



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: B16002146

Building Address: 10415 QUEENSWAY DRIVE
City: ELLICOTT CITY State: MD Zip Code: 21042
Suite/Apt. #: _____ SDP/WP/BA #: _____
Census Tract: _____ Subdivision: _____
Section: _____ Area: _____ Lot: _____
Tax Map: _____ Parcel: _____ Grid: _____
Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: SINGLE FAMILY HOME
Proposed Use: SAME WITH POOL HOUSE ADDITION
Estimated Construction Cost: \$ 52000.00
Description of Work: POOL HOUSE ADDITION -
DETACHED 1828 SF
SEE ATTACHED DESIGN/CONSTRUCTION
Occupant or Tenant: NANCY & TOM GIANNPOULOS
Was tenant space previously occupied? ☐ Yes ☒ No
Contact Name: NANCY & TOM GIANNPOULOS
Address: 10415 QUEENSWAY DRIVE
City: ELLICOTT CITY State: MD Zip Code: 21042
Phone: 410-287-8732 Fax: _____
Email: NANCY.GIANNPOULOS@COMCAST.NET

Property Owner's Name: NANCY & TOM GIANNPOULOS
Address: 10415 QUEENSWAY DRIVE
City: ELLICOTT CITY State: MD Zip Code: 21042
Phone: 410-287-8732 Fax: SAME
Email: NANCY.GIANNPOULOS@COMCAST.NET

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: NANCY & TOM GIANNPOULOS
Address: 10415 QUEENSWAY DRIVE
City: ELLICOTT CITY State: MD Zip Code: 21042
Phone: 410-287-8732 Fax: 410-287-8732
Email: NANCY.GIANNPOULOS@COMCAST.NET

Contractor Company: CONSTRUCTION REMEDIATION
Contact Person: WALTER CASSANTINO
Address: 8775 LEBANON PIKE DRIVE 159
City: COLUMBIA State: MD Zip Code: 21045
License No.: 08010016414
Phone: 410-771-3731 Fax: 410-972-3763
Email: WALTER.CASSANTINO@THAUS.COM

Engineer/Architect Company: AISA SCHMIDT/ARCHT
Responsible Design Prof.: YES
Address: 2739 THUNDERBOLT RD
City: ELLICOTT CITY State: MD Zip Code: 21042
Phone: 410-401-3162 Fax: SAME
Email: AISA1@VERIZON.NET

| Commercial Building Characteristics | Residential Building Characteristics |
|---|---|
| Height: | <input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse |
| No. of stories: | Depth Width |
| Gross area, sq. ft./floor: | 1 st floor: <u>368</u> <u>50</u> |
| | 2 nd floor: |
| Area of construction (sq. ft.): | Basement: |
| | <input type="checkbox"/> Finished Basement |
| Use group: | <input type="checkbox"/> Unfinished Basement |
| | <input type="checkbox"/> Crawl Space |
| Construction type: | <input type="checkbox"/> Slab on Grade |
| <input type="checkbox"/> Reinforced Concrete | No. of Bedrooms: |
| <input type="checkbox"/> Structural Steel | Multi-family Dwelling |
| <input type="checkbox"/> Masonry | No. of efficiency units: |
| <input type="checkbox"/> Wood Frame | No. of 1 BR units: |
| <input type="checkbox"/> State Certified Modular | No. of 2 BR units: |
| | No. of 3 BR units: |
| | Other Structure: |
| | Dimensions: |
| > Roadside Tree Project Permit | Footings: |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Roof: |
| Roadside Tree Project Permit # | <input type="checkbox"/> State Certified Modular |
| | <input type="checkbox"/> Manufactured Home |

| Utilities |
|--|
| Water Supply |
| <input type="checkbox"/> Public |
| <input checked="" type="checkbox"/> Private |
| Sewage Disposal |
| <input type="checkbox"/> Public |
| <input checked="" type="checkbox"/> Private |
| Electric: <input type="checkbox"/> Yes <input type="checkbox"/> No |
| Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No |
| Heating System |
| <input type="checkbox"/> Electric <input type="checkbox"/> Oil |
| <input checked="" type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas |
| <input type="checkbox"/> Other: |
| Sprinkler System: |
| <input type="checkbox"/> Yes <input type="checkbox"/> No |
| Grading Permit Number: |
| Building Shell Permit Number: |

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature

Print Name

Date

Email Address

Title/Company

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY

FOR OFFICE USE ONLY

| AGENCY | DATE | SIGNATURE OF APPROVAL |
|----------------------|--------|-----------------------|
| State Highways | | |
| Building Officials | | |
| PSZA (Zoning) | | |
| PSZA (Engineering) | | |
| Health | 6/6/16 | H. O'Sullivan |

Is Sediment Control approval required for issuance? ☐ Yes ☒ No
☐ CONTINGENCY CONSTRUCTION START

| DPZ SETBACK INFORMATION |
|--|
| Front: |
| Rear: |
| Side: |
| Side St.: |
| All minimum setbacks met? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| Is Entrance Permit Required? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| Historic District? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| Lot Coverage for New Town Zone: |
| SDP/Red-line approval date: |

| | |
|----------------|----------|
| Filing Fee | \$ 25.00 |
| Permit Fee | \$ |
| Tech Fee | \$ |
| Excise Tax | \$ |
| PSFS | \$ |
| Guaranty Fund | \$ |
| Add'l per Fee | \$ |
| Total Fees | \$ |
| Sub-Total Paid | \$ |
| Balance Due | \$ |
| Check | # 24582 |

Distribution of Copies: White: Building Officials

Green: PSZA,Zoning

Yellow: PSZA,Engineering

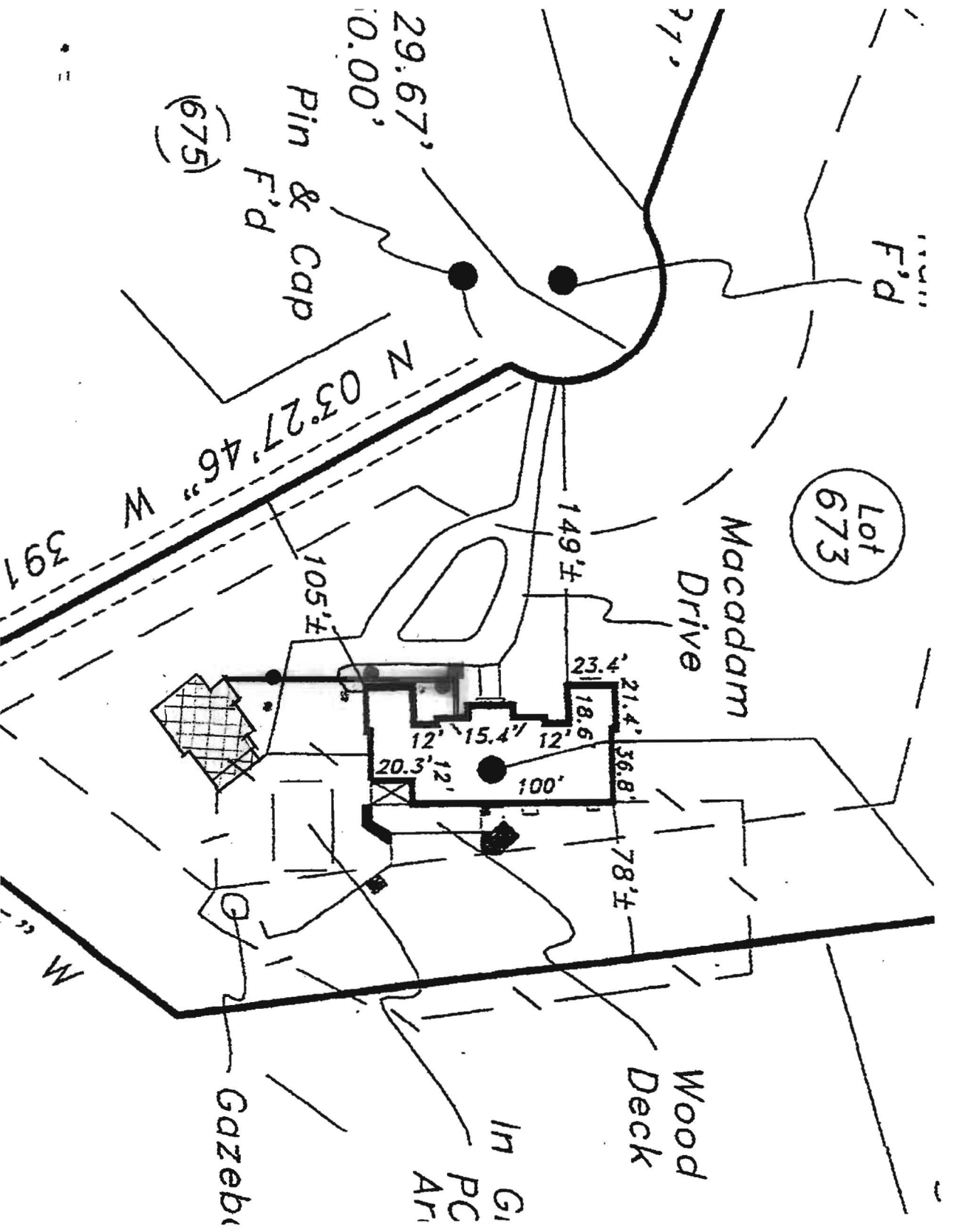
Pink: Health

Gold: SHA

T:\Operations\Updated Forms\Building applmp 8.2012.docx

ENTER AS ADDITION

cell 116. Site plan is approved
as shown for B16002146 (pool house
addition).



Pool House
FF 100.0
SEWER STUBS
97.0
Inv & EX.
TANK
94.6
● = CLEAN OUTS
X3

Oswald, Hank

From: Oswald, Hank
Sent: Friday, May 27, 2016 9:07 AM
To: 'Wayne Cossentino'
Subject: RE: B16002146_10415 Queensway Drive_Pool House Addition

Okay great. All we need at this point is a site plan slightly larger in scale to show the details of the sewer line connection from the bathhouse (BH) to where it will tie into the main line before the septic tank (ST). Include clean-outs just outside the BH, in between the B.H. & ST and one just before the tie-in. In addition, we want to see elevations from where the line leaves the BH and at the site of the tie-in to ensure enough fall (Fall cannot be less than 0.5 %).

Lastly, prior to building permit (BP) approval, please apply for a sewer house connection and submit the fee of \$165 to this office. (The SHC permit will be activated at time of payment)

Should you have any questions, please don't hesitate to ask

Thanks,

Hank

From: Wayne Cossentino [<mailto:waynecossentino@yahoo.com>]
Sent: Friday, May 27, 2016 8:15 AM
To: Oswald, Hank
Subject: Re: B16002146_10415 Queensway Drive_Pool House Addition

Hank, the pool house does not have two full bath rooms, they are both half baths/ powder rooms...per plans

On Friday, May 27, 2016 7:53 AM, "Oswald, Hank" <hoswald@howardcountymd.gov> wrote:

WAYNE COSSENTINO:

I have a quick question regarding the floor plan layout for the pool house addition located at 10415 Queensway Drive. Does the pool house have two full bathrooms?

Thanks,

Hank

Hank Oswald, L.E.H.S.
Howard County Health Department
Bureau of Environmental Health
Well & Septic Program
8930 Stanford Boulevard
Columbia, MD 21045
410.313.1786 (Office)
410.313.2648 (Fax)

Subject: RE: B16002146_10415 Queensway Drive_Pool House Addition
From: Oswald, Hank (hoswald@howardcountymd.gov)
To: waynecossentino@yahoo.com;
Date: Friday, May 27, 2016 9:07 AM

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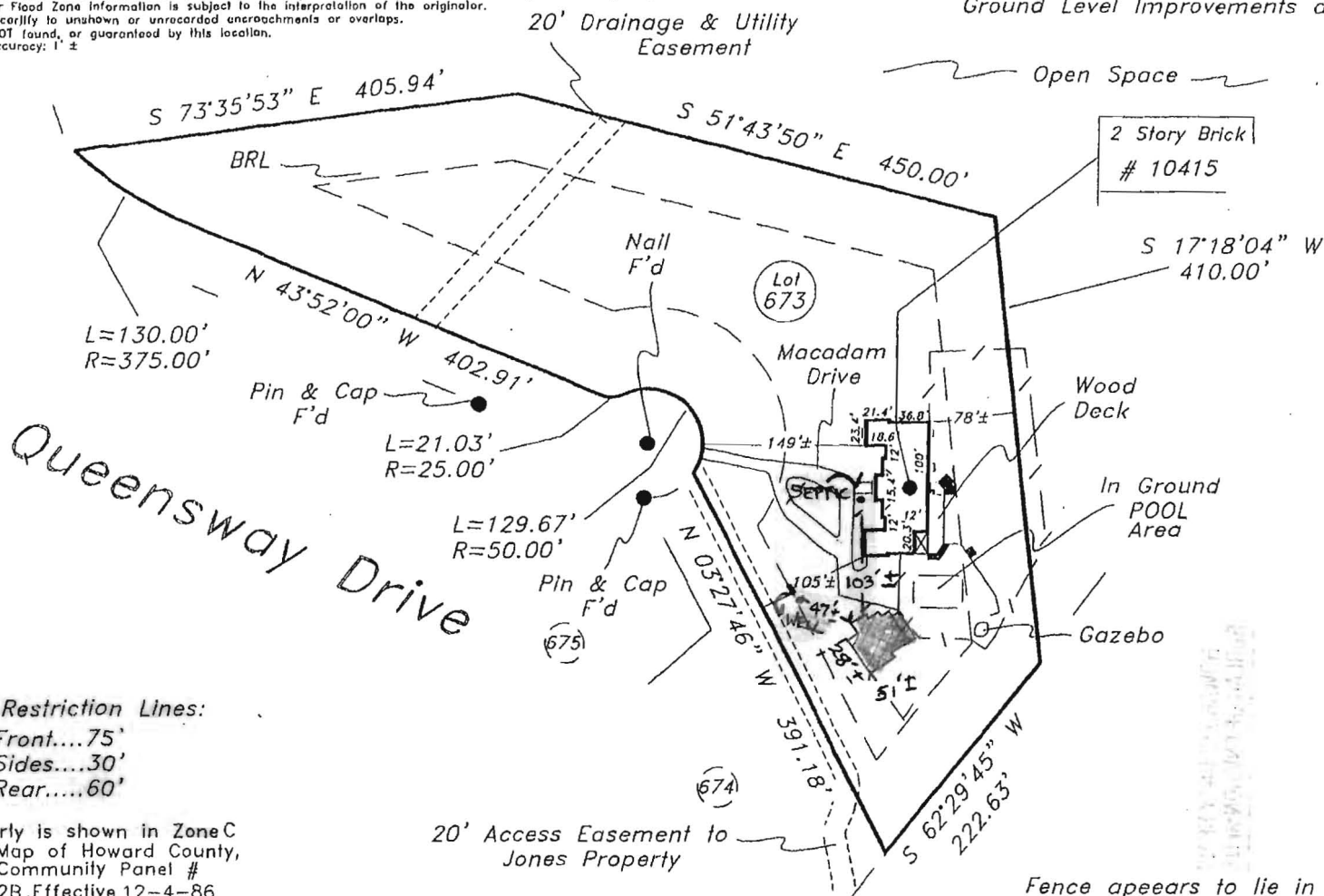
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WAYNE COSSENTINO:

NOTES:

- 1) B.R.L. information, if shown, was obtained from existing record plat or local agencies and is not guaranteed by NTT, Inc.
- 2) Building line and/or Flood Zone information is subject to the interpretation of the originator.
- 3) NTT, Inc. does not certify to unshown or unrecorded encroachments or overlaps.
- 4) Property markers NOT found, or guaranteed by this location.
- 5) Setback distance accuracy: 1' ±

Deep Snow Present...
Ground Level Improvements are Obscured



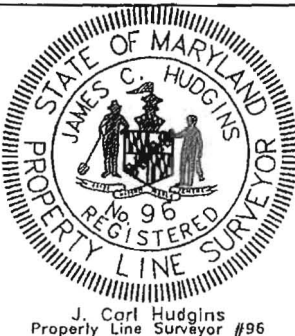
Building Restriction Lines:

Front....75'
Sides....30'
Rear....60'

Subject property is shown in Zone C
on the FIRM Map of Howard County,
Maryland on Community Panel #
240044 0022B.Effective 12-4-86

This is to certify that I have surveyed the property shown hereon,
being known as Lot 673, Revised Plat,
BURLEIGH MANOR Section 2
and recorded among the land records of Howard County,
Maryland in Plat 8737 folio
for the purpose of locating the improvements thereon.

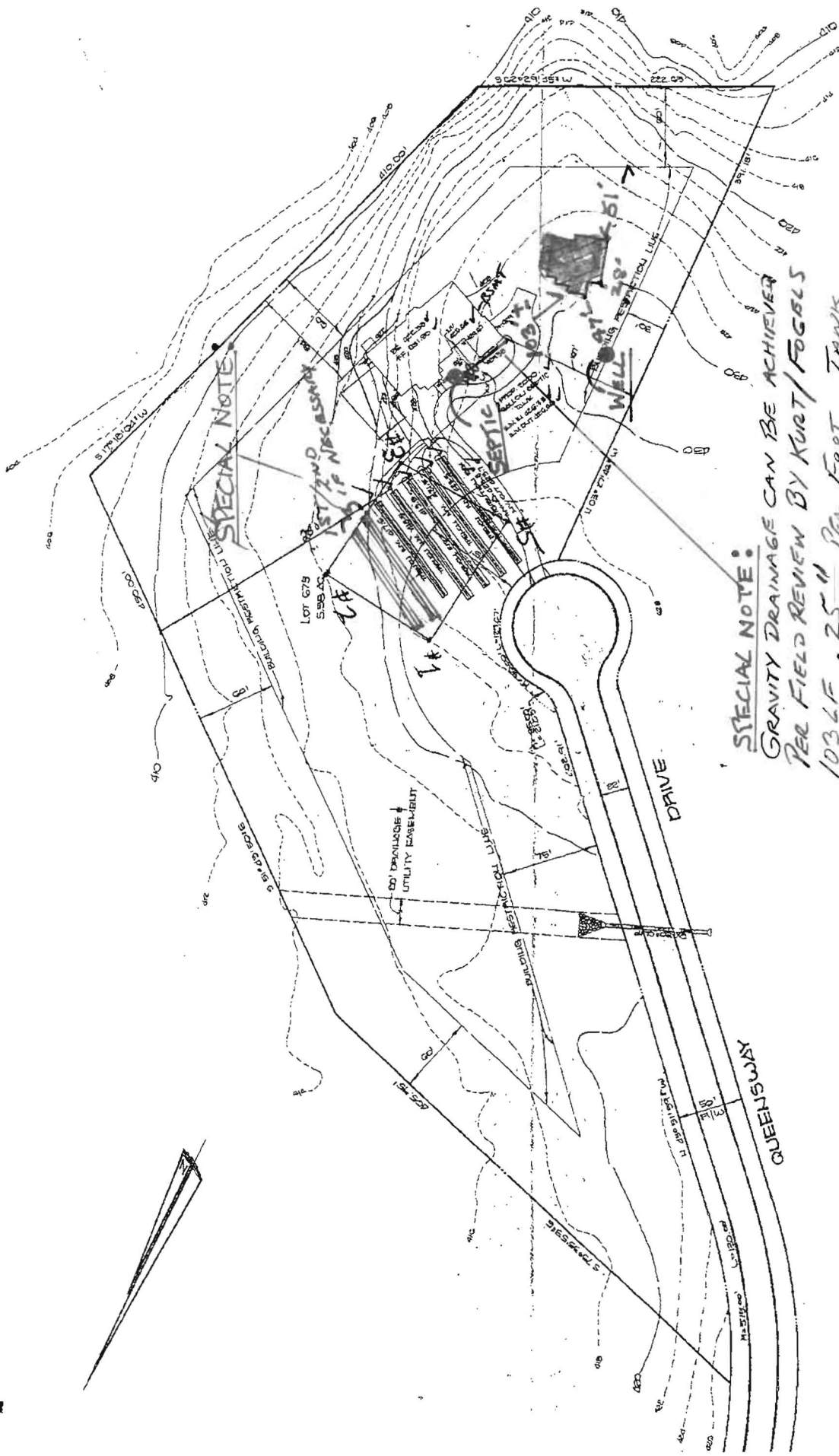
- * This plat is of benefit to the consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing, or refinancing purposes.
- * This plat is not to be relied upon for the establishment of location of fences, garages, buildings, or other existing or future structures.
- * This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or for securing financing or refinancing.



LOCATION DRAWING
10415 Queensway Drive
Howard County, Maryland
Election District No. 02

NTT Associates, Inc.
16205 Old Frederick Road
Mt. Airy, Maryland 21771
Ph. (410)442-2031
Fax No. (410)442-1315

| | |
|-----------|-----------|
| Scale: | 1"=150' |
| Date: | 2-10-06 |
| Field By: | Don |
| Drawn By: | Don |
| Drawing # | 060061HOC |



NOTES:

1. 8' DEEPZELL HOUSE AND GARAGE DISPOSED.
2. 2' TO 10' DEEPZELL + 10' TO 10' FOR DISPOSAL.
3. LAYOUT OF TRENCHES REQUIRED - 2' TO 10' DEEP.
4. LAYOUT OF TRENCHES PROVIDED - 2' TO 10' DEEP.

FISLER, COLLINS & CARTER, inc.

CIVIL ENGINEERS & LAND SURVEYORS
2555 COURT AVENUE
ELICOTT CITY, MARYLAND 21043
TELEPHONE: (301) 461-2856

PLAN TO ACCOMPANY APPLICATION FOR
BUILDING PERMIT

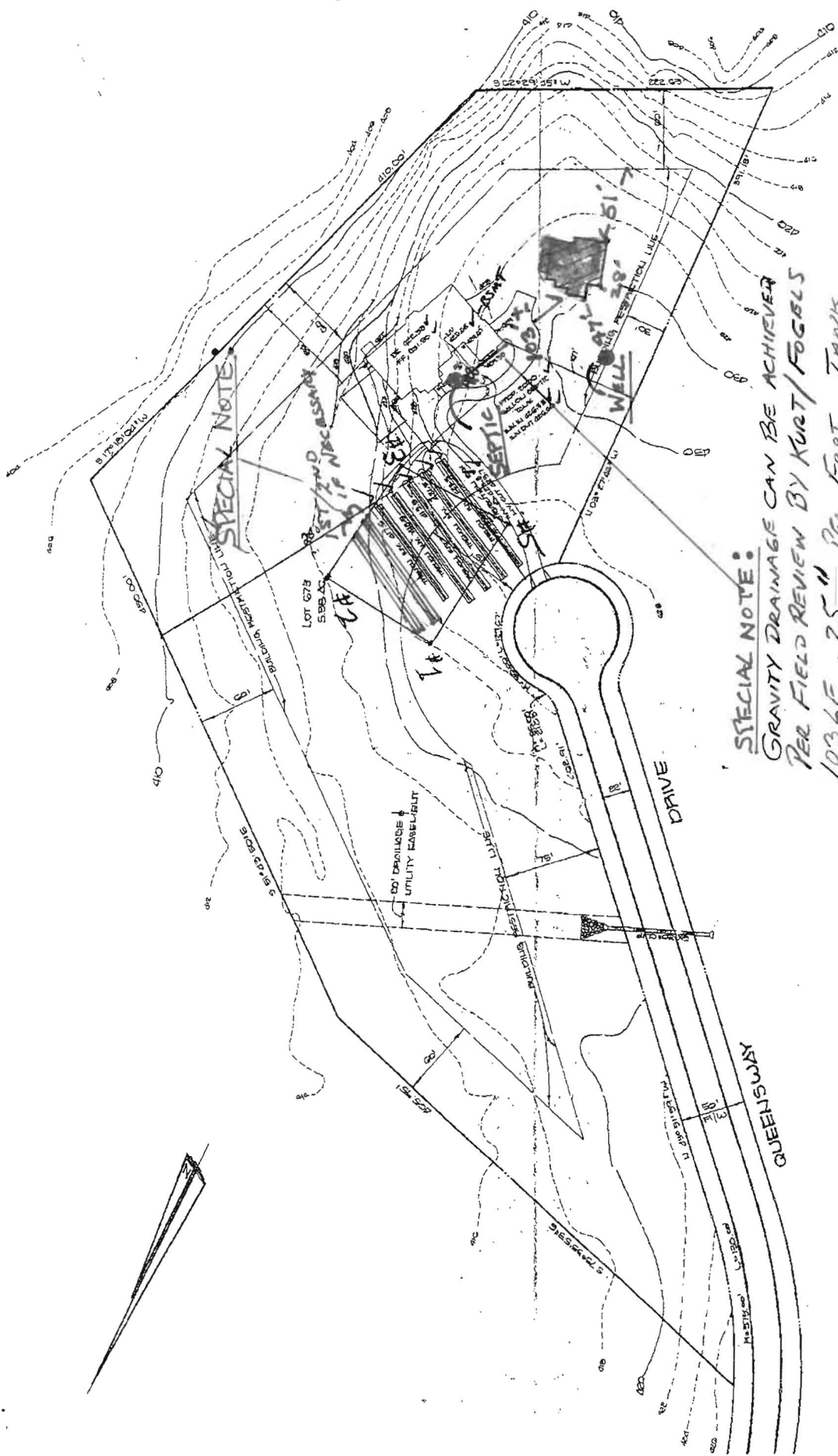
BURLEIGH MANOR

SECTION TWO LOTS 1 & 2

SECOND ELECTION DISTRICT

JANUARY 28, 1969 SCALE: 1" = 50'

BY: J. M. FISLER



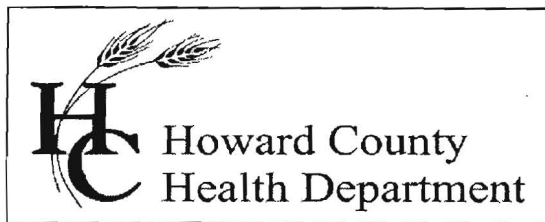
NOTES:

1. 5' BENCH MARK HOUSE AND GARAGE DISPOVAL.
2. 100' 00" M.T. / 100' 00" M.T. 100' 00" M.T. 100' 00" M.T.
3. 100' 00" M.T. 100' 00" M.T. 100' 00" M.T. 100' 00" M.T.
4. 100' 00" M.T. 100' 00" M.T. 100' 00" M.T. 100' 00" M.T.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 2000 COURT AVENUE
 ELICOTT CITY, MARYLAND 21043
 TELEPHONE: (301) 461-2855

PLAN TO ACCOMPANY APPLICATION FOR
 BUILDING PERMIT
DURLEIGH MANOR
 SECTION TWO LOT 1473
 SECOND ELECTION DISTRICT
 LAMOND BE, MD SCALE 1" = 100'

SPECIAL NOTE:
 GRAVITY DRAINAGE CAN BE ACHIEVED
 PER FIELD REVIEW BY KURT/FOGELS
 103 LF. 25" PER FOOT TANK
 CONNECTION AT 3'-2" = SUFFICIENT
 AMOUNT OF FALL FOR GRAVITY DRAINAGE



Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-1771 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

Date: March 15, 2016

To: Wayne Cossentino
Cossentino and Sons Remodeling & Design, Inc

RE: Proposal for construction of poolhouse at 10415 Queensway Drive

Mr. Cossentino,

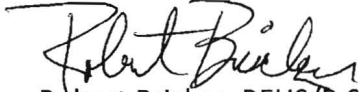
Concerning the plot plan for the proposed poolhouse at 10415 Queensway Drive, the Health Department's initial requirements include the following:

1. **Accurate illustration** of the well location.
2. Route of poolhouse sewer line from the poolhouse to the existing septic system including relevant elevations.
 - a. If gravity drainage can be achieved the effluent would be directed to the septic tank that serves the primary residence.
 - b. Should a pump be necessary to lift the poolhouse effluent to the existing septic system, **illustrate** locations of a septic tank and a pump tank
 - i. the Health Department will require the effluent to drain to a septic tank for settling, then to a pump tank
 - ii. the tank volume required will be based on a minimum design flow of 450 gallons per day
 - iii. discharge from the pump tank may be routed directly to the distribution box
3. **Illustrate** the existing sewage disposal area (SDA).
4. **Illustrate** the existing distribution trenches' locations.
5. **Illustrate** two replacement drainfields having absorption area adequate for discharge from a 5-bedroom residence, and the trenches having proper spacing.
 - a. For design of the replacement system trenches, a specifications sheet is included as an attachment.
 - b. Should the area required for replacement drainfields extend beyond the boundaries of the existing SDA, **illustrate** a proposed extension of the SDA to accommodate the proposed replacement trenches.
 - i. A Percolation Certification Plan revision will be required to authorize modification of the existing SDA boundaries.

- ii. Please be advised that the Health Department may determine that additional percolation testing is needed for certification of an expanded SDA.

Should you have any questions concerning this matter, you may contact me by email (rbricker@howardcountymd.gov), or by calling 410-313-2691.

Respectfully,



Robert Bricker, REHS/R.S., L.E.H.S.

Environmental Sanitarian, Well and Septic Program

Howard County Bureau of Environmental Health

Enclosures: (2) Trench Specification Sheet; Installation and SDA information

Copy: file

Bricker, Robert

From: waynecossentino <waynecossentino@yahoo.com>
Sent: Monday, February 22, 2016 5:47 PM
To: Bricker, Robert
Subject: RE: 10415 Queensway Drive proposal

Thank you Mr. Bricker, I will gather the required documents...Thank you

Sent from my Verizon Wireless 4G LTE smartphone

----- Original message -----

From: "Bricker, Robert" <RBricker@howardcountymd.gov>
Date: 2/22/2016 4:23 PM (GMT-05:00)
To: waynecossentino@yahoo.com
Subject: 10415 Queensway Drive proposal

Mr. Cossentino,

Primarily due to the presence of a kitchenette, the Health Department considers the proposed poolhouse at 14015 Queensway Drive to be a dwelling. Therefore, because it is considered a dwelling, a 10,000 sq.ft. sewage disposal area (SDA) must be established for the dwelling. Establishing the SDA to serve the poolhouse will require percolation tests and a revision of the property's Percolation Certification Plan.

Please be advised that the SDA for the poolhouse may be an extension of the existing SDA that serves the primary residence. The combined SDA must be large enough to accommodate three drainfield systems for the primary residence and three drainfields for the poolhouse.

Even though the SDA must have area such that separate drainfields would be installed, the discharge from the poolhouse may be combined with the discharge from the primary residence. To determine the amount of area required for the SDA, and to approve the design of the septic system that combines the discharges from the poolhouse and the primary residence, the Health Department requires a review of the floor plans for the primary residence as well as the poolhouse.

The Health Department will issue additional comment after reviewing the floor plans for the primary residence.

ROBERT BRICKER, REHS/R.S., L.E.H.S.

ENVIRONMENTAL SANITARIAN II

BUREAU OF ENVIRONMENTAL HEALTH, WELL AND SEPTIC PROGRAM

8930 STANFORD BLVD., COLUMBIA, MD 21045

Phone: Desk, 410-313-2691; Program, 410-313-1771; Bureau, 410-313-1774

Fax: 410-313-2648

E-mail: rbricker@howardcountymd.gov