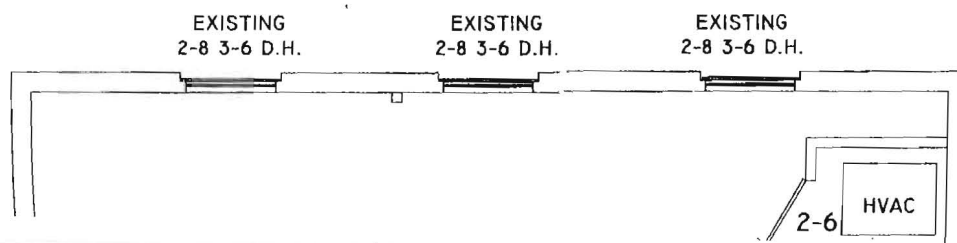
RELEASE FOR CONSTRUCTION



PROPOSED 2nd STORY FLOOR PLAN

SCALE : 1/4" = 1'-0"

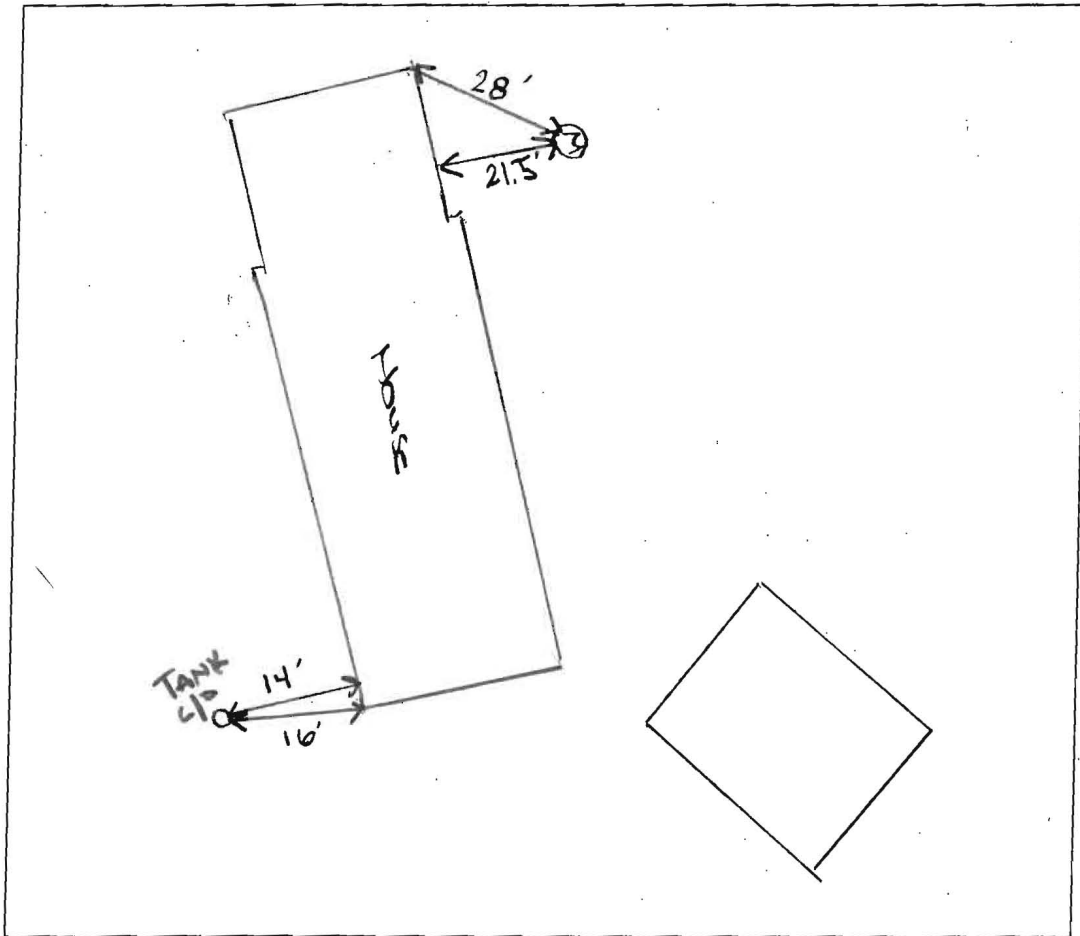
REVISED
Date: 5-19-14
Comments: revise floor plan
page 2 of 2



SITE INSPECTION SHEET

OWNER: Jacobi Jones PHONE #: _____
ADDRESS: 11857 Scaggsville Rd CONTRACTOR: _____
Fulton, MD 20759 WELL TAG #: _____
SUBDIVISION: _____ LOT: _____ COUNTY #: _____
PROPOSAL: 2nd floor addition; Approx. 2868 SF

LOCATION DIAGRAM



COMMENTS: 1 pc, well cap. w/o conduit, or tag; cap was loose.
No evidence of septic issues.

DATE: 8-3-16 INSPECTOR: Hank Oswald



Interactive Map

Map Layers Map Legend Search

Search By Longitude/Latitude

Search By Address

Number:

Street:

Search By Address

Search By Street Intersection

Search By Owner (Property)

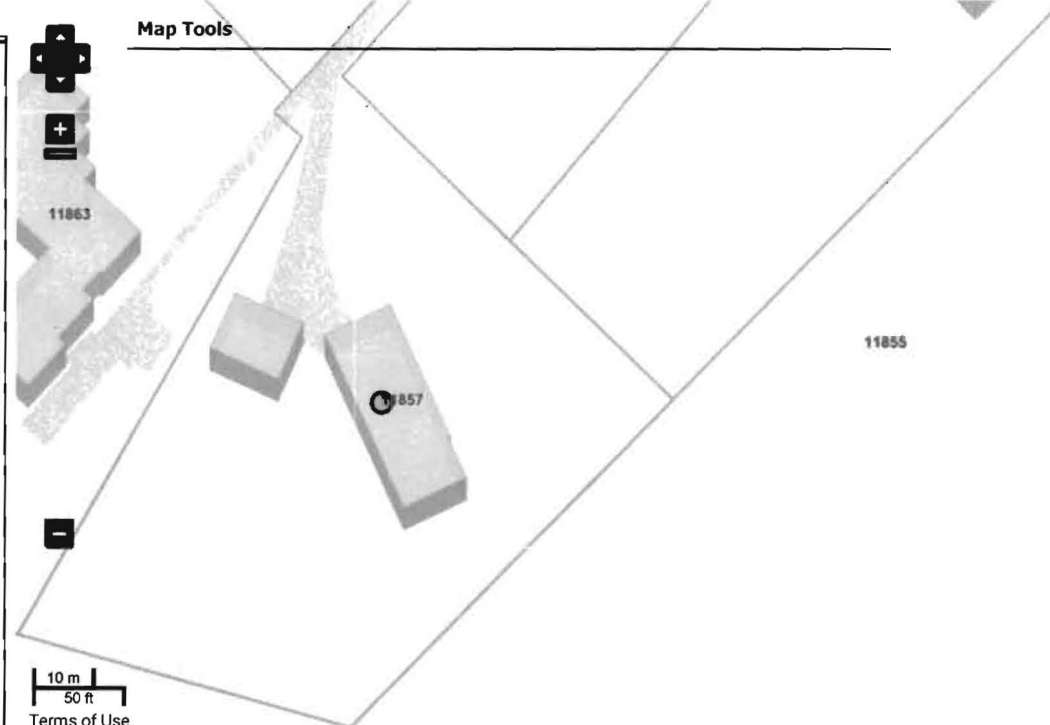
Search By Tax ID

Search By Plat Number

Search By Tax Map/Parcel/Lot

Search Scanned Drawings

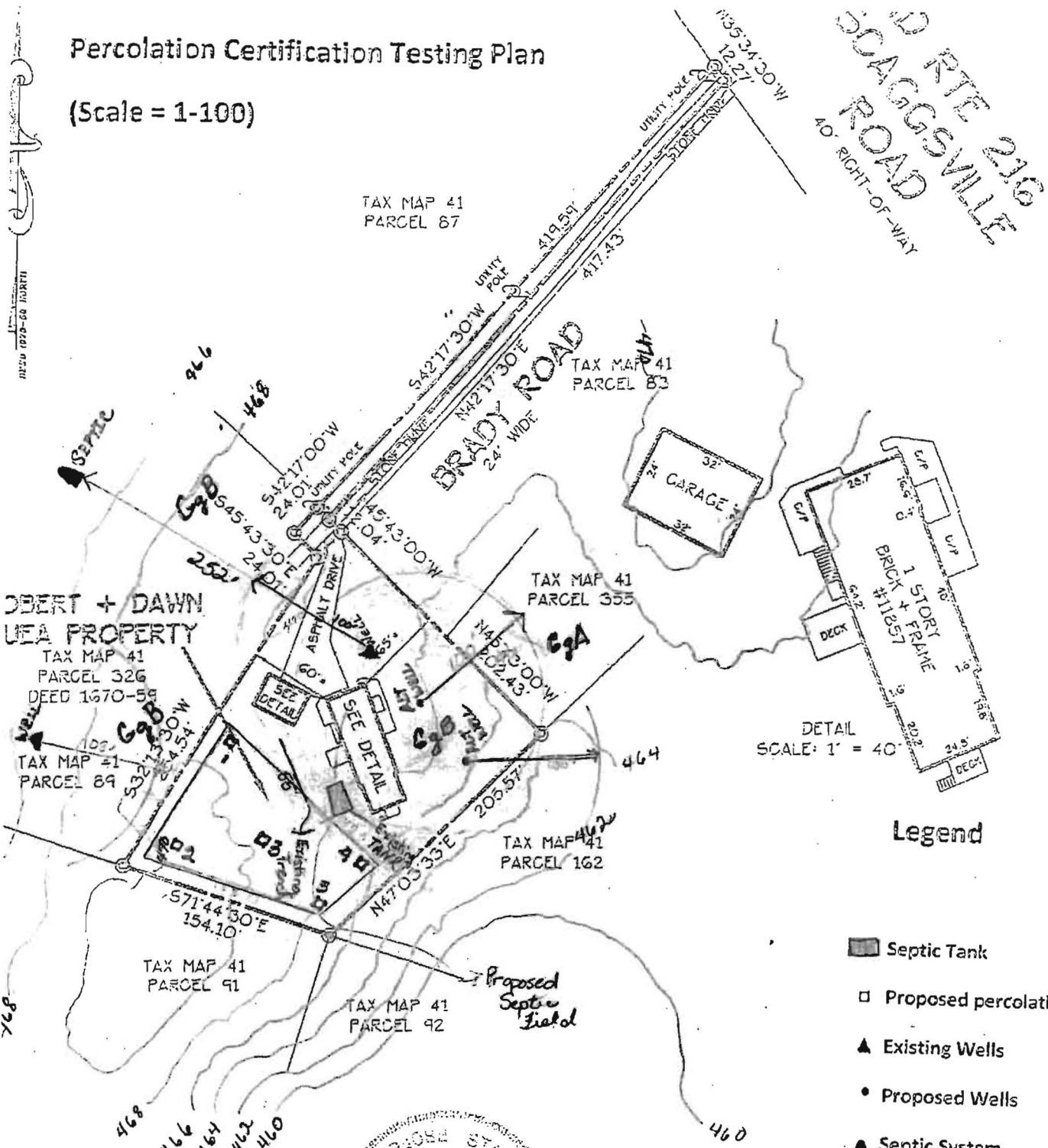
Search Scanned Drawings by Name



-76.92581, 39.15338

Percolation Certification Testing Plan

(Scale = 1-100)



Legend

- Septic Tank
- Proposed percolation testing
- Existing Wells
- Proposed Wells
- Septic System

I hereby certify that the improvements shown hereon, to the best of my professional knowledge and ability, have been located by a transit, tape or total-station survey.

James B. [Signature]

Purpose: The purpose of this testing plan is to establish a septic area for certification.

SCAGGSVILLE ROAD DEED 1670-59
LOCATION DRAWING
TAX MAP 41 PARCEL 326

Bernard, Dana

From: Bernard, Dana
Sent: Wednesday, July 27, 2016 10:30 AM
To: jacobi jones ([REDACTED])
Subject: 11857 Scaggsville Road

Good Morning,

I hope all is well and you are enjoying your summer. I have reviewed your plan and I need your floor plans to approve your permit. I will need floor plans for the existing house and floor plans for the proposed addition. Talk to you soon.

Thank you & Have a*~)

,,*,*) ,*,*)

(,*,*) * Wonderful Day !

DBernard

Dana Bernard, R.E.H.S./L.E.H.S.

Environmental Specialist II

Bureau of Environmental Health

Well and Septic Program

Phone (410) 313-2775

E-mail: DBernard@howardcountymd.gov

PUB. SEWER STATUS VERIFIED BY _____

ISSUE DATE: 5/8/07

APPROVAL DATE: 5/11/07 (KW)

PERMIT

P 526687

A REPAIR

Tax ID # 05-352703

**ON-SITE SEWAGE DISPOSAL SYSTEM
HOWARD COUNTY HEALTH DEPARTMENT
BUREAU OF ENVIRONMENTAL HEALTH**

J M Contracting LLC IS PERMITTED TO INSTALL ☐ ALTER ☒

ADDRESS: 425 Obrecht Road, Sykesville PHONE NUMBER: 443-277-7526

SUBDIVISION: _____ LOT NUMBER: _____

ADDRESS: 11857 Scaggsville Road PROPERTY OWNER: Dawn Duea

SEPTIC TANK CAPACITY (GALLONS): _____

PUMP CHAMBER CAPACITY (GALLONS): _____

NUMBER OF BEDROOMS: _____

SQUARE FEET PER BEDROOM: _____

LINEAR FEET OF TRENCH REQUIRED: 180

*Trenches 2' Wide
Inlet 7.5'
Bottom 11.5'
50', 60' and 70'
Trenches*

TRENCHES:	Trench to be _____ feet wide. Inlet _____ feet below original grade. Bottom maximum depth _____ feet below original grade. Effective area begins at _____ feet below original grade. _____ feet of stone below distribution pipe.
LOCATION:	
PURPOSE:	Existing septic system has failed. Call for inspection when ground is opened so sanitarian can recommend repair.

PLANS APPROVED: _____ DATE: _____

NOTE: PERMIT VOID AFTER 2 YEARS

NOTE: CONTRACTOR RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION INSPECTION FOR ALL INSTALLATIONS

NOTE: WATERTIGHT SEPTIC TANKS REQUIRED

NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE 100 FEET FROM ANY WATER WELL

NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS

**NEITHER THE HOWARD COUNTY COUNCIL OR THE HEALTH DEPARTMENT IS
RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM
PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT
CALL 410-313-2640 FOR INSPECTION OF SEPTIC SYSTEM**

Lakeside
TITLE COMPANY

SHEET 1 OF 2

This is a two page document and is not valid without both pages. See page two (or reverse) for Survey Notes.



MD RTE 216
SCAGGSVILLE
ROAD
40' RIGHT-OF-WAY

TAX MAP 41
PARCEL 87

TAX MAP 41
PARCEL 83

BRADY ROAD
24' WIDE

ROBERT + DAWN
DUEA PROPERTY

TAX MAP 41
PARCEL 326
DEED 1670-59

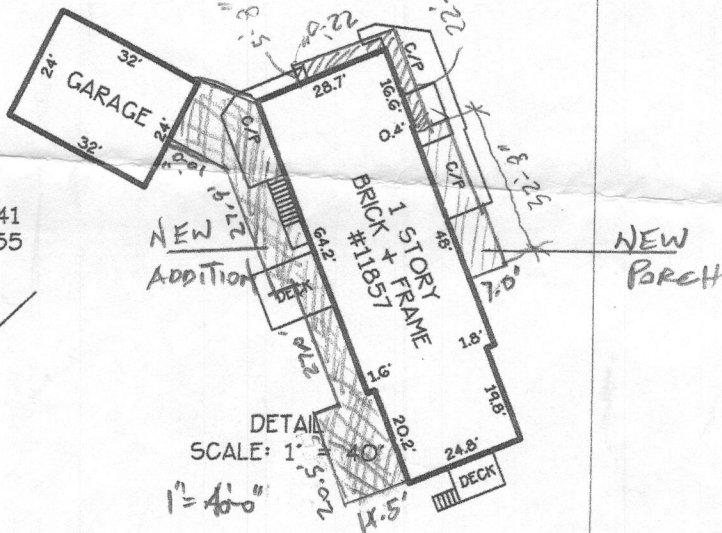
TAX MAP 41
PARCEL 89

TAX MAP 41
PARCEL 91

TAX MAP 41
PARCEL 92

TAX MAP 41
PARCEL 355

TAX MAP 41
PARCEL 162



I hereby certify that the improvements shown hereon, to the best of my professional knowledge and ability, have been located by a transit, tape or total-station survey.

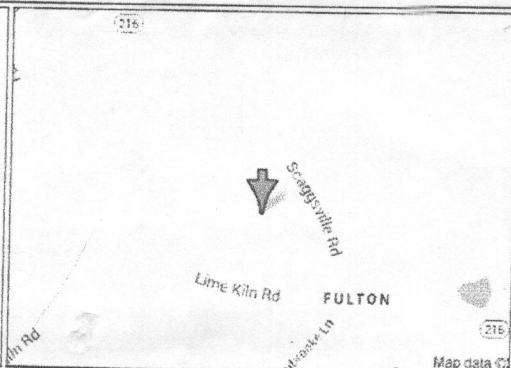
George A. Parrish IV

GEORGE A. PARRISH IV PROP. LS#577 6/14/13
LICENSE EXPIRATION DATE 03/24/2015

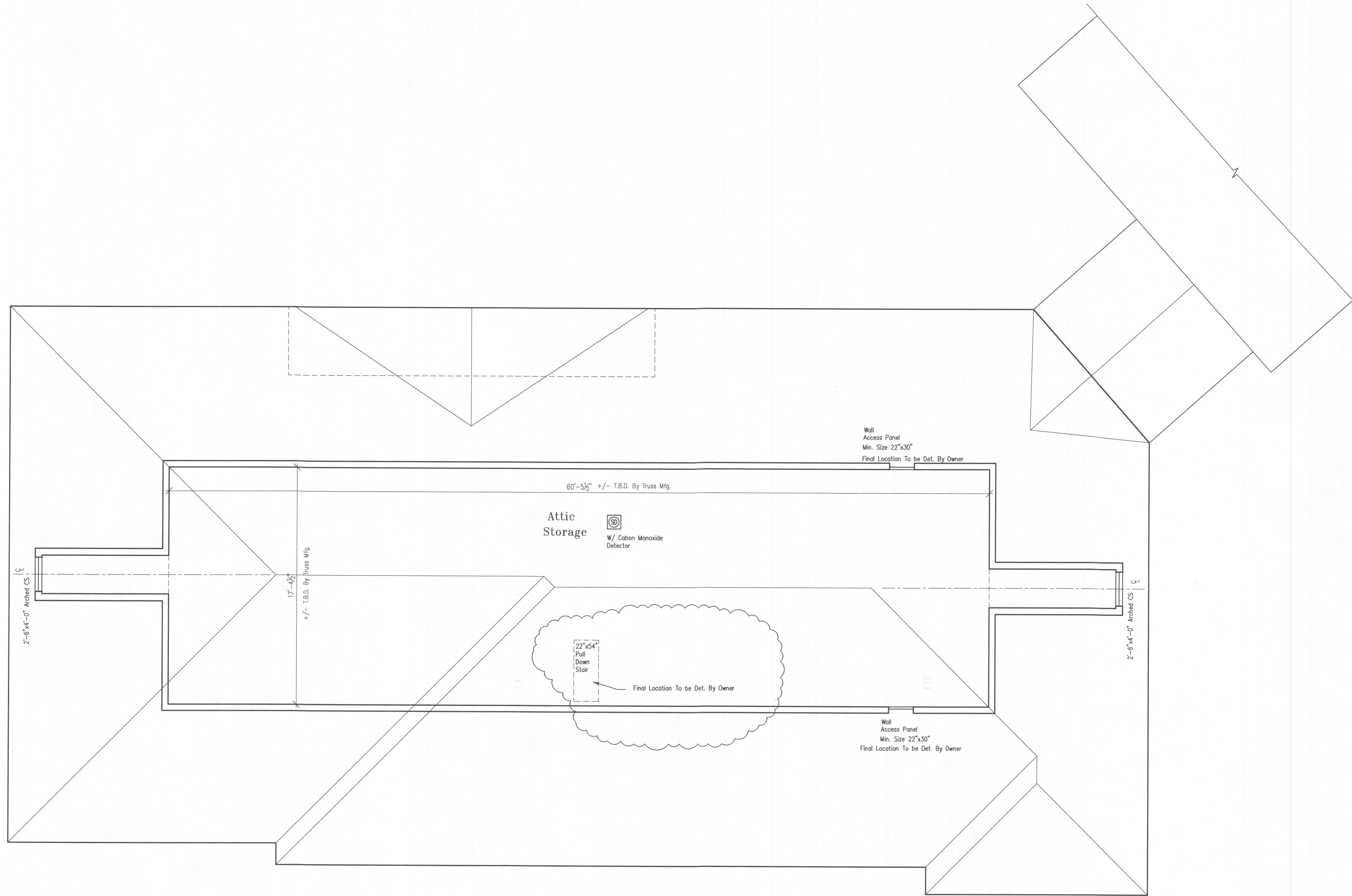
11857 SCAGGSVILLE ROAD DEED 1670-59

LOCATION DRAWING
TAX MAP 41 PARCEL 326
**ROBERT & DAWN DUEA
PROPERTY**
FIFTH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SCALE: 1" = 100' JUNE 2013

PROJECT#37153
F/N: DUEA-PROPERTY



**ADVANCED
SURVEYS**
Established 1975
3140 WEST WARD ROAD SUITE 103
DUNKIRK, MARYLAND 20754
P: (410) 286-9712 F: (410) 286-9716



Attic Plan
ALL NEW

DRAWING SCALE : 1/4"=1'-0"

SHEET NUMBER:
A-4

QUIET STREAM ARCHITECTURE LLC
TANIA L. BRUNO, ARCHITECT
8808 QUIET STREAM CT.
POTOMAC, MARYLAND 20854
301-213-2520



RENOVATION, UPPER FLOOR ADDITION, REAR ADDITION

11857 SCAGGSVILLE ROAD
FULTON, MARYLAND 20759

DATE:
3/24/16
4/8/16
4/28/16
5/19/16
6/19/16
7/1/16
7/6/16

EXTENDED NOTES

1 GENERAL REQUIREMENTS

APPLICABLE CODES

THE WORK SHALL COMPLY WITH ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES, REGULATIONS AND CURRENT AMENDMENTS AND ALL OTHER AUTHORITIES HAVING JURISDICTION. THE WORK SHALL COMPLY WITH INTERPRETATIONS OF THE LOCAL BUILDING OFFICIAL INCLUDING MODIFICATIONS MADE TO THE CONSTRUCTION DOCUMENTS DURING THE PERMIT REVIEW PROCESS. IF DISCREPANCIES OCCUR BETWEEN CODES, ORDINANCES, OR REGULATIONS, THE MOST STRINGENT REQUIREMENT SHALL APPLY. IF THE INTERPRETATION OF THE LOCAL BUILDING OFFICIAL IS AT VARIANCE WITH THESE DOCUMENTS, THE ARCHITECT SHALL BE PROMPTLY NOTIFIED PRIOR TO PROCEEDING WITH THE WORK.

WORK OF CONTRACT

THE ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS, TECHNIQUES, PROCEDURES, OR FOR SAFETY MEASURES IN CONNECTION WITH THE WORK AND SHALL NOT BE HELD RESPONSIBLE FOR THE FAILURE OF THE CONTRACTOR, SUBCONTRACTORS OR ANYONE PERFORMING THE WORK TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL FIELD DIMENSIONS AND CONDITIONS PRIOR TO PROCEEDING WITH THE WORK. FAILURE TO VISIT SITE WILL NOT RELIEVE SUB CONTRACTOR FROM NECESSITY OF FURNISHING MATERIALS OR PERFORMING WORK THAT MAY BE REQUIRED TO COMPLETE WORK IN ACCORDANCE WITH DRAWINGS. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. ARCHITECT SHALL BE NOTIFIED PROMPTLY OF ANY DIMENSIONAL OR INFORMATIONAL DISCREPANCIES INCLUDING FIELD CONDITIONS OR OTHER INFORMATION ON THE DRAWINGS PRIOR TO CONSTRUCTION.

TYPICAL CONDITIONS

THE GENERAL NOTES AND TYPICAL DETAILS APPLY THROUGHOUT THE CONSTRUCTION DOCUMENTS UNLESS INDICATED OTHERWISE. WHERE CONDITIONS ARE NOT SPECIFICALLY SHOWN OR DETAILED, THE CHARACTER AND QUALITY OF THE WORK SHALL BE THE SAME AS THAT INDICATED FOR SIMILAR CONDITIONS.

COORDINATION

THE CONTRACTOR SHALL COORDINATE AND COMPARE ALL DRAWINGS BETWEEN THE DIFFERENT CONSULTANTS AND TRACER TO ENSURE THE EFFICIENT AND ORDERLY SEQUENCE OF INSTALLATION OF CONSTRUCTION ELEMENTS, WITH PROVISIONS FOR ACCOMMODATING ITEMS INSTALLED LATER. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, WHICH MAY BE FOUND. COORDINATE SPACE REQUIREMENTS AND INSTALLATION OF MECHANICAL, ELECTRICAL, PLUMBING AND OTHER COORDINATION WORK, WHICH IS INDICATED DIAGRAMMATICALLY. RESOLVE ROUTING ISSUES AND SPACE ALLOCATIONS BEFORE WORK IS STARTED. FOLLOW ROUTING INDICATED ON SHOP DRAWINGS FOR PIPES, DUCTS, AND CONDUITS AS CLOSELY AS PRACTICABLE. MAKE RUNS PARALLEL WITH LINES OF BUILDING. UTILIZE SPACES EFFICIENTLY TO MAXIMIZE ACCESSIBILITY FOR OTHER INSTALLATIONS, MAINTENANCE, AND REPAIRS.

EXAMINATION

INSTALLER SHALL INSPECT THE SUBSTRATE TO RECEIVE WORK AND CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED AND VERIFY LAY-OUT OF WORK BEFORE BEGINNING INSTALLATION. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED TO SATISFACTION OF INSTALLER. BEGINNING OF WORK MEANS ACCEPTANCE OF WORK BY INSTALLER.

WORK IN PLACE

WHEN SUBJECT TO DAMAGE BECAUSE OF ADJACENT OPERATIONS, COVER, BOARD UP, OR SUBSTANTIALLY ENCLOSE WITH ADEQUATE PROTECTION.

REFERENCE STANDARD

FOR PRODUCTS OR WORKMANSHIP SPECIFIED OR INDICATED BY ASSOCIATION, TRADE OR FEDERAL STANDARDS, COMPLY WITH REQUIREMENTS OF STANDARDS, EXCEPT WHEN MORE RIGID REQUIREMENTS ARE SPECIFIED OR ARE REQUIRED BY APPLICABLE CODES. EFFECTIVE DATE OF STANDARD IS THAT IN EFFECT AS OF DOCUMENTS DATE EXCEPT WHEN SPECIFIC DATE IS SPECIFIED OR WHEN STANDARD IS PART OF APPLICABLE CODE WHICH INCLUDES DATE DATE.

DELIVERY AND STORAGE

DELIVER AND HANDLE PRODUCTS BY METHODS TO AVOID PRODUCT DAMAGE. STORE IN UNDAMAGED CONDITION IN MANUFACTURERS UNFURNISHED CONTAINERS OR PACKAGING. DRY.

CLEAN-UP

MAINTAIN PROJECT AND SITE IN CLEAN AND ORDERLY CONDITION. REGULARLY REMOVE WASTE MATERIALS, DEBRIS AND RUBBISH FROM SITE.

ATTACHMENT

PROVIDE ATTACHMENT AND CONNECTION DEVICES AND METHODS FOR SECURING WORK TO WITHSTAND STRESSES, VIBRATION, AND RACKING. SECURE WORK TRUE TO LINE AND LEVEL INDICATED AND INDUSTRY RECOGNIZED TOLERANCES. ALLOW FOR EXPANSION AND BUILDING MOVEMENT. PHYSICALLY SEPARATE, PROVIDE ELECTRIC INSULATION OR PROVIDE PROTECTIVE COATINGS TO PREVENT GALVANIC ACTION OR CORROSION BETWEEN DISSIMILAR METALS.

SHOP DRAWINGS

WHERE REQUIRED, TWO COPIES OF THE SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. THE ARCHITECTS REVIEW SHALL BE FOR GENERAL CONFORMANCE WITH THE DESIGN CONCEPT AND FOR GENERAL COMPLIANCE WITH THE INFORMATION GIVEN ON THE DRAWINGS. ARCHITECTS REVIEW SHALL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR DEVIATIONS OR ERRORS FROM THE REQUIREMENTS OF THE DRAWINGS. DIMENSIONS REVISED OR ADDED AS A RESULT OF ARCHITECTS REVIEW ARE ONLY INTENDED AS SUGGESTIONS TO GUIDE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMISSION TO AND FOLLOW-UP WITH LOCAL BUILDING OFFICIALS. FIELD DIMENSIONS AND FIELD CONDITIONS, VERIFICATION AND MODIFICATION OF DIMENSIONS FOR PROPER FIT AND INSTALLATION, QUANTITIES, CONSTRUCTION TECHNIQUES AND COORDINATION AND SATISFACTORY PERFORMANCE OF WORK OF ALL TRADES.

MOUNTING HEIGHTS

WHERE NOT INDICATED, MOUNT INDIVIDUAL UNITS OF WORK AT INDUSTRY RECOGNIZED STANDARD MOUNTING HEIGHTS FOR PARTICULAR APPLICATION INDICATED.

PREFABRICATED TRUSS JOISTS SHALL BE DESIGNED TO RESIST THE LOADING SHOWN WITH A MAXIMUM LIVE LOAD DEFLECTION OF 1/400 OF THE SPAN OR AS NOTED IN THE CONSTRUCTION DOCUMENTS.

MANUFACTURERS INSTRUCTIONS
THE CONTRACTOR SHALL COMPLY WITH THE MANUFACTURERS OR FABRICATORS INSTRUCTIONS OR RECOMMENDATIONS FOR THE PREPARATION OF SUBSTRATES, INSTALLATION AND USE OF THEIR PRODUCTS AND MATERIALS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN MANUFACTURERS INSTRUCTIONS, RECOMMENDATIONS OR STANDARD DETAILS AND THE REQUIREMENTS INDICATED IN THE CONSTRUCTION DOCUMENTS.

RECORD DOCUMENTS

MAINTAIN ONE RECORD COPY OF DRAWINGS, ADDENDA, ACCEPTED SHOP DRAWINGS AND DOCUMENTS PRODUCT DATA AND CHANGE ORDERS.

GENERAL STRUCTURAL

IN CASE OF ANY DISCREPANCIES BETWEEN THESE NOTES AND NOTES ON THE STRUCTURAL DRAWINGS, THE APPROVED STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE.

FOUNDATION ANCHOR BOLTS SHALL BE PROVIDED AT MAXIMUM 6'0" O.C. INTERVALS FOR ONE AND TWO STORY BUILDINGS AND AT 4'0" MAXIMUM FOR TWO OR MORE STORY BUILDINGS. ANCHOR BOLTS SHALL BE MINIMUM 1/2" DIAMETER AND SHALL BE EMBEDDED IN CONCRETE TO A MINIMUM DEPTH OF 8" IF POURED IN PLACE CONCRETE AND NOT LESS THAN 16" IN GROUTED UNTIL MASONRY. ANCHOR BOLTS CAN BE SUBSTITUTED WITH METAL STRAP ANCHORS INSTALLED PER MANUFACTURERS SPECIFICATIONS. ALL BEARING PLATES SHALL BEAR ON MINIMUM 8" DEEP SOLID MASONRY.

ALL WALL SILL PLATES SHALL BE MIN. 2x4 HOLES SHALL NOT BE CUT THROUGH BEAMS UNLESS INDICATED OR APPROVED BY ENGINEER.

ALL POSTS SHOWN ON THE PLANS SHALL BEAR ON THE FOUNDATION LEVEL FRAMING UNLESS THEY ARE SUPPORTED ON A TRANSFER BEAM.

CONTRACTOR TO BE RESPONSIBLE FOR ALL NOISE ATTENUATION REQUIREMENTS.

RADON SHALL BE CONTROLLED IN ACCORDANCE WITH PROVISIONS OF APPENDIX F OF THE IRC CODE

2 SITE WORK

THESE DRAWINGS DO NOT COVER SITE WORK, EXCAVATION, GRADING AND LANDSCAPING. REFER TO THE SITE DRAWINGS PREPARED BY THE CIVIL ENGINEER, LANDSCAPE ARCHITECT, GEOTECHNICAL ENGINEER AND OTHER CONSULTANTS FOR THESE ITEMS. SOIL BEARING CAPACITY OF 2000 PSF IS USED FOR FOOTING SIZES SHOWN IN THE CONSTRUCTION DOCUMENTS. ARCHITECT SHALL BE NOTIFIED IF SOIL CAPACITIES ARE FOUND TO BE LESS THAN 2000 PSF.

GEOTECHNICAL REPORT PREPARED BY OWNERS SEPARATE CONSULTANT: OWNER TO PROVIDE IF REQUIRED.

EXCAVATION

EXCAVATION AS REQUIRED FOR WALLS, FOUNDATIONS, PIERS, AREA PITS, ETC. TO DEPTHS INDICATED. TRENCH BOTTOMS PROVIDE FULL WIDTH REQUIRED. IF THROUGH EXCAVATION, TRENCHES ARE CARRIED DEEPER THAN REQUIRED. FILL EXCESS DEPTH WITH COMPACTED FILL OR CONCRETE. IF DEBRIS, SOFT SPOTS, OR EXCESSIVELY MOIST AREAS ARE FOUND AT BOTTOM OF ANY EXCAVATION, IMMEDIATELY REPORT CONDITION TO OWNER WHO WILL CONSULT WITH GEOTECHNICAL ENGINEER TO DETERMINE IF CORRECTIVE WORK IS NECESSARY.

FOOTINGS

FOUNDATIONS WITHIN INDIVIDUAL BUILDINGS: PLACEMENT ON DISSIMILAR SOIL CONDITIONS NOT ALLOWED. BEARING SOIL. APPROVED BY GEOTECHNICAL ENGINEER BEFORE CONCRETE PLACEMENT.

UNCLASSIFIED EXCAVATION: ALL EXCAVATION (OTHER THAN ROCK EXCAVATION) IS CONSIDERED AS UNCLASSIFIED AND IS DEFINED AS REMOVAL OF ALL MATERIAL ENCOUNTERED, REGARDLESS OF SOIL TYPE.

FILL MATERIALS

ON-SITE EXCAVATED AND IMPORTED MATERIALS AS APPROVED BY GEOTECHNICAL ENGINEER. MATERIALS CONTAINING TOPSOIL, ICE, EXCESSIVE ORGANIC MATTER INCLUDING BRUSH, LARGE ROCKS OR OTHER DELETERIOUS MATERIALS NOT ALLOWED.

COMPACTED FILL

FILL AND COMPACT TO LEVELS REQUIRED TO COMPLETE WORK INDICATED. SPREAD FILL MATERIAL IN UNIFORM HORIZONTAL LAYERS NO GREATER THAN 8 INCHES THICK. COMPACT FILL AT NEAR OPTIMUM MOISTURE CONTENT TO MINIMUM OF 96 PERCENT OF MAX DRY DENSITY. ASTM D698 UNDER FOUNDATIONS, SLABS ON GRADE AND PAVING. FOUNDATION BEARING: APPROVED BY GEOTECHNICAL ENGINEER BEFORE CONCRETE PLACEMENT.

STRUCTURAL FILL

ON-SITE EXCAVATED MATERIAL OR IMPORTED FILL FREE OF ORGANICS, RUBBLE, FILL AND DEBRIS AS DESCRIBED IN GEOTECHNICAL REPORT AND APPROVED BY GEOTECHNICAL ENGINEER.

FOUNDATION BACKFILL

FREE DRAINING GRANULAR MATERIAL. EQUIVALENT FLUID BACK PRESSURE ON FOUNDATION WALLS SHALL NOT EXCEED 45 PSF FOR UNREINFORCED CONCRETE FOUNDATION WALLS. FILL AND COMPACT TEMPORARY HOLES AND EXCAVATION AROUND INTERIOR WALLS, GRADE BEAMS, PIERS, TRENCHES, ON INSIDE OF BUILDING AND EXCAVATION AROUND EXTERIOR FOUNDATION WALLS. VERIFY WATERPROOFING HAS BEEN INSPECTED AND PROTECTED BEFORE BACKFILLING. BACKFILL NOT ALLOWED PRIOR TO INSTALLATION OF EXTERIOR FRAME SUPERSTRUCTURE. BACKFILL IN EVEN LIFTS ON BOTH SIDES OF FOUNDATION WALLS TO PREVENT EXCESSIVE PRESSURE ON ONE SIDE.

FINISH GRADE

CUT AND FILL ALL AREAS TO ELEVATIONS INDICATED. LEAVE GRADED SURFACE CLEAN, FREE FROM RUBBISH AND LARGE CLUMBS AND REASONABLY SMOOTH. DO NOT USE EARTH THAT HAS BEEN RENDERED UNFIT TO RECEIVE PLANTING DUE TO CONCRETE WATER. MORTAR OR LIME WATER DUMPED ON IT AT AREAS TO RECEIVE PLANTINGS.

UNDER SLAB GRAVEL

FREE DRAINING 3/4 INCH TO 1 INCH WASHED. PLACE UNDER SLAB GRAVEL TO THICKNESS INDICATED ON DRAWINGS.

TERMITE CONTROL

"DRAGNET" OR APPROVED EQUIV. APPLIED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATION BELOW SLABS ON GRADE AND AT FOUNDATION PERIMETER OR PROVIDE PHYSICAL BARRIERS SUCH AS PLASTIC OR METAL TERMITES SHIELDS.

PERIMETER DRAIN

PERFORATED NEXT TO FOUNDATION: CORRUGATED POLYETHYLENE TUBING (OR EQUAL INSTALLED ACCORDING TO MANUFACTURERS INSTRUCTIONS). 1/8-INCH SLOTS. LAY DRAIN LINES ON MINIMUM 3 INCH GRAVEL BEDDING TO UNIFORM GRADES AND ALIGNMENT. WITH CONTINUOUS FALL IN DIRECTION OF FLOW WITH MINIMUM SLOPE OF 1/8 INCH PER FOOT. LAY PERFORATED PIPE WITH PERFORATIONS FACING DOWN. THE DRAIN TILE INTO SUMP PUMP OR DAYLIGHT.

GRAVEL FILL

FREE DRAINING 3/4 INCH TO 1 1/2 INCH WASHED GRAVEL AROUND DRAINAGE PIPE INSTALLATION HAS BEEN ACCEPTED. GRAVEL BACKFILL MATERIAL ON EACH SIDE AND TOP OF TILE TO DIMENSIONS INDICATED. MINIMUM 6 INCHES. INSTALL IN MANNER TO PROVIDE FOR THE FREE FLOW OF WATER TO DRAINAGE PIPE.

FILTER FABRIC

GEOTEXTILE FABRIC (OR EQUAL) WITH OPEN SIZE NO LARGER THAN 10 TO US STANDARD FABRIC SIEVE SIZE. PLACE FILTER FABRIC OVER TOP OF GRAVEL FILL. TO PROVIDE CONTINUOUS BARRIER BETWEEN GRAVEL FILL AND OTHER FILL MATERIALS.

3 CONCRETE

CONCRETE

ASTM C84, ASTM C280, ACI 301, ACI 304R, ACI 308R, ACI 318. MAXIMUM 4" SLUMP. PLACEMENT WITH FREE FALL OVER 8' NOT ALLOWED. CONCRETE SHALL BEACH MINIMUM COMPRESSIVE STRENGTH (FC) AS NOTED IN THE TABLE BELOW. ALL CONCRETE TO BE POURED IN ACCORDANCE WITH ACI 301 SPECIFICATIONS. CONCRETE EXPOSED TO WEATHER TO BE AIR ENTRAINED.

(1) CONCRETE IN LOCATIONS WHICH MAY BE SUBJECT TO FREEZING AND THAWING DURING CONSTRUCTION SHALL BE AIR-ENTRAINED CONCRETE IN ACCORDANCE WITH FOOTNOTE 2.
(2) CONCRETE SHALL BE AIR-ENTRAINED. TOTAL AIR CONTENT (PERCENT BY VOLUME OF CONCRETE) SHALL BE 5% MINIMUM & 7% MAXIMUM. CLASS 8 TOLERANCE. 1/4 - 1 INCH AGGREGATE.

USE OF ADITIVES SHALL NOT BE PERMITTED UNLESS SPECIFICALLY APPROVED BY A STRUCTURAL ENGINEER. USE OF ADITIVES CONTAINING CALCIUM CHLORIDE SHALL NOT BE PERMITTED.

CONTROL JOINT

PROVIDE AT TEMPORARY STOPPING OF CONCRETE PLACEMENT.

WELDED WIRE FABRIC

WFF SHALL CONFORM TO ASTM A62 AND ASTM A185. USE 6X6, 1X1X1 MESH. LAY CONTINUOUSLY IN AS LONG LENGTHS AS PRACTICABLE WITH EDGES AND ENDS OVERLAPPING ADJOINING STRIPS A MINIMUM OF ONE FULL MESH. STRIPS PLACED AND SUPPORTED TO CENTER OF CONCRETE FILL PRIOR TO PLACING OF CONCRETE.

FORMWORK

TO BE WELL BRACED, TRUE TO DIMENSION, LEVEL, AND PLUMB. SECURELY FASTEN ANCHOR BOLTS, INSERTS, FORM BLOCK CUTS AND OTHER ITEMS BUILT IN TO FORMWORK.

1. THE FOLLOWING ASSUMPTIONS WERE MADE DURING THE DESIGN OF THIS STRUCTURE. ALL CONDITIONS SHALL BE FIELD VERIFIED.
SOIL BEARING CAPACITY = 2,000 PSF UNDER ALL FOOTINGS AND CONCRETE SLABS

WATERTABLE: MIN. 2'-0" BELOW BOTTOM OF ALL CONC. SLABS AND FOOTINGS
CONC. FOOTINGS, SLABS, AND WALLS SHALL NOT BE PLACED ON OR IN MARINE CLAY, CLAY OR OTHER ORGANIC MATERIALS
IN THE EVENT THAT THESE CONDITIONS CANNOT BE CONFIRMED THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF THE DISCREPANCY AND THE NEED FOR SPECIAL ENGINEERING.

2. THE BOTTOM OF ALL FOOTINGS SHALL EXTEND BELOW THE FROST LINE AS DETERMINED BY THE LOCAL JURISDICTION AT A MIN. 2'-0" BELOW GRADE.

3. ALL BACKFILL UNDER SLABS AND FOOTINGS SHALL BE CLEAN POROUS SOIL. COMPACTED IN 8" LAYERS TO 90% DENSITY AND FREE FROM ORGANIC MATERIAL, TRASH, MUCK OR OTHER DELETERIOUS MATERIALS.

4. ALL CONCRETE SHALL ATTAIN THE FOLLOWING 28 DAY COMPRESSIVE STRENGTHS:
FOUNDATION WALLS, FOOTINGS, PIERS AND INTERIOR SLABS: 3,000 PSI
ALL OTHER SLABS ON GRADE INCLUDING GARAGE SLABS: 3,500 PSI

5. REINFORCING STEEL SHALL CONFORM TO ASTM A618, UNBILLET, UNBILLET, GRADE 60. PROVIDE CLEAR DISTANCE TO OUTERMOST REINFORCING AS FOLLOWS (UNLESS OTHERWISE NOTED):
BEAMS: 2" EXPOSED TO WEATHER
FOOTINGS: 3" (BOTTOM) (WHERE APPLICABLE - SEE ARCHITECTURAL DRAWINGS IF REINFORCING IS REQUIRED)
WALLS: 1 1/2"

PROVIDE CORNER BARS TO MATCH HORIZONTAL REINFORCING IN WALLS (AND FOOTINGS IF APPLICABLE).

6. WELDED WIRE MESH SHALL CONFORM TO ASTM A185, WITH MINIMUM LAPS OF 8"

7. WALLS WITH LATERAL BACKFILL. PRESSURE SHALL BE BRACED OR FLOOR OR ROOF CONSTRUCTION SHALL BE IN PLACE PRIOR TO BACKFILLING.

4 MASONRY

MORTAR
BRICK OR STONE VENEER ON STUDS. USE TYPE N, 750 PSI. BELOW GRADE USE TYPE M, 2500 PSI. COMPLETELY FILL VERTICAL AND HORIZONTAL JOINTS AND VOIDS WITH MORTAR.

FLEXIBLE FLASHING
INSTALL AT HEADS AND SILLS OF ALL OPENINGS. TOP OF SHELF ANGLES SPANDRELS AND OTHER SUPPORTS THAT INTERRUPT OUTLET OR DRAINAGE OF WATER FROM WALLS AND AT OTHER OBSTRUCTIONS TO DOWNWARD FLOW OF WATER WITHIN WALL. EXTEND FLASHING MINIMUM OF 4" INTO MASONRY AT EACH END OF LINTELS AND SHELF ANGLES. TURN UP ENDS A MINIMUM OF 2" TO FORM END DAMS AT OPENINGS. EXTEND FLASHING FROM EXTERIOR FACE THROUGH VENEER AND TURN UP MINIMUM OF 6" AND SECURE AND SEAL TO SHEATHING LAP AND SEAL JOINTS AND SPLICES. SEAL TERMINATION ENDS AND PENETRATIONS.

WEEP HOLES
OPEN HEAD JOINTS. INSTALL AT 24" O.C. IN HEAD JOINTS OR FIRST COURSE TO FULL DEPTH OF OUTER WYTHE ABOVE HOLES SHALL NOT BE CUT THROUGH BEAMS UNLESS INDICATED OR APPROVED BY ENGINEER.

ALL POSTS SHOWN ON THE PLANS SHALL BEAR ON THE FOUNDATION LEVEL FRAMING UNLESS THEY ARE SUPPORTED ON A TRANSFER BEAM.

CONTRACTOR TO BE RESPONSIBLE FOR ALL NOISE ATTENUATION REQUIREMENTS.

RADON SHALL BE CONTROLLED IN ACCORDANCE WITH PROVISIONS OF APPENDIX F OF THE IRC CODE

FOUNDATION ANCHOR BOLTS SHALL BE PROVIDED AT MAXIMUM 6'0" O.C. INTERVALS FOR ONE AND TWO STORY BUILDINGS AND AT 4'0" MAXIMUM FOR TWO OR MORE STORY BUILDINGS. ANCHOR BOLTS SHALL BE MINIMUM 1/2" DIAMETER AND SHALL BE EMBEDDED IN CONCRETE TO A MINIMUM DEPTH OF 8" IF POURED IN PLACE CONCRETE AND NOT LESS THAN 16" IN GROUTED UNTIL MASONRY. ANCHOR BOLTS CAN BE SUBSTITUTED WITH METAL STRAP ANCHORS INSTALLED PER MANUFACTURERS SPECIFICATIONS. ALL BEARING PLATES SHALL BEAR ON MINIMUM 8" DEEP SOLID MASONRY.

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6 WOOD

FRAMING

ERECT FRAMING PLUMB, LEVEL AND TRUE. RIGIDLY ANCHORED IN PLACE. CUT FRAMING SQUARE ON BEARINGS. CLOSELY FIT AND ACCURATELY SET TO REQUIRED LINES AND LEVELS. NAIL OR SPIKE MEMBERS IN ACCORDANCE WITH APPLICABLE CODES. FRAME MEMBERS FOR PASSAGE OF PIPES AND DUCTS TO AVOID CUTTING STRUCTURAL MEMBERS. REPLACE WARED LUMBER IN WALLS AND JOISTS PRIOR TO INSTALLATION OF FINISHED SURFACE. DO NOT CHANGE SIZE, NOTCH, CUT BLOCK OR RELOCATE STRUCTURAL MEMBERS WITHOUT PRIOR ACCEPTANCE OF ARCHITECT. STRUCTURAL VARIATIONS ALLOWED ONLY WHEN SUBSTANTIATED BY ENGINEERING CALCULATIONS STAMPED BY A PROFESSIONAL ENGINEER REGISTERED IN THE JURISDICTION OF THE PROJECT. SUBMIT CALCULATIONS TO ARCHITECT FOR REVIEW PRIOR TO CONSTRUCTION.

PROVIDE FIRSTSTOP TO CUT OFF CONCEALED DRAFT OPENINGS WITH 2X OR 2 LAYERS OF 1X LUMBER WITH BROKEN LAP JOINTS. ACCURATELY FIT BLOCKING TO FIT OPENINGS.

STRESS GRADE LUMBER SHALL BE CLEARLY STAMPED WITH THE LUMBER INSPECTION ASSOCIATION SEAL SHOWING THE STRESS GRADE, ALL FABRICATION, ERECTION AND OTHER PROCEDURES SHALL CONFORM TO THE CURRENT "NATIONAL DESIGN SPECIFICATION FOR STRESS GRADE LUMBER AND ITS FASTENINGS."

MULTIPLE MEMBERS SHALL BE FASTENED TOGETHER WITH 16d NAILS @ 12" o.c. AS FOLLOWS:
1. TO 2 DEEP ONE ROW STAGGERED
2. TO 2 TO 12 TWO ROWS
3. GREATER THAN 12" DEEP THREE ROWS

ALL RAFTERS SHALL BE CONNECTED AT BEARING POINTS WITH ONE PREFABRICATED GALVANIZED METAL CONNECTOR. MINIMUM 18 GA. WITH CAPACITY TO RESIST 400# LOADS UNLESS SHOWN OTHERWISE ON DRAWINGS.

PROVIDE ROOF TRUSS AND GIRDER TRUSS ANCHORS CAPABLE OF WITHSTANDING THE UPLIFT LOADS PROVIDED BY THE TRUSS MANUFACTURER. MINIMUM ANCHORS SHALL BE: SIMPSON 1/2S @ 4'-0" o.c. AND SIMPSON H6 @ TOP PLATE AND WALL STUD @ 4'-0" o.c.

PROVIDE SIMPSON 18 GAGE, MIST LIGHT GAGE STRAPS (OR EQUIVALENT) ON GIRDER TRUSS POSTS AT THE SECOND FLOOR LEVEL WITH UPLIFT LOADS GREATER THAN 500 LBS. THE LIGHT GAGE STRAPS NEED TO BE CAPABLE OF WITHSTANDING THE UPLIFT LOADS PROVIDED BY THE TRUSS MANUFACTURER.

JOISTS SHALL BE PER DEPTH AND SPACING SHOWN ON DRAWINGS. SUPPLIER SHALL CONFIRM THAT MEMBERS PROVIDED CONFORM TO THE SPECIFICATIONS HERE-IN. TRUSSES, TRUSS JOISTS AND FLOOR JOISTS SHALL ALIGN DIRECTLY OVER STUDS WITH AN OFFSET OF NO MORE THAN ONE INCH. INSTALL ADDITIONAL STUDS AS REQUIRED.

WHERE JOISTS ARE PARALLEL TO EXTERIOR WALL, PROVIDE SILL BLOCKING AT 4'-0" O.C. BETWEEN RIM JOIST AND FIRST PARALLEL JOIST.

MANUFACTURED WOOD FLOOR AND ROOF TRUSSES SHALL BE DESIGNED AND FABRICATED BY THE TRUSS MANUFACTURER AND SHALL COMPLY AND BE INSTALLED IN ACCORDANCE WITH THE NATIONAL DESIGN SPECIFICATIONS AND ALL APPLICABLE BUILDING CODES.

ROOF AND FLOOR TRUSSES, ALL BRIDGING AND ANCHOR LATERAL BRACING REQUIRED FOR STRUCTURAL STABILITY. ROOF TRUSS SYSTEM IS TO BE DESIGNED BY MANUFACTURERS DRAWINGS. SUBMIT SHOP DRAWINGS AND CALCULATIONS SEALED BY A REGISTERED PROFESSIONAL ENGINEER TO THE JURISDICTIONAL PLAN REVIEWER AS REQUIRED BY GOVERNMENT AUTHORITY.

WOOD FLOOR TRUSSES TO HAVE MINIMUM BEARING AS PER MANUFACTURERS RECOMMENDATIONS.

PREFABRICATED MEMBERS SHALL BE INSTALLED AND BRACED PER MANUFACTURERS RECOMMENDATION. MEMBERS SHALL NOT BE CUT OR DRILLED UNLESS SO AUTHORIZED BY THE MANUFACTURER OR PER MANUFACTURERS SCHEDULE.

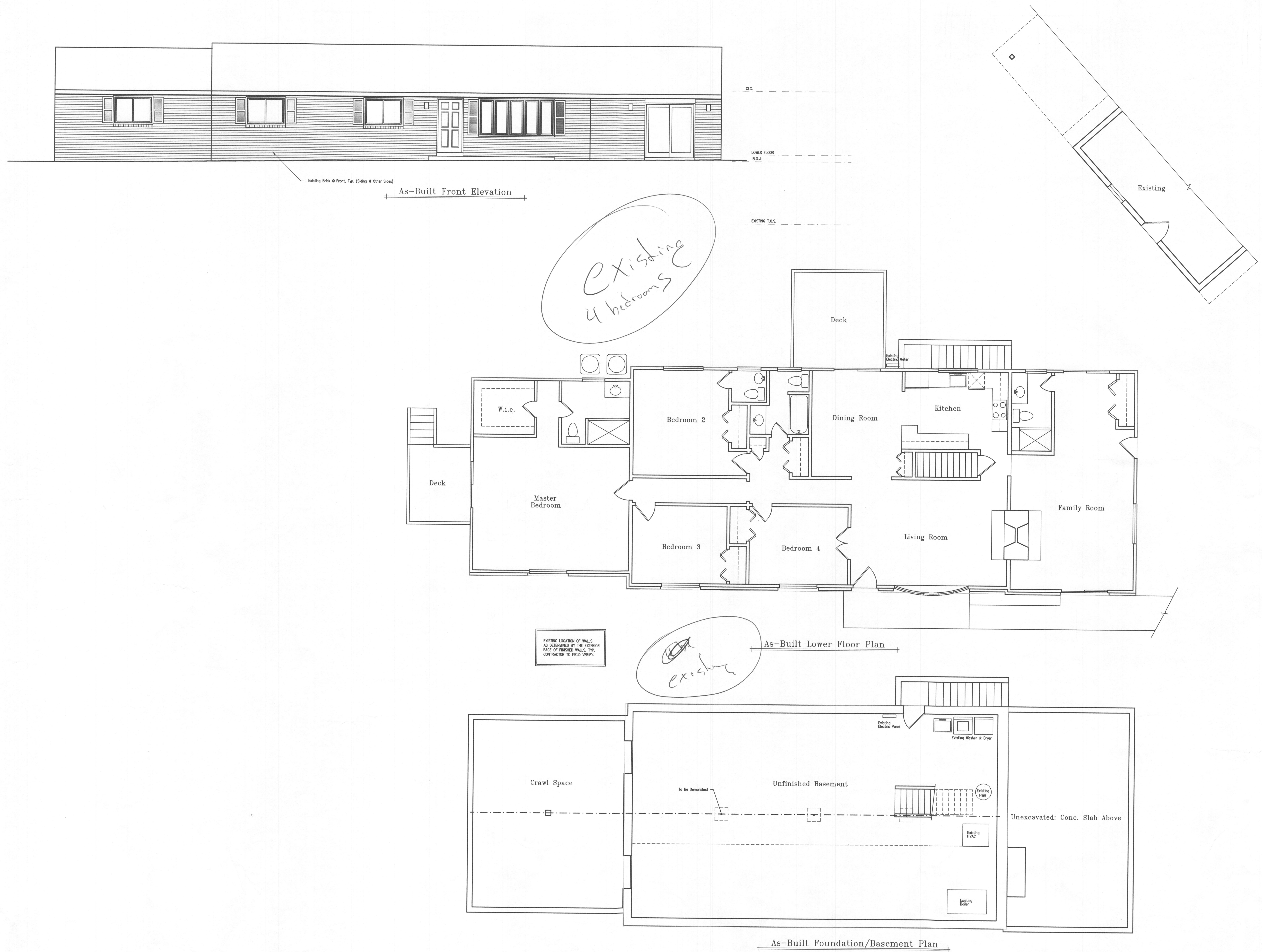
PREFAB JOISTS AND BEAM HANGERS SHALL BE SIZED AND ATTACHED PER MANUFACTURERS RECOMMENDATIONS. HOLES THROUGH MANUFACTURED WOOD TRUSSES SHALL NOT EXCEED MANUFACTURERS RECOMMENDATIONS. NO CUTS OR HOLES ARE ALLOWED IN THE TOP OR BOTTOM CHORD.

INSTALL TEMPORARY AND PERMANENT BRACING AND BRIDGING FOR FLOOR AND ROOF TRUSSES IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS AS SPECIFIED ON SHOP DRAWINGS AND IN ACCORDANCE WITH THIS RECOMMENDATIONS AND LOCAL CODE REQUIREMENTS.

ROUGH HARDWARE
PROVIDE NECESSARY BOLTS, SCREWS, CLIPS, NAILS, PLATES, STRAPS, HANGERS, ETC NECESSARY FOR COMPLETION OF WORK. PROVIDE PROPER SIZE AND STRENGTH FOR PURPOSE INTENDED CONFORMING TO DRAWINGS AND APPLICABLE CODES. EXTERIOR LOCATIONS USE GALVANIZED MATERIAL.

SILL SEAL
FIBERGLASS INSULATION OR POLYSTYRENE INSULATION, SET WOOD SILL PLATES ON CONCRETE ON SILL SEAL INSULATION AT A MIN. 2'-0" BELOW GRADE.

ALL EXTERIOR WOOD FRAMEWORK SUPPORTED ON APPROVED FOUNDATION WALLS SHALL BE MINIMUM 8" ABOVE FINISHED GRADE.



DATE:
3/24/16
4/8/16
4/28/16
5/19/16
6/19/16

RENOVATION, UPPER FLOOR ADDITION, REAR ADDITION

11857 SCAGGSVILLE ROAD
FULTON, MARYLAND 20759

Professional Certification: I certify that these documents were prepared or approved by me, Tania L. Bruno, Architect, License Number 15521, expiration date 08-31-2016.

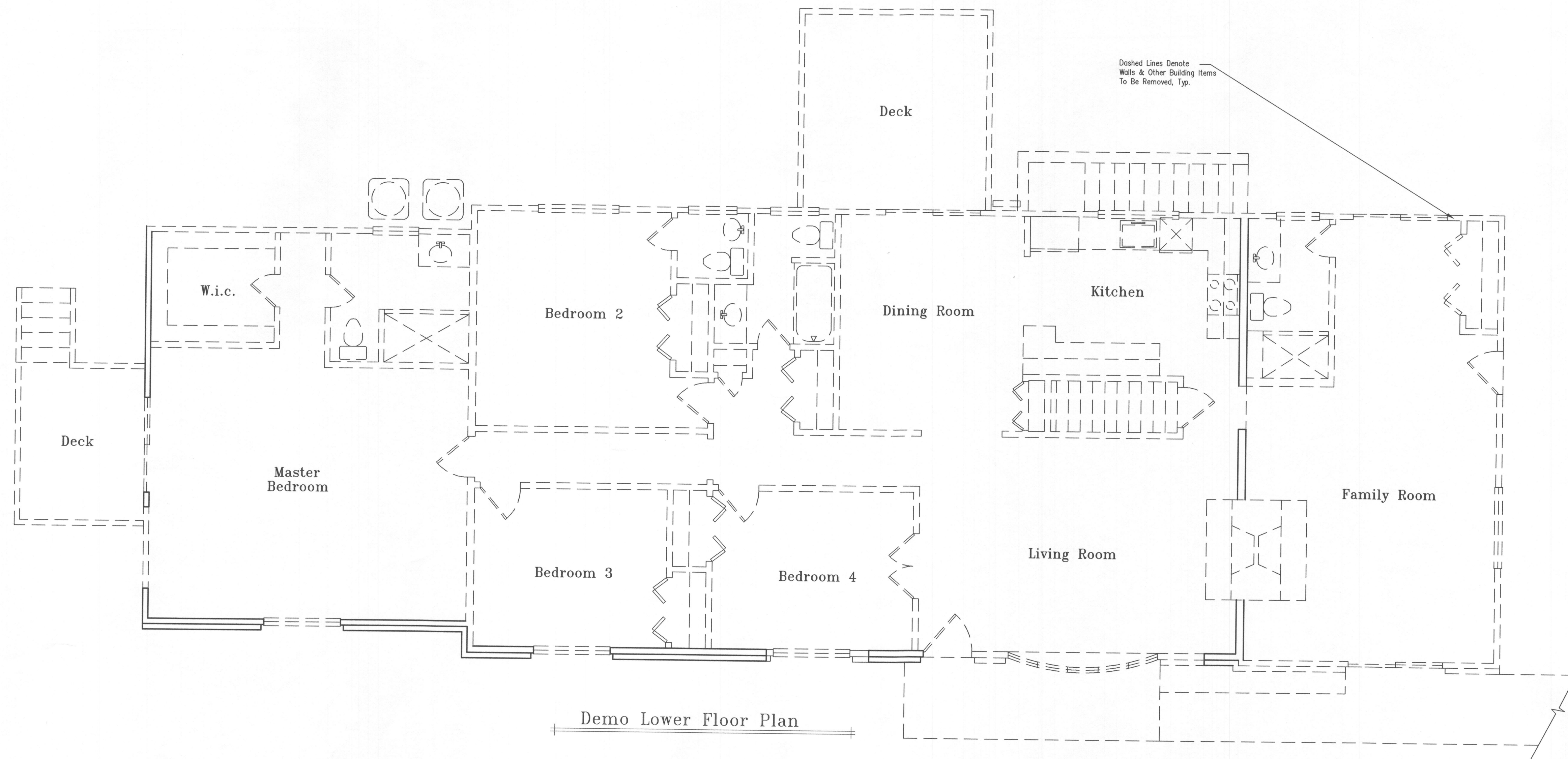
SEAL: ARCHITECT
TANIA L. BRUNO
STATE OF MARYLAND

Tania L. Bruno

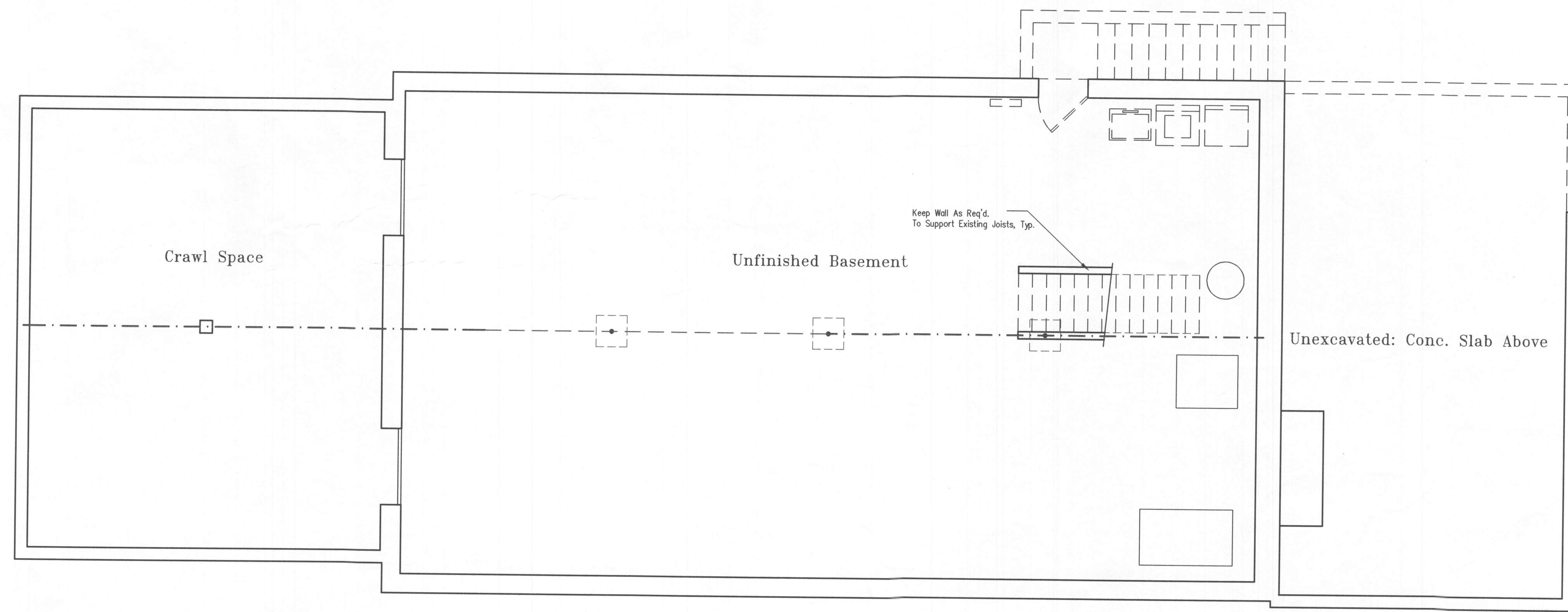
QUIET STREAM ARCHITECTURE LLC
TANIA L. BRUNO, ARCHITECT
8808 QUIET STREAM CT.
POTOMAC, MARYLAND 20854
301-213-2520

8808 QUIET STREAM CT.
POTOMAC, MARYLAND 20854
301-213-2520

SHEET NUMBER:
AB



Demo Lower Floor Plan



Demo Foundation/Basement Plan

DRAWING SCALE : 1/4"=1'-0"

Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 19521, expiration date 08-31-2016.



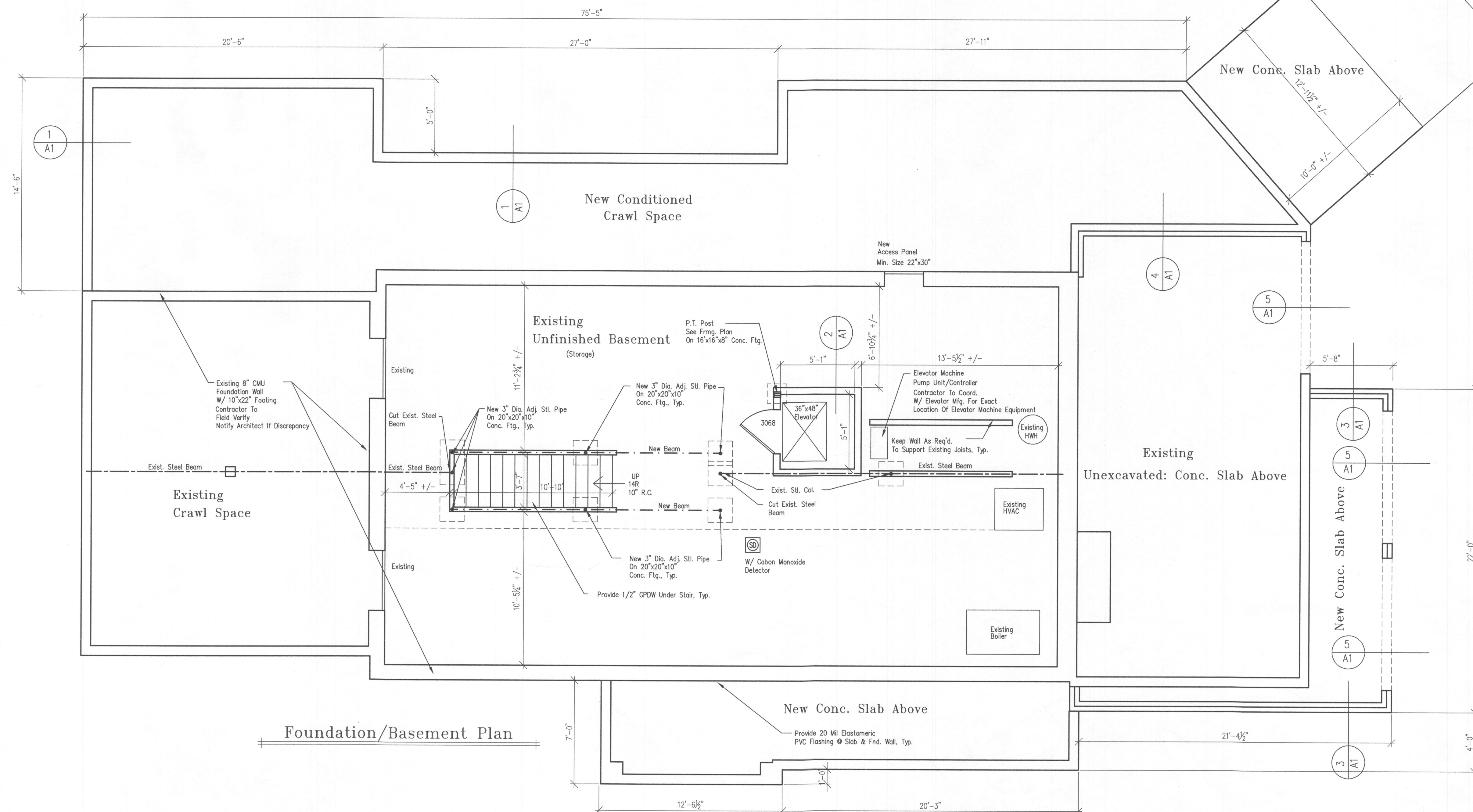
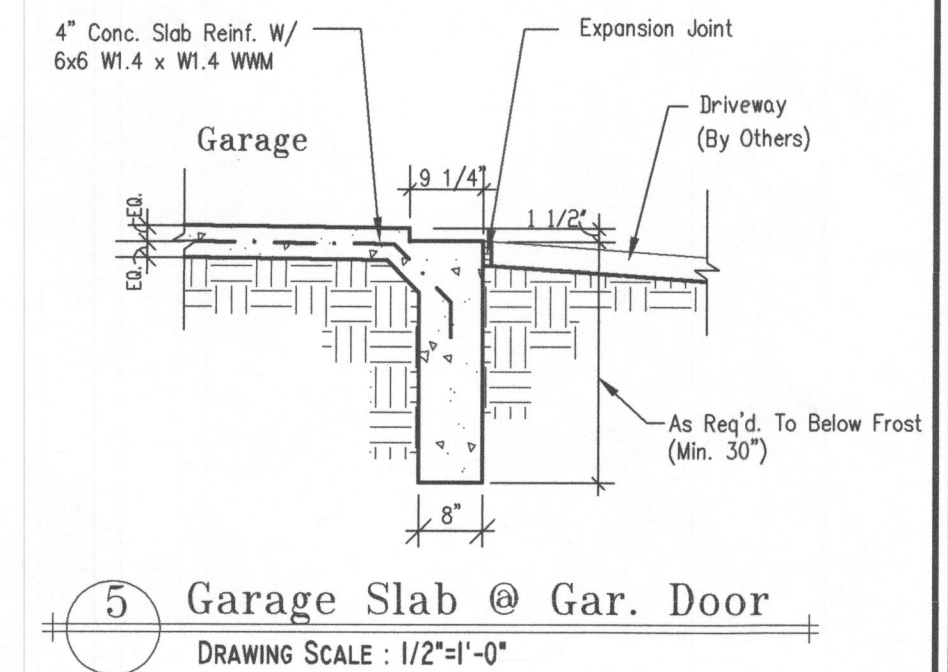
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TANIA L. BRUNO, ARCHITECT
 8808 QUIET STREAM CT.
 POTOMAC, MARYLAND 20854
 301-213-2520

SHEET NUMBER:
DEMO

RENOVATION, UPPER FLOOR ADDITION, REAR ADDITION

11857 SCAGGSVILLE ROAD
 FULTON, MARYLAND 20759

DATE:
 3/24/16
 4/8/16
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 5/19/16
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DATE:
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RENOVATION, UPPER FLOOR ADDITION, REAR ADDITION

11857 SCAGGSVILLE ROAD
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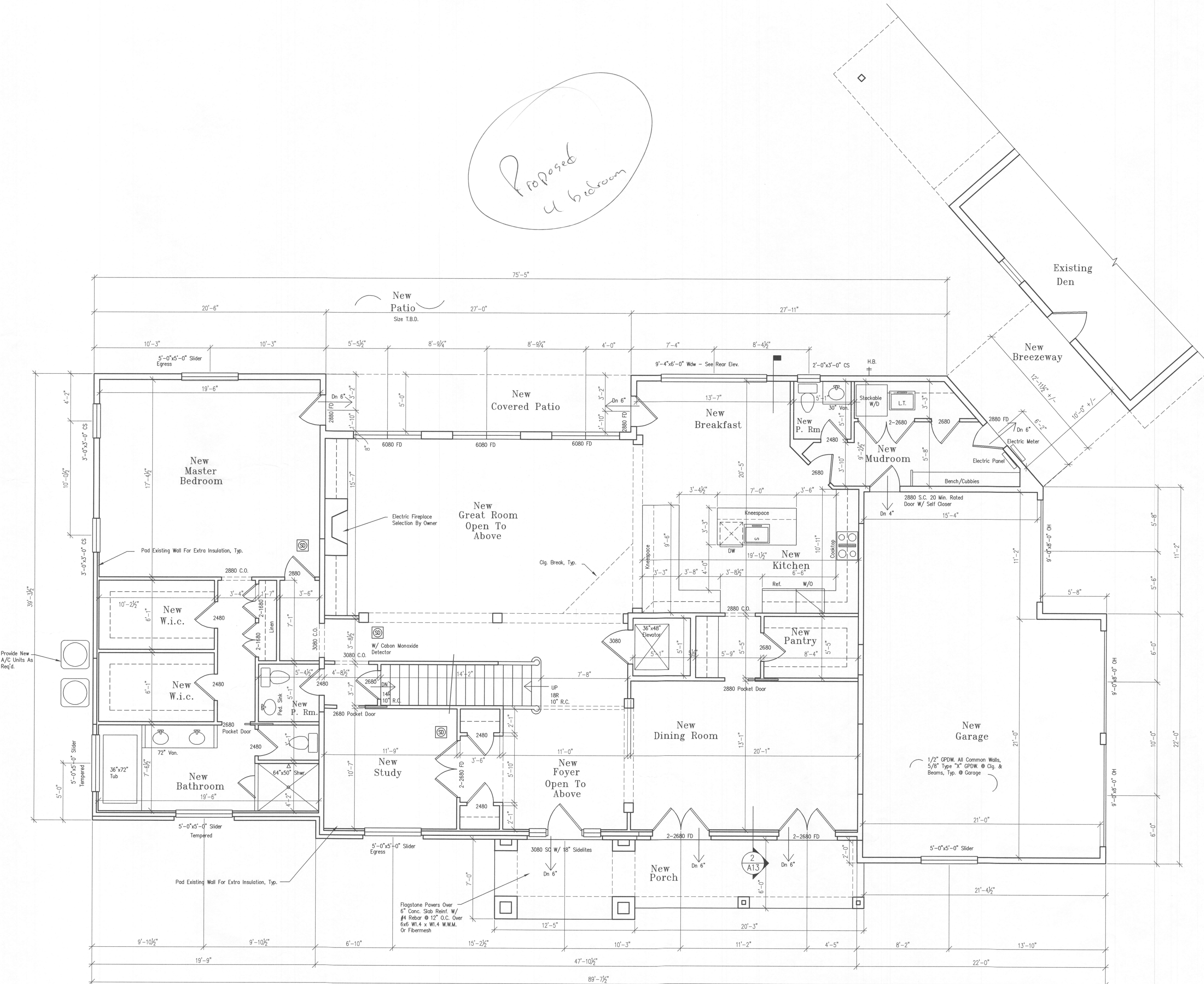
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8808 QUIET STREAM CT.
POTOMAC, MARYLAND 20854
301-213-2520

SHEET NUMBER:

A-I

DRAWING SCALE : 1/4"=1'-0"



General Plan Notes:

See Elevations For New Wdw.
Head Height/Sill Height.

New Egress Windows:
Verify W/ Mfg. To Meet Or Exceed
Min. Egress Opg. Req.
Egress: 5.7 S.F., Min. Net Clear Opg. Area
Min. Net Clear Opg. Width: 20"
Min. Net Clear Opg. Height = 24"
Wdw. Opening @ Max. 44" Above Floor

Final Layout & Selection Of Kit.
Cabinets, Countertops, Appliances
Sinks, Fixtures, Island, & Any Other
Appurtenances To Be Det. By Kit.
Designer & Approved By Owner

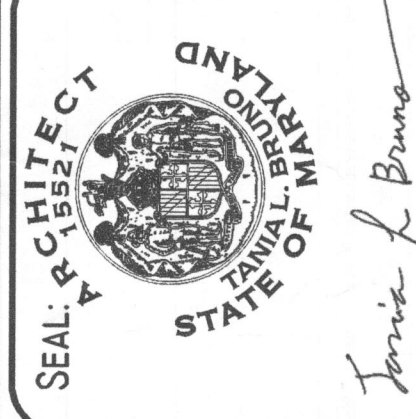
Final Selection Of Mfg. &
Color Of Doors & Wdws.
To Be Approved.
By Owner, Typ.
Contractor To Coord.
Rough Opg. Requirements
W/ Selected Wdw./Door Mfg. Shop Dwg.

Final Selection Of Van., Appliances,
Fixtures, Medicine Cabinets, & Other
Bathroom Accessories To Be Approved
By Owner. Contractor To Coord. W/ Owner
Contractor To Provide Blocking
For Bathroom Accessories Such
As Towel Bars & Toilet Paper
Holder. Coord. W/ Owner For
Exact Locations

Contractor To Coord. Selection Of All New
Finish Materials W/ Homeowner, Typ.

ELECTRICAL BY OTHERS

QUIET STREAM ARCHITECTURE LLC
TANIA L. BRUNO, ARCHITECT
8808 QUIET STREAM CT.
POTOMAC, MARYLAND 20854
301-213-2520



RENOVATION, UPPER FLOOR ADDITION, REAR ADDITION
11857 SCAGGSVILLE ROAD
FULTON, MARYLAND 20759

DATE:
3/24/16
4/8/16
4/28/16
5/19/16
6/19/16

SHEET NUMBER:
A-2

DRAWING SCALE : 1/4"=1'-0"

SEE DEMO PLAN FOR PORTIONS
OF WALL TO BE DEMOLISHED OR TO REMAIN

Proposed 4 bedroom

General Plan Notes:

See Elevations For New Wdw.
Head Height/Sill Hght.

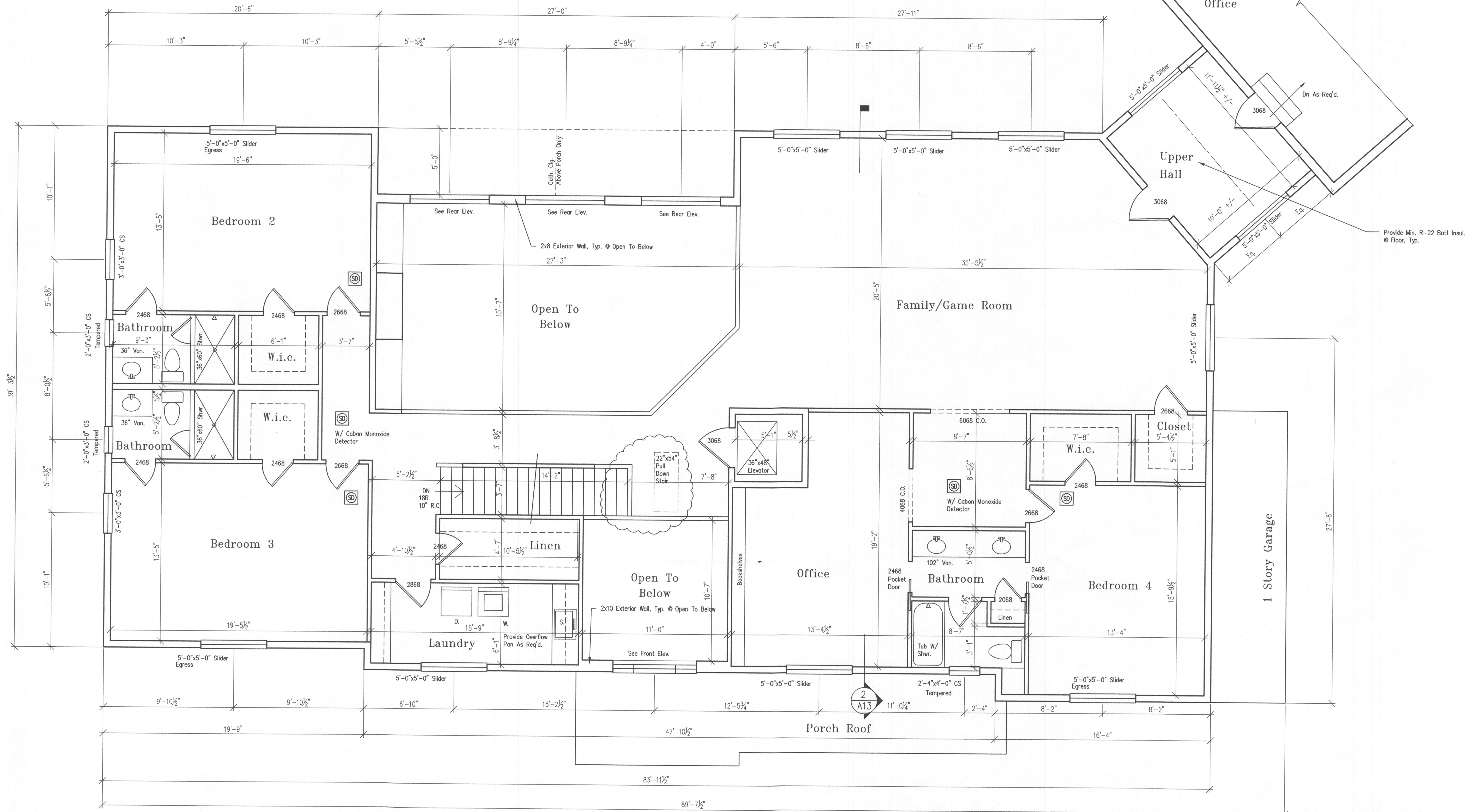
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Wdw. Opening @ Max. 44" Above Floor

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To Be Approved.
By Owner, Typ.
Contractor To Coord.
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Bathroom Accessories To Be Approved
By Owner. Contractor To Coord. W/ Owner
Contractor To Provide Blocking
For Bathroom Accessories Such
As: Towel Bars & Toilet Paper
Holder. Coord. W/ Owner For
Exact Locations

Contractor To Coord. Selection Of All New
Finish Materials W/ Homeowner, Typ.

ELECTRICAL BY OTHERS

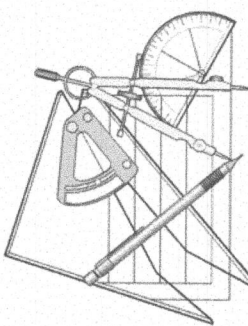


Upper Floor Plan

ALL NEW

Professional Certification: I certify that these documents were prepared or approved by me.
I am a duly Licensed Architect in the State of Maryland.
License Number: 15527, Expiration Date: 06-30-2026.

SEAL: ARCHITECT
TANIA L. BRUNO, ARCHITECT
STATE OF MARYLAND



QUIET STREAM ARCHITECTURE LLC
TANIA L. BRUNO, ARCHITECT
8808 QUIET STREAM CT.
POTOMAC, MARYLAND 20854
301-213-2520

SHEET NUMBER:

A-3

RENOVATION, UPPER FLOOR ADDITION, REAR ADDITION

11857 SCAGSVILLE ROAD
FULTON, MARYLAND 20759

DATE:
3/24/16
4/8/16
4/28/16
5/19/16
6/19/16
7/1/16

DRAWING SCALE : 1/4"=1'-0"



Front Elevation

Note: See All Elevations For Applicable Notations, Typ.

Note: Contractor To Match
All New Exterior Mat. & Color
W/ Existing Where Applicable, Typ.
Coord. W/ Owner For Final
Approval

Professional Certification: I certify that these documents were prepared or approved by me,
and that I am a duly licensed architect under the laws of the State of Maryland,
license number 15527, expiration date 03/31/2020.



QUIET STREAM ARCHITECTURE LLC
TANIA L. BRUNO, ARCHITECT
8808 QUIET STREAM CT.
POTOMAC, MARYLAND 20854
301-213-2520

SHEET NUMBER:
A-5

RENOVATION, UPPER FLOOR ADDITION, REAR ADDITION
11857 SCAGGSVILLE ROAD
FULTON, MARYLAND 20759

DATE:
3/24/16
4/8/16
4/28/16
5/19/16
6/19/16

DRAWING SCALE : 1/4"=1'-0"

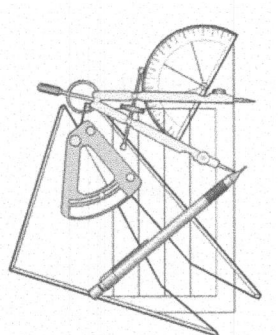


Rear Elevation

Note: See All Elevations For Applicable Notations, Typ.

Professional Certification: I certify that these documents were prepared or approved by me, license number 15251, expiration date 08-31-2016.

QUIET STREAM ARCHITECTURE LLC
TANIA L. BRUNO, ARCHITECT



8808 QUIET STREAM CT.
POTOMAC, MARYLAND 20854
301-213-2520

RENOVATION, UPPER FLOOR ADDITION, REAR ADDITION

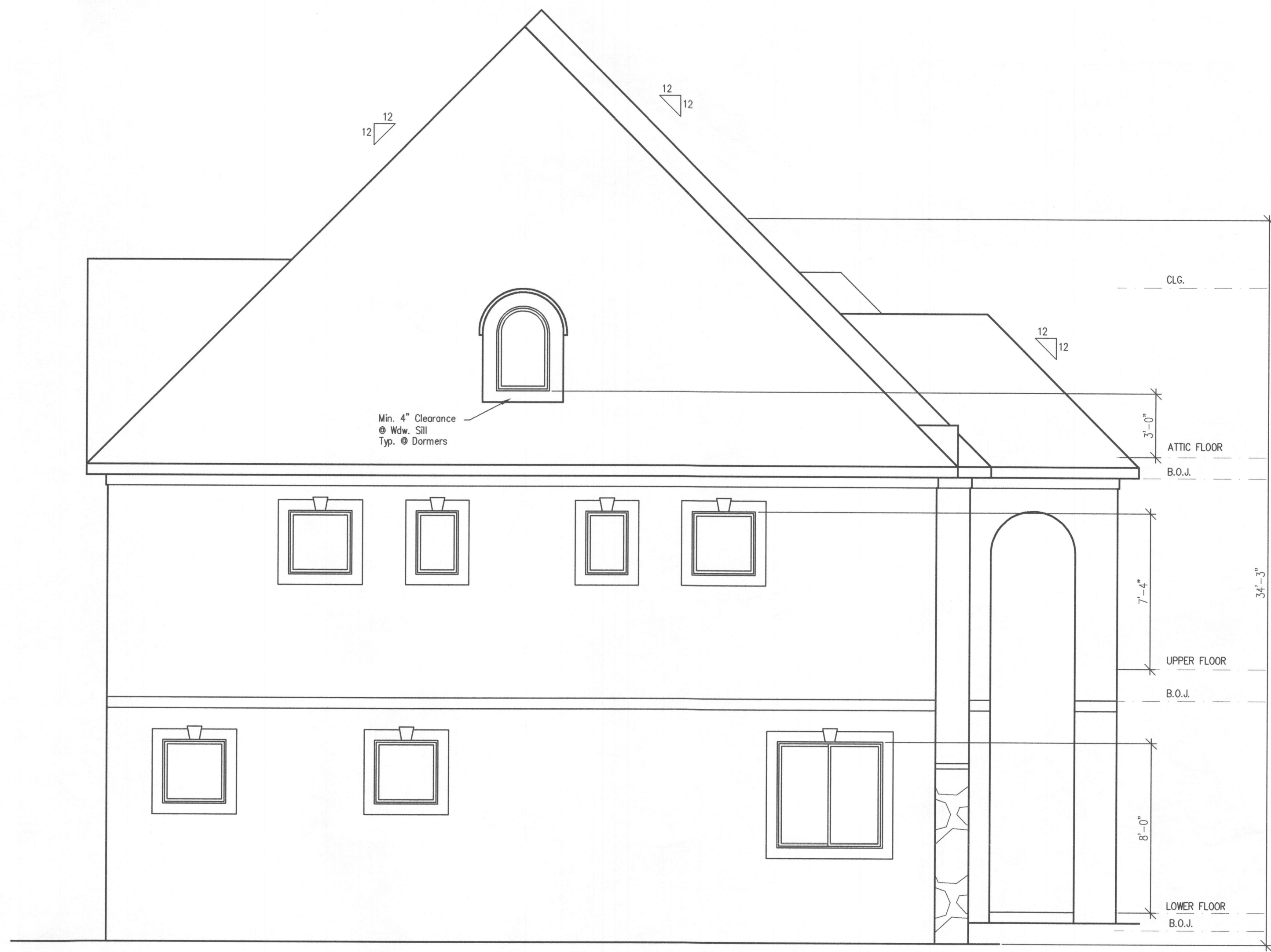
11857 SCAGGSVILLE ROAD
FULTON, MARYLAND 20759

DATE:
3/24/16
4/8/16
4/28/16
5/19/16
6/19/16

SHEET NUMBER:

A-6

DRAWING SCALE : 1/4"=1'-0"



Left Side Elevation

Note: See All Elevations For Applicable Notations, Typ.



Right Side Elevation

Note: See All Elevations For Applicable Notations, Typ.



Bridge Elevation

Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 13521, expiration date 06-31-2016.

SEAL: R. 15521
TANIA L. BRUNO
ARCHITECT
STATE OF MARYLAND

QUIET STREAM ARCHITECTURE LLC
TANIA L. BRUNO, ARCHITECT

8808 QUIET STREAM CT.
POTOMAC, MARYLAND 20854
301-213-2520

SHEET NUMBER:

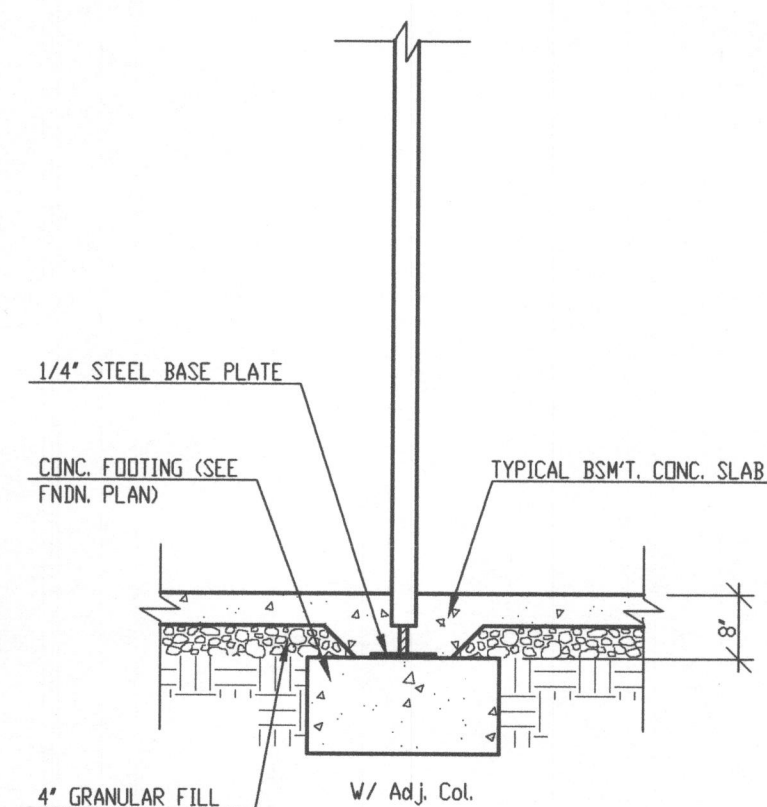
A-7

RENOVATION, UPPER FLOOR ADDITION, REAR ADDITION

11857 SCAGGSVILLE ROAD
FULTON, MARYLAND 20759

DATE:
3/24/16
4/8/16
4/28/16
5/19/16
6/19/16

DRAWING SCALE : 1/4"=1'-0"

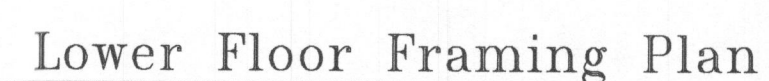


DRAWING SCALE : 1/2"=1'-0"

THE FOLLOWING ARE APPROVED 11 GAUGE ADJUSTABLE
STEEL COLUMNS FOR USE AS SPECIFIED AS
" ADJ. STL. COL. " IN THESE CONSTRUCTION DRAWINGS:

- 1) TAPCO - MONOPOST
BOCA RESEARCH REPORT #98-60
- 2) AFCO - "ZIP IT'S UP"
BOCA RESEARCH REPORT #21-31
- 3) CARDINAL - TEL-O-POST
BOCA RESEARCH REPORT #2128

NOTE: REPORT NUMBERS LISTED REFER TO BOCA
EVALUATION SERVICES, INC. RESEARCH REPORTS.



Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 15521, expiration date 08-31-2016.

DATE:
3/24/16
4/8/16
4/28/16
5/19/16
6/19/16

RENOVATION, UPPER FLOOR ADDITION, REAR ADDITION

11857 SCAGGSVILLE ROAD
FULTON, MARYLAND 20759



Terrie L. Bruno

QUIET STREAM ARCHITECTURE LLC

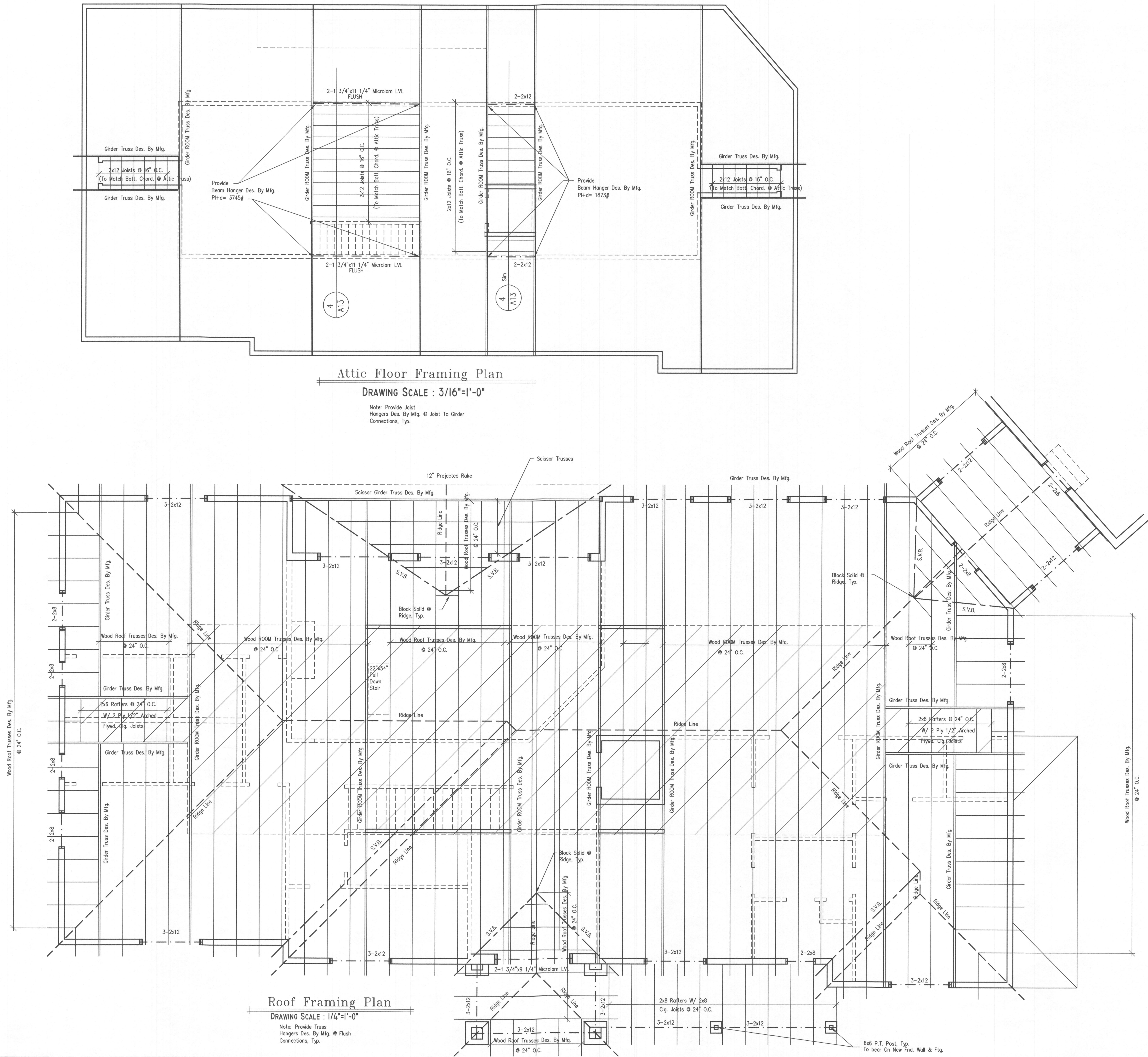
TANIA L. BRUNO, ARCHITECT

8808 QUIET STREAM CT.
POTOMAC, MARYLAND 20854
301-213-2520

SHEET NUMBER:

A-8

DRAWING SCALE : 1/4"=1'-0"



Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 10271, expiration date 08-31-2018.

QUIET STREAM ARCHITECTURE LLC

TANIA L. BRUNO, ARCHITECT

8808 QUIET STREAM CT.
POTOMAC, MARYLAND 20854
301-213-2520

SEAL OF ARCHITECT

STATE OF MARYLAND

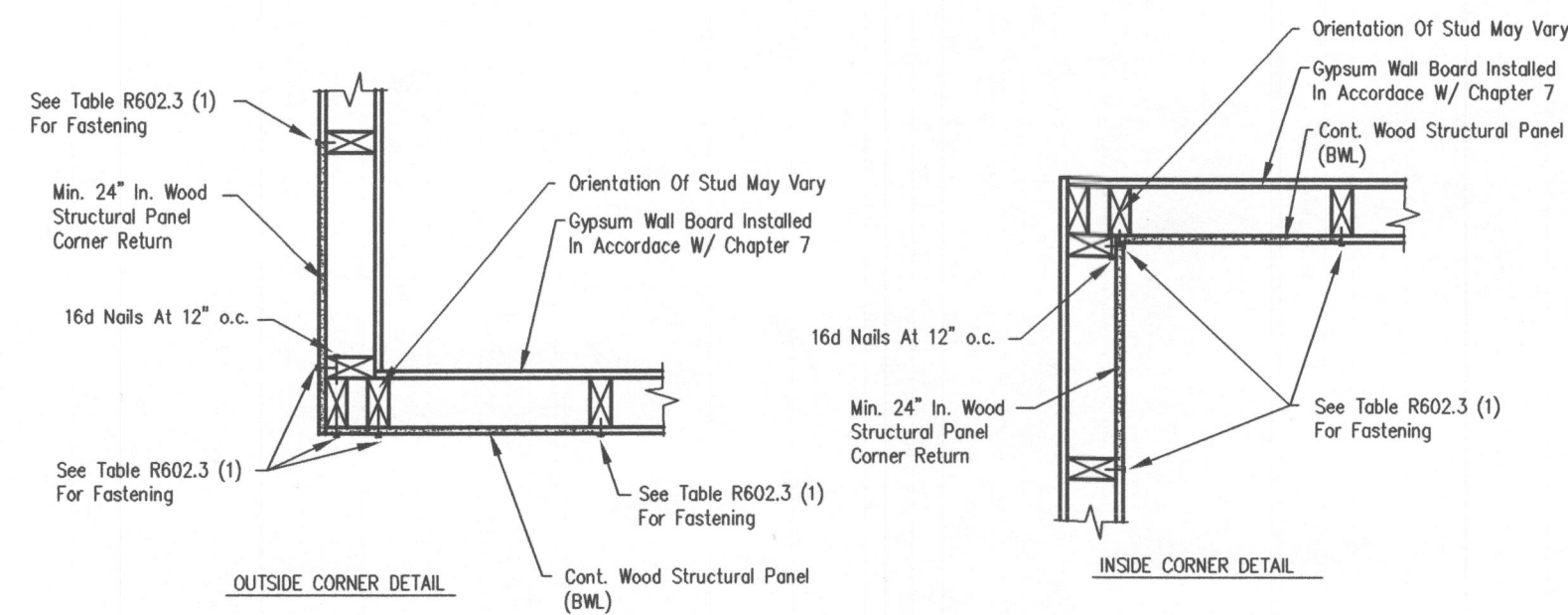
Tania L. Bruno

RENOVATION, UPPER FLOOR ADDITION, REAR ADDITION

11857 SCAGGSVILLE ROAD
FULTON, MARYLAND 20759

SHEET NUMBER:
A-10

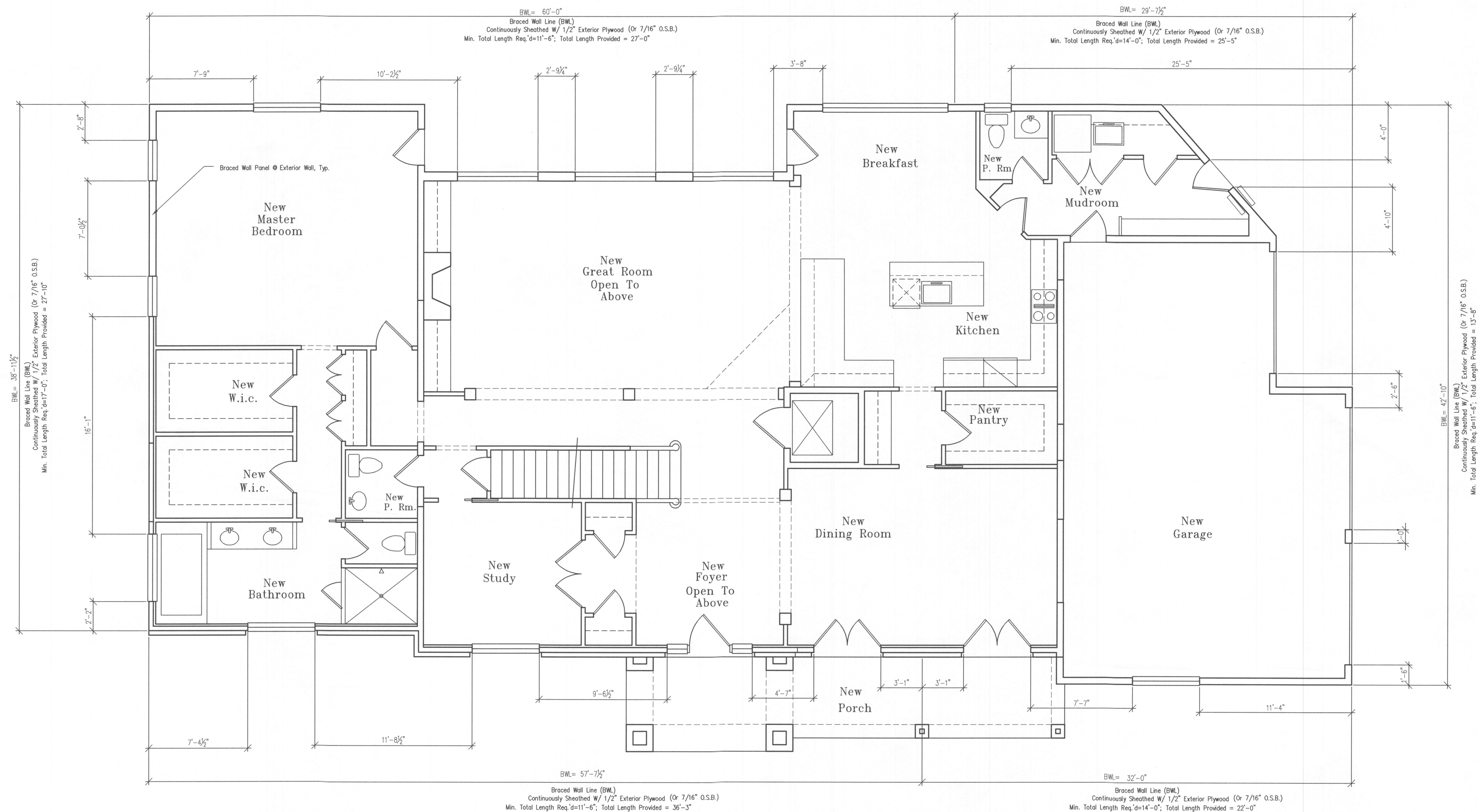
DATE:
3/24/16
4/8/16
4/28/16
5/19/16
6/19/16



Typ. Exterior Corner Framing N.T.S.
For Cont. Structural Panel Sheathing (CS-WSP)

R602.10.8 Braced wall panel connections. Braced wall panels shall be connected to floor framing or foundations as follows:

- Where joists are perpendicular to a braced wall panel above or below, a rim joist, band joist or blocking shall be provided along the entire length of the braced wall panel in accordance with Figure R602.10.8(1). Fastening of top and bottom wall plates to framing, rim joist, band joist and/or blocking shall be in accordance with Table R602.3(1).
- Where joists are parallel to a braced wall panel above or below, a rim joist, end joist or other parallel framing member shall be provided directly above and below the braced wall panel in accordance with Figure R602.10.8(2). Where a parallel framing member cannot be located directly above and below the panel, full-depth blocking at 16 inch (406 mm) spacing shall be provided between the parallel framing members to each side of the braced wall panel in accordance with Figure R602.10.8(2). Fastening of blocking and wall plates shall be in accordance with Table R602.3(1) and Figure R602.10.8(2).



Lower Floor Braced Wall Panel Locations

Method: Cont. Structural Panel Sheathing (CS-WSP)

Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. License number: 10521, expiration date: 09-31-2016.

SEAL OF ARCHITECT
TANIA L. BRUNO

QUIET STREAM ARCHITECTURE LLC
TANIA L. BRUNO, ARCHITECT

8808 QUIET STREAM CT.
POTOMAC, MARYLAND 20854
301-213-2520

SHEET NUMBER:

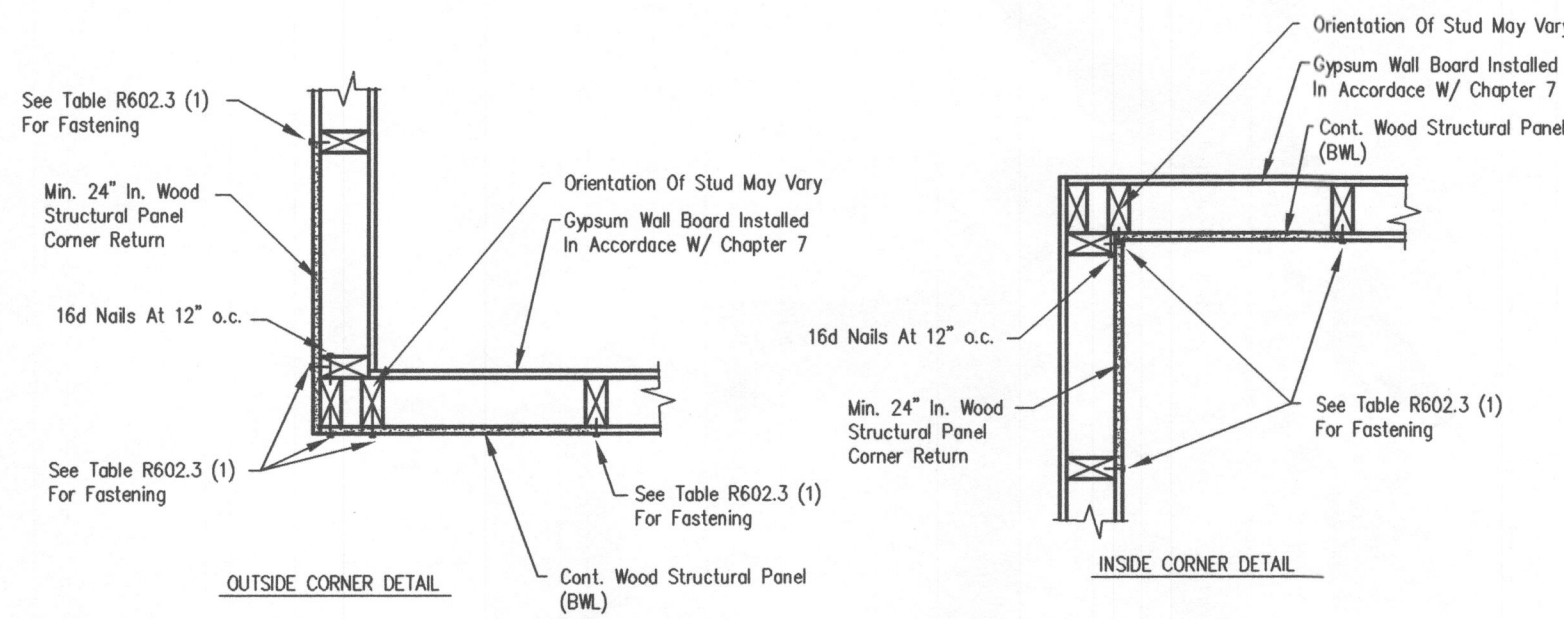
A-II

RENOVATION, UPPER FLOOR ADDITION, REAR ADDITION

11857 SCAGGSVILLE ROAD
FULTON, MARYLAND 20759

DATE:
3/24/16
4/8/16
4/28/16
5/19/16
6/19/16

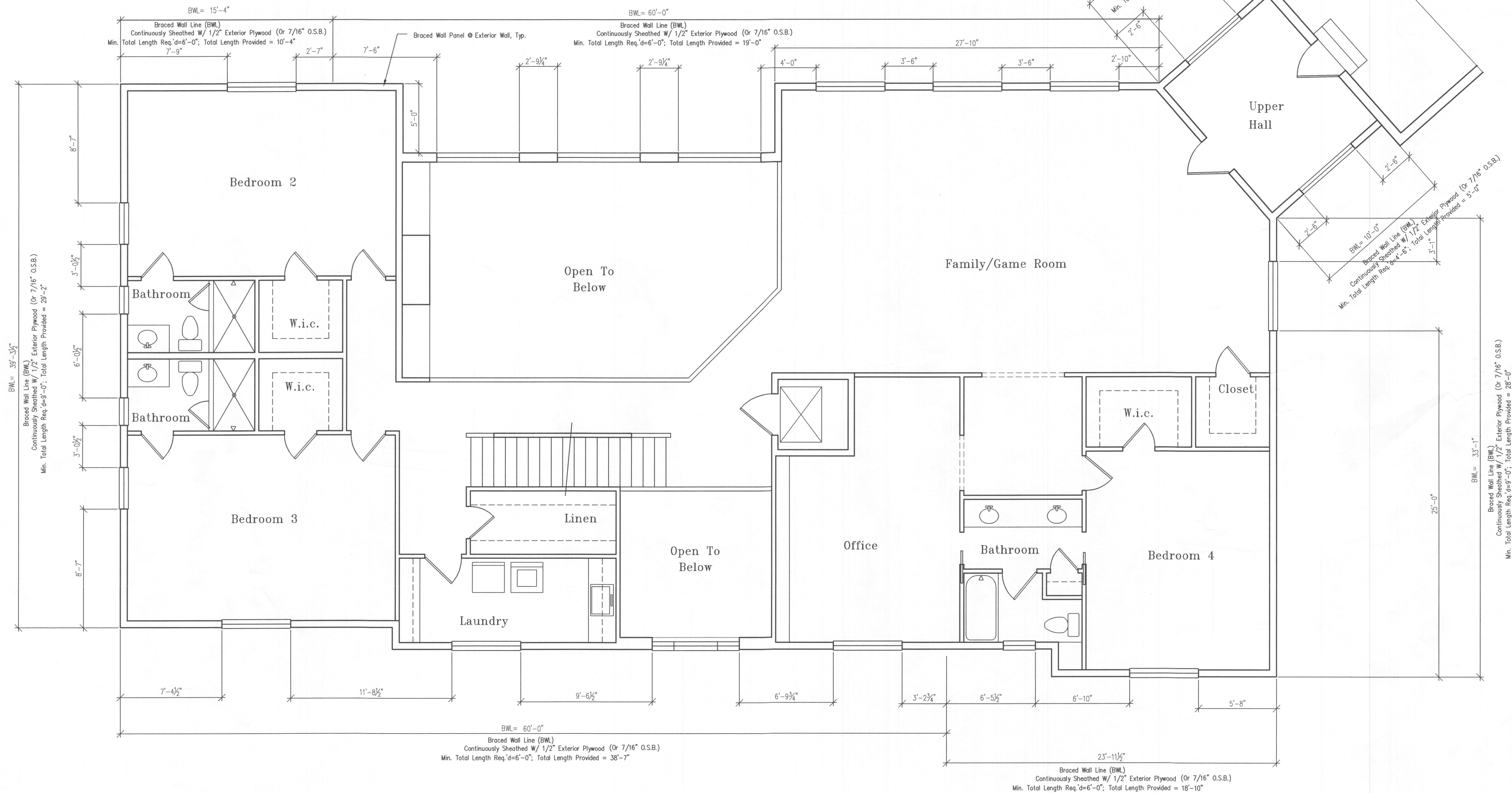
DRAWING SCALE : 1/4"=1'-0"



Typ. Exterior Corner Framing N.T.S.
For Cont. Structural Panel Sheathing (CS-WSP)

R602.10.8 Braced wall panel connections. Braced wall panels shall be connected to floor framing or foundations as follows:

- Where joists are perpendicular to a braced wall panel above or below, a rim joist, band joist or blocking shall be provided along the entire length of the braced wall panel in accordance with Figure R602.10.8(1). Fastening of top and bottom wall plates to framing, rim joist, band joist and/or blocking shall be in accordance with Table R602.3(1).
- Where joists are parallel to a braced wall panel above or below, a rim joist, end joist or other parallel framing member shall be provided directly above and below the braced wall panel in accordance with Figure R602.10.8(2). Where a parallel framing member cannot be located directly above and below the panel, full-depth blocking at 16 inch (406 mm) spacing shall be provided between the parallel framing members to each side of the braced wall panel in accordance with Figure R602.10.8(2). Fastening of blocking and wall plates shall be in accordance with Table R602.3(1) and Figure R602.10.8(2).



Upper Floor Braced Wall Panel Locations

Method: Cont. Structural Panel Sheathing (CS-WSP)

Professional Certification: I certify that these documents were prepared or prepared by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 10521, expiration date 09-31-2016.

QUIET STREAM ARCHITECTURE LLC
TANIA L. BRUNO, ARCHITECT

8808 QUIET STREAM CT.
POTOMAC, MARYLAND 20854
301-213-2520

SEAL: ARCHITECT
TANIA L. BRUNO
STATE OF MARYLAND

Professional Seal of Tania L. Bruno, Architect, State of Maryland, License No. 10521.

RENOVATION, UPPER FLOOR ADDITION, REAR ADDITION

11857 SCAGGSVILLE ROAD
FULTON, MARYLAND 20759

DATE:
3/24/16
4/8/16
4/28/16
5/19/16
6/19/16

SHEET NUMBER:

A-12

DRAWING SCALE : 1/4"=1'-0"