



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 5/2/10

Permit No.: B10001929

Building Address: 9532 Reservoir Rd
City: Fulton State: MD Zip Code: 20759
Suite/Apt. #: 623 SDP/WP/BA #: WP 16-121
Census Tract: 7973 Subdivision: Harmony 51/100
Section: _____ Area: _____ Lot: 12
Tax Map: 45 Parcel: 42 Grid: _____
Zoning: RD Map Coordinates: _____ Lot Size: 1.37

Existing Use: Vacant
Proposed Use: SFD
Estimated Construction Cost: \$ 250,000
Description of Work: 4 BR 3.5 Baths 2 story Colonial, unfinished basement

Occupant or Tenant: _____
Was tenant space previously occupied? ☐ Yes ☐ No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics	
Height:	☒ SF Dwelling ☐ SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 st floor: <u>26</u>	<u>55</u>
	2 nd floor: <u>32</u>	<u>65</u>
Area of construction (sq. ft.):	Basement: <u>11</u>	<u>55</u>
	☐ Finished Basement	
Use group:	☐ Unfinished Basement	
	☐ Crawl Space	
Construction type:	☐ Slab on Grade	
☐ Reinforced Concrete	No. of Bedrooms: <u>4</u>	
☐ Structural Steel	Multi-family Dwelling	
☐ Masonry	No. of efficiency units:	
☐ Wood Frame	No. of 1 BR units:	
☐ State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
➤ Roadside Tree Project Permit	Footings:	
☐ Yes ☐ No	Roof:	
Roadside Tree Project Permit #	☐ State Certified Modular	
	☐ Manufactured Home	

Property Owner's Name: Chad + Jillson Ellis
Address: 4410 Sinner St
City: Columbia State: MD Zip Code: 21046
Phone: 301-317-9057 Fax: _____
Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: Viking Driv Corp
Address: 815 Winding Dr
City: Silver Spring State: MD Zip Code: 20914
Phone: 410-977-2155 Fax: _____
Email: cory@vikingconstruction.com

Contractor Company: Viking Driv Corp
Contact Person: Cory J. J. J. J.
Address: 815 Winding Dr
City: Silver Spring State: MD Zip Code: 20914
License No.: 1185
Phone: 410-977-2155 Fax: _____
Email: _____

Engineer/Architect Company: SRA
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Utilities
Water Supply
☐ Public
☐ Private
Sewage Disposal
☐ Public
☐ Private
Electric: ☒ Yes ☐ No
Gas: ☐ Yes ☐ No
Heating System
☐ Electric ☐ Oil
☐ Natural Gas ☐ Propane Gas
Other: _____
Sprinkler System:
☐ Yes ☐ No
Grading Permit Number: <u>G10000109</u>
Building Shell Permit Number: _____

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: [Signature]
Email Address: cory@vikingconstruction.com
Title/Company: President

Print Name: Cory J. J. J.
Date: 5-2-10

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY

-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>5/10/10</u>	<u>[Signature]</u>

Is Sediment Control approval required for issuance? ☒ Yes ☐ No
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? ☐ Yes ☐ No
Is Entrance Permit Required? ☐ Yes ☐ No
Historic District? ☐ Yes ☐ No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ 100.00
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ 50.00
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# 11952

White: Building Officials

Green: PSZA, Zoning

Yellow: PSZA, Engineering

Pink: Health

Gold: SHA

all recorded plat



Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

MEMORANDUM

TO: Cary Cumberland
Viking Development Corporation
815 Windriver Dr.
Sykesville, MD 51784

FROM: Robert Freemon *RF*
Well & Septic Program

RE: 8532 Reservoir Rd.
Fulton, MD 20759
Unfinished Basement Bedrooms

DATE: 5/16/2016

I have reviewed the floor plans in support of Building Permit **B16001929** for a new home at **8532 Reservoir Rd. Fulton, MD 20759** and noted that there is a rough-in for a full bathroom in the unfinished basement. Please note that this makes it very likely for one or more rooms to be considered bedrooms upon conversion of the basement to finished living space.

For reference, the following is the bedroom definition in Howard County Code Section 3.801(b):

- (1) Except as provided in paragraph (2) of this subsection, a bedroom is any space in the conditioned are of a dwelling unit or accessory structure that:
 - (i) Is 90 square feet or greater in size;
 - (ii) May be used as a private sleeping area; and
 - (iii) Has at least one window and one interior door.
- (2) If a home office, library, or similar room is proposed, it may not be a bedroom if there is no closet; and
 - (i) The room contains permanently built-in bookcases around the perimeter of the room, desks, and other features that encumber the room;
 - (ii) A minimum 4 foot-wide opening, without doors, into another room;
 - (iii) A half wall (4 foot maximum height) between the room and another room; or
 - (iv) The room is a first floor room or basement area that does not have direct access to full bathrooms or "roughed in" plumbing that would provide direct access to future full bathroom facilities.

The Health Department strongly recommends sizing the onsite sewage disposal system at least one bedroom larger than the existing **4** bedroom design to accommodate a future finished basement. If you

choose to only size for the existing design, any future building permit for a finished basement may be placed on hold until the system is upgraded to accommodate the proposed number of bedrooms. This memo will be retained in the Health Department file for future reference.

Freemon, Robert

From: Cary Cumberland <cary@vikingcustomhomes.com>
Sent: Wednesday, May 18, 2016 10:34 AM
To: Freemon, Robert
Subject: RE: 8532 Reservoir Rd.

Hi Robert,

Thank you for the memo and I completely understand! At this time, we have decided to not upgrade the septic system and understand the consequences if in the future we decide to add a bedroom per the attached letter. Please proceed with the plan as is.

Thank you,
Cary Cumberland
Viking Development Corporation

*Basement
Bedroom
Memo*

From: Freemon, Robert [<mailto:rfeemon@howardcountymd.gov>]
Sent: Monday, May 16, 2016 9:01 AM
To: Cary Cumberland <cary@vikingcustomhomes.com>
Subject: RE: 8532 Reservoir Rd.

Hi Cary,

I have reviewed the floor plans for 8532 Reservoir Rd. and have a couple of comments. The unfinished basement shows rough in plumbing to a full bath. This could potentially lead to a possible 5th bedroom upon completion. The septic system is designed to support a 4 bedroom house. It is our recommendation to upgrade the onsite septic system to accommodate a possible future bedroom addition. If you do not wish to upgrade the septic system I will need a written confirmation that the attached memo was received and understood (can be sent via email). I have attached the memo which restates the above along with our bedroom definition. Let me know if you have any questions.

Robert Freemon
Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
Well and Septic Program
Phone: 410-313-6357
Email: rfeemon@howardcountymd.gov

From: Cary Cumberland [<mailto:cary@vikingcustomhomes.com>]
Sent: Friday, May 13, 2016 12:02 PM
To: Freemon, Robert
Subject: RE: 8532 Reservoir Rd.

Hi Robert,

Attached are the floor plans for the house. Let me know if you have any further questions. Thank you.

Cary!

From: Freemon, Robert [<mailto:rfreemon@howardcountymd.gov>]

Sent: Friday, May 13, 2016 11:56 AM

To: cary@vikingcustomhomes.com

Subject: 8532 Reservoir Rd.

Hi Cary,

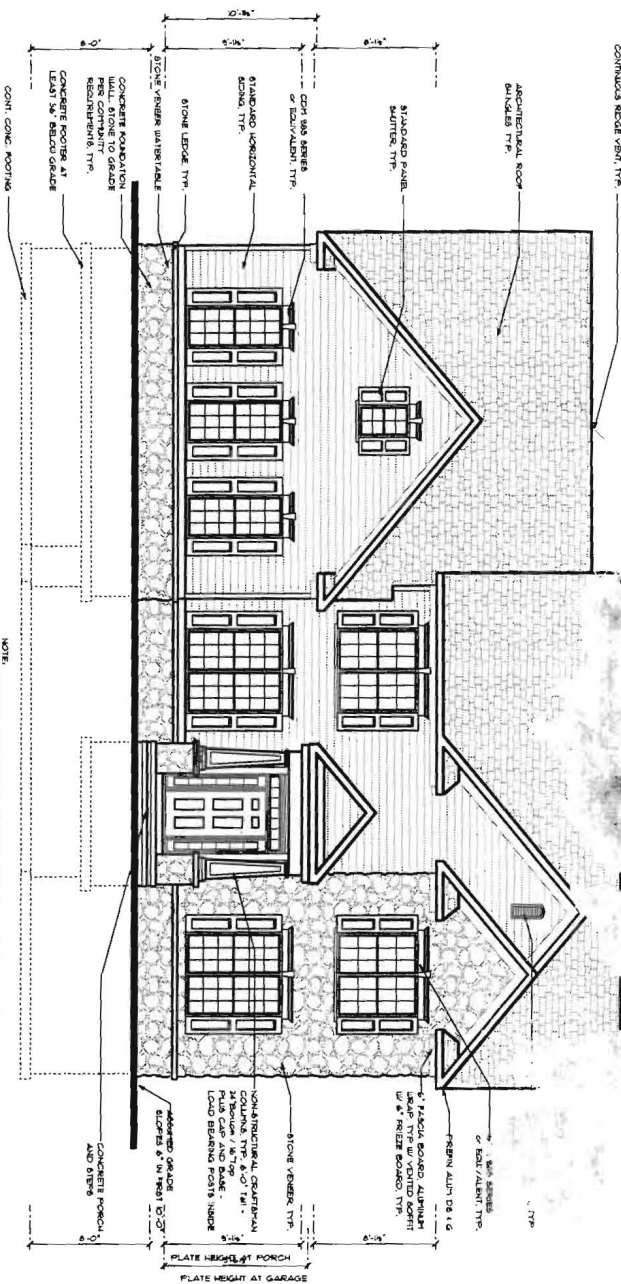
I am reviewing the building permit (B16001929) for 8532 Reservoir Rd. I need to see floor plans of the proposed house. You can either email them to me or drop them off at our office. Let me know if you have any questions.

Robert Freemon
Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
Well and Septic Program
Phone: 410-313-6357
Email: rfreemon@howardcountymd.gov

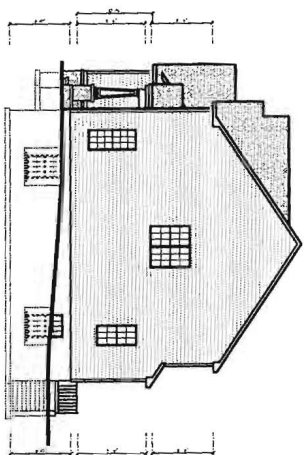
Henry J. Littlefield

4 BR + Basement Rough-In

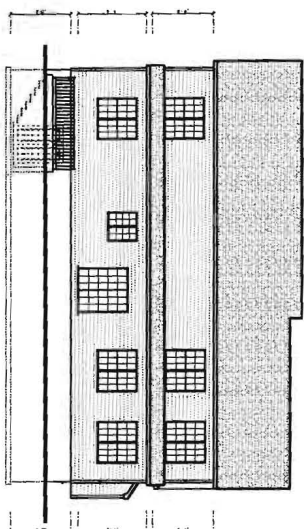
Approved for BR
 1316001929 5/19/2015
Robert



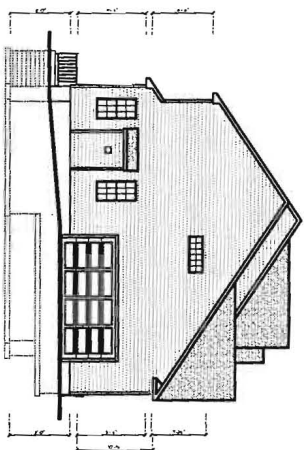
FRONT ELEVATION



RIGHT ELEVATION
 1/8"=1'-0"



REAR ELEVATION
 1/8"=1'-0"



LEFT ELEVATION
 1/8"=1'-0"

NOTE:
 1. GABLES WITH 1 OR MORE SIDES SHALL BE PROVIDED WITH HANDICAPped HANDICAPped SHALL BE A MINIMUM OF 36"
 2. HANDICAPped SHALL BE A MINIMUM OF 36"
 3. HANDICAPped SHALL BE A MINIMUM OF 36"
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 10. HANDICAPped SHALL BE A MINIMUM OF 36"

Ellis
 Residence



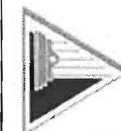
VIKING
 CUSTOM HOMES
 "Life Unfolds Here"

CONTACT:
 CARY CUMBERLAND
 515 N. 10TH AVE. SUITE 200
 MINNEAPOLIS, MN 55403
 (612) 489-4728
 www.vikingcustomhomes.com

SCALE: 1/8"=1'-0"
 ELEVATIONS
 1.01
 TUESDAY, FEBRUARY 04, 2014

REVISIONS
 PROJECT NO:
 ISSUE DATES:
 02/21/12 PREPARED BY:

VIKING
CUSTOM HOMES
"Life Unfolds Here"



Elis Residence

9

下



07.21

SCALE: 1/4" = 1'-0"

FOUNDATION

1004

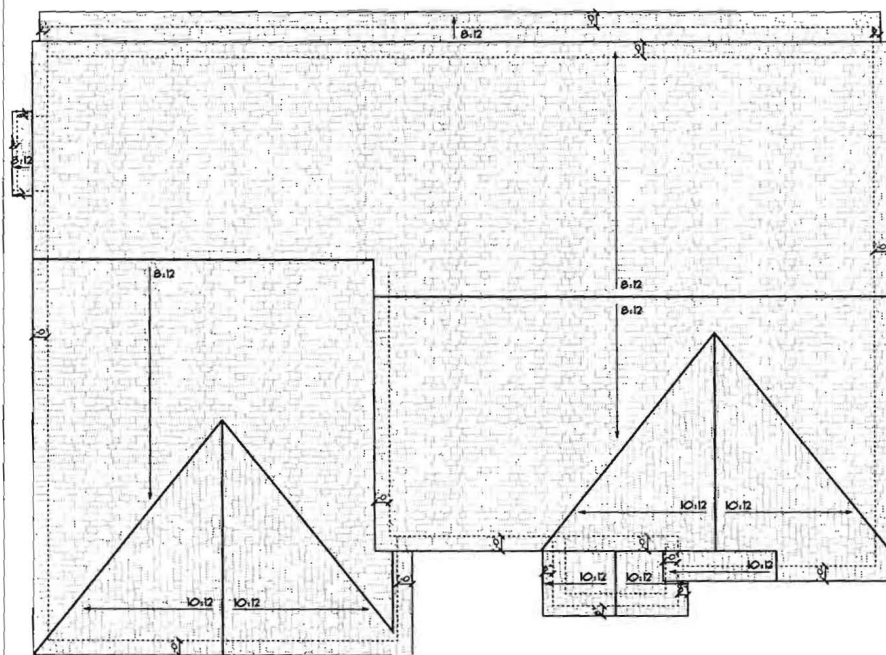
1201

12.01

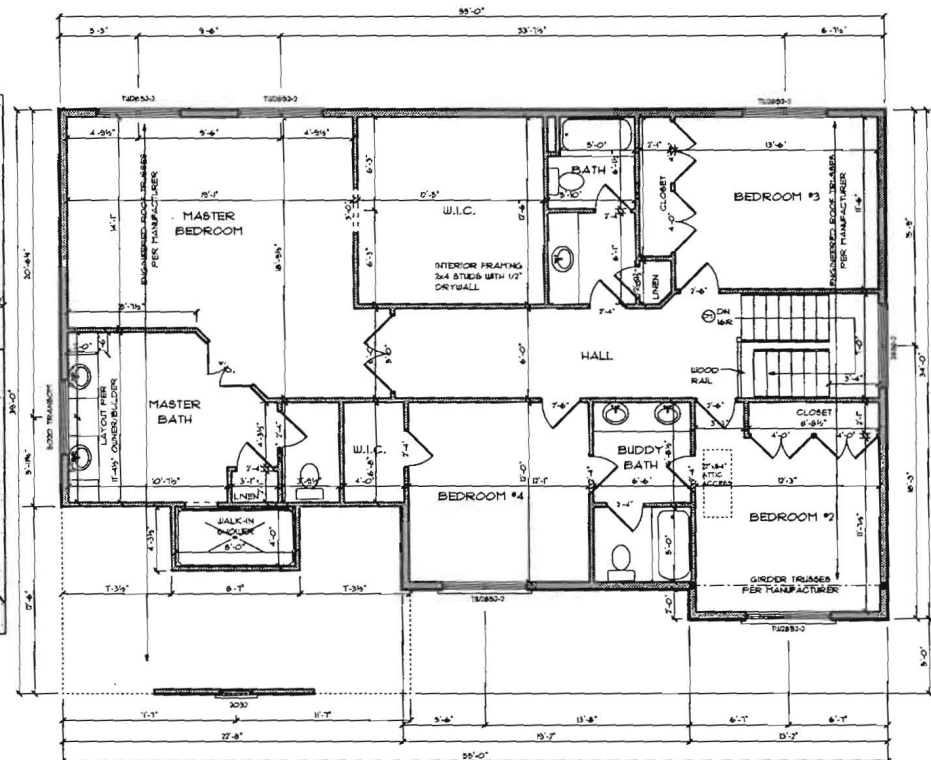
DATE: _____

Tuesday, February 09, 2011





ROOF PLAN



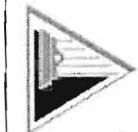
FRAMING NOTES

1. ALL BEAMS ARE TO BE SHIPPED BELOW FLOOR AND ROOF FRAMING UNLESS NOTED OTHERWISE. BEAMS ARE TO BE AT THE TOP OF POSTS.
2. PROVIDE DOUBLE WALL STUD POSTS UNDER ALL BEAMS, HEADERS, TRIMMERS AND MULTIPLE JOINTS EXCEPT ON EXTERIOR WALLS. UNLESS NOTED OTHERWISE, PROVIDE LAME END POSTS IN EXTERIOR WALLS BELOW UNDER ALL POSTS TO PROVIDE SOLID SUPPORT TO FOUNDATION. BRIDGE JOISTS BETWEEN FLOOR JOISTS AT FLOOR LEVELS. SEE GENERAL NOTES FOR JOIST DETAILS AT BEARING WALL OF BRIDGE.
3. PROVIDE METAL HANGERS AT ALL PUSH CONNECTIONS.
4. PROVIDE 3x10 WALL HEADERS AT ALL EXTERIOR SPAN WALL OPENINGS UNLESS NOTED OTHERWISE.
5. REFER TO ENGINEERED FLOOR DIAGRAMS FOR JOIST LAYOUT AND MISCELLANEOUS DETAILS.

TYPICAL HOUSE BOX - 2x6 EXTERIOR WALL
TYPICAL METHOD OF WALL CONSTRUCTION - R-13/10.5
CONTINUOUS STRUCTURAL PANEL SHEATHING

CONTACT:
CARY CUMBERLAND
1715 Archer Glen
Sykesville, MD 21784
PHONE 41185
(410) 489-4728
www.VikingCustomHomes.com

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Ellis
Residence

PROJECT NO:

894-01

REVISIONS



ISSUE DATES:

07-21-12

PERMIT SET

SCALE: 1/4" = 1'-0"

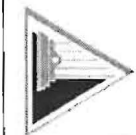
SECOND FLOOR

4.01

DATE:
Tuesday, February 09, 2016

CONTACT:
CARY CUMBERLAND
1715 Archen Glen
Sykesville, MD 21784
WAGER #1185
(410) 489-4728
www.VikingCustomHomes.com

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PROJECT NO:
09-01

REVISIONS

ISSUE DATES:
07-31-12 PERMIT SET

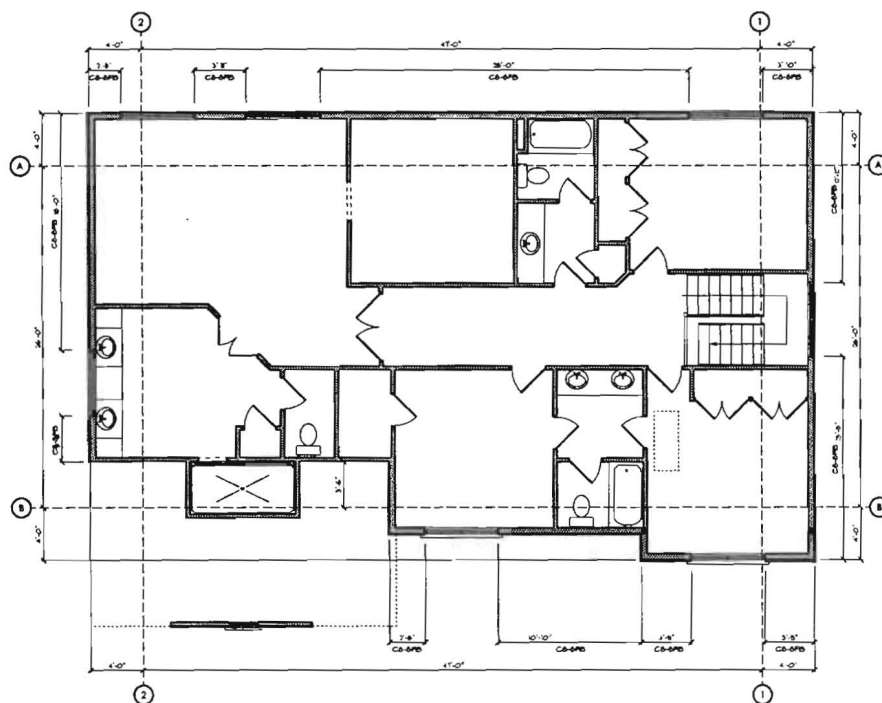
SCALE: 1/4" = 1'-0"

PLAN BRACING

4.51

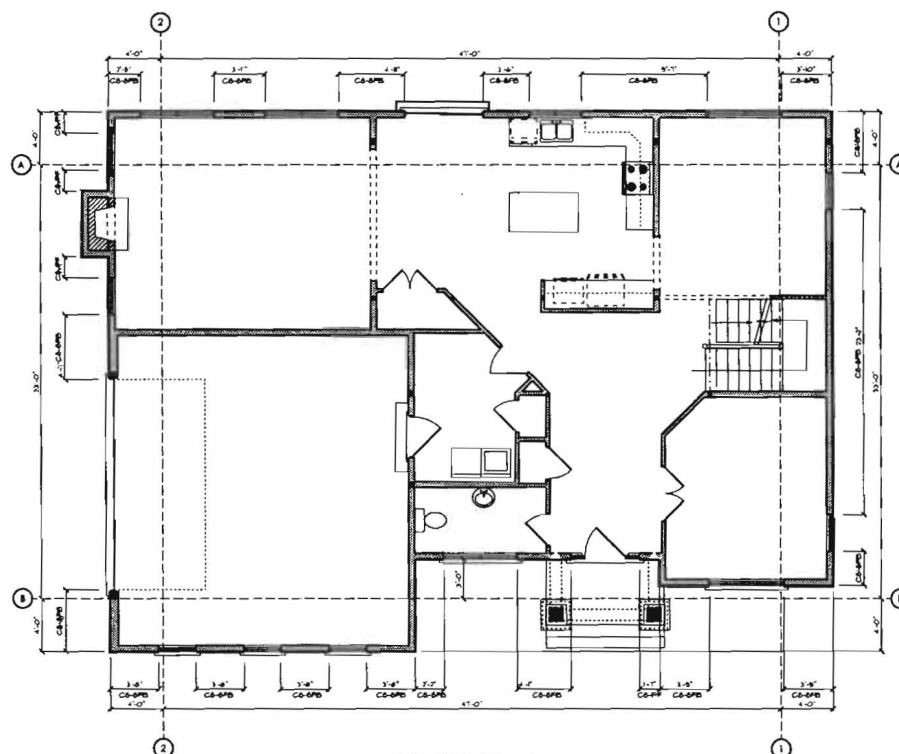
DATE:
Tuesday, February 09, 2016

- ALL DESIGNATED EXTERIOR BRACED WALLS SHALL BE A MINIMUM 7/16" PANEL SHEATHING ATTACHED TO FRAMING WITH 8d COMMON NAILS @ 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE FRAMING MEMBERS. SOLE PLATS SHALL BE FASTENED TO JOIST OR SOLID WOOD BLOCKING WITH (3) 16d NAILS AT 16" O.C. RIM JOIST TO PLATE OR SILL 8d @ 6" O.C. TOENAIL.
- ALL EXTERIOR WALL CORNERS SHALL BE FRAMED PER DETAIL.
- ALL DESIGNATED INTERIOR BRACED WALLS SHALL BE MIN 1/2" GYPHUM BOARD APPLIED TO BOTH FACES OF FRAMING WITH ADHESIVE AND TYPE S OR W SCREWS AT 34" O.C.
- DESIGNATED NARROW WALL BRACING SHALL BE CONSTRUCTED IN ACCORDANCE WITH BRACED WALL DETAILS.
- TENSION HOLD DOWN STRAP OF 800# - (BIMFSON CM814 STRAP W/ 15-16d NAILS EACH END)



SECOND FLOOR CALCULATIONS

BRACED WALL LINE	WALL PANEL TYPE	NET REQUIRED WALL BRACING FT.	ACTUAL PROVIDED WALL BRACING FT.
A	CS-SH	5.80'	33.47'
B	CS-SH	4.80'	14.47'
1	CS-SH	10.31'	22.83'
2	CS-SH	10.31'	22.17'



FIRST FLOOR CALCULATIONS

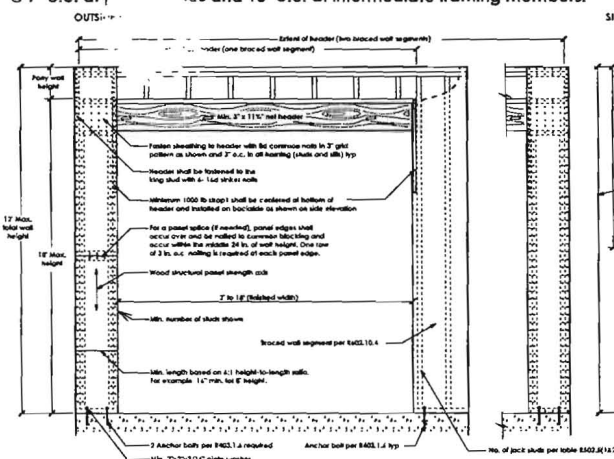
BRACED WALL LINE	WALL PANEL TYPE	NET REQUIRED WALL BRACING FT.	ACTUAL PROVIDED WALL BRACING FT.
A	CS-SH	12.24'	29.14'
B	CS-SH	12.24'	28.91'
1	CS-SH	14.17'	26.37'
2	CS-SH	14.17'	17.00'

NOTES

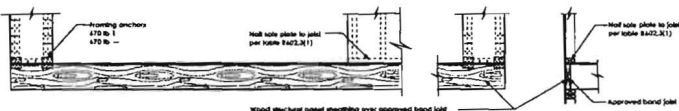
Methods WSP & CS-WSP: Min. 7/16" OSB Wood Structural Panel sheathing attached to framing with 6d @ 6" o.c. at panel edges and 12" o.c. at intermediate framing members.

Note: At Braced Wall Lines Incorporating Continuously Sheathed bracing methods (CS-WSP & CS-PF), all exterior walls along the Braced Wall Line must be fully sheathed with min 7/16" OSB Wood Structural Panel sheathing fastened per IRC 2009 Tables R602.3(1), R602.3(2), and R602.3(3).

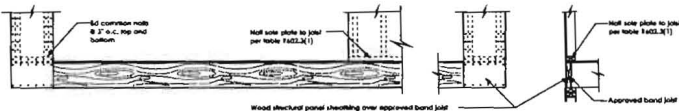
Method GB: min. 1/2" gypsum board applied to each side of framing with adhesive and 1" S or W screws @ 7" o.c. at panel edges and 24" o.c. at intermediate framing members or nails per IRC 2009 Table R702.3.5 @ 7" o.c. at panel edges and 16" o.c. at intermediate framing members.



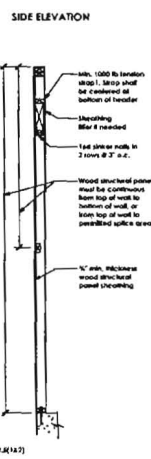
OVER CONCRETE OR MASONRY BLOCK FOUNDATION



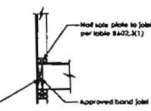
OVER RAISED WOOD FLOOR OR SECOND FLOOR - FRAMING ANCHOR OPTION



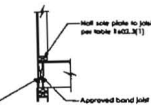
OVER RAISED WOOD FLOOR OR SECOND FLOOR - WOOD STRUCTURAL PANEL OVERLAP OPTION



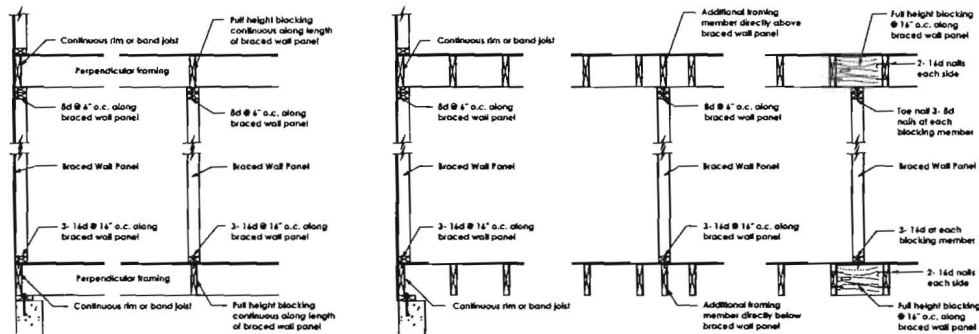
OVER CONCRETE OR MASONRY BLOCK FOUNDATION



OVER RAISED WOOD FLOOR OR SECOND FLOOR - FRAMING ANCHOR OPTION



OVER RAISED WOOD FLOOR OR SECOND FLOOR - WOOD STRUCTURAL PANEL OVERLAP OPTION

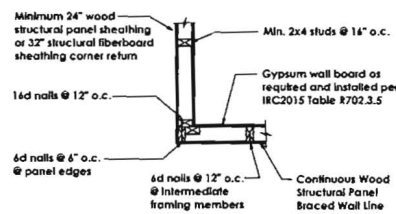


BRACED WALL PANEL CONNECTION WHEN PERPENDICULAR TO FLOOR/CEILING FRAMING

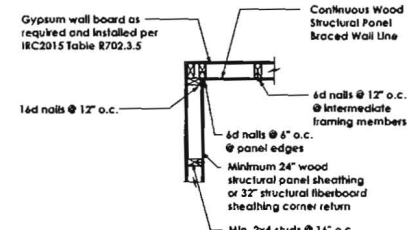
BRACED WALL PANEL CONNECTION WHEN PARALLEL TO FLOOR/CEILING FRAMING

Braced Wall Panel Connections to Floor and Ceiling Framing

NOT TO SCALE



OUTSIDE CORNER

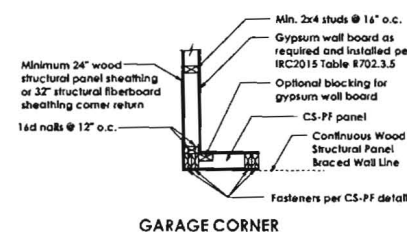


INSIDE CORNER

Tension Strap Capacity Required for Method CS-PF

Minimum Wall Stud Framing Member Size and Grade	Maximum Allowable Wind Speed (mph)	Maximum Allowable Wind Pressure (psf)	Maximum Allowable Wind Load (lb/ft)	Minimum Tension Strap Capacity (lb)	Minimum Tension Strap Capacity (lb)
2x4 No. 2 Grade	10	10	1000	1000	1000
		15	1500	1500	1500
		20	2000	2000	2000
		25	2500	2500	2500
	12	10	1000	1000	1000
		15	1500	1500	1500
		20	2000	2000	2000
		25	2500	2500	2500
	16	10	1000	1000	1000
		15	1500	1500	1500
		20	2000	2000	2000
		25	2500	2500	2500
2x6 No. 2 Grade	10	10	1000	1000	1000
		15	1500	1500	1500
		20	2000	2000	2000
		25	2500	2500	2500

Notes: 1. Basic Wind Speed of 100 mph. For other Basic Wind Speeds, see IRC 2015 Table R602.3.6.1.1. 2. DR = Design Required



GARAGE CORNER

CS-PF Continuous Portal Frame

NOT TO SCALE

Corner Framing Details

NOT TO SCALE

CONTACT:
CARY CUMBERLAND
1715 Archen Glen
Sykesville, MD 21784
MH08 #1185
(410) 487-4728
www.VikingCustomHomes.com

VIKING
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Ellis Residence

PROJECT NO:
886-01

REVISIONS

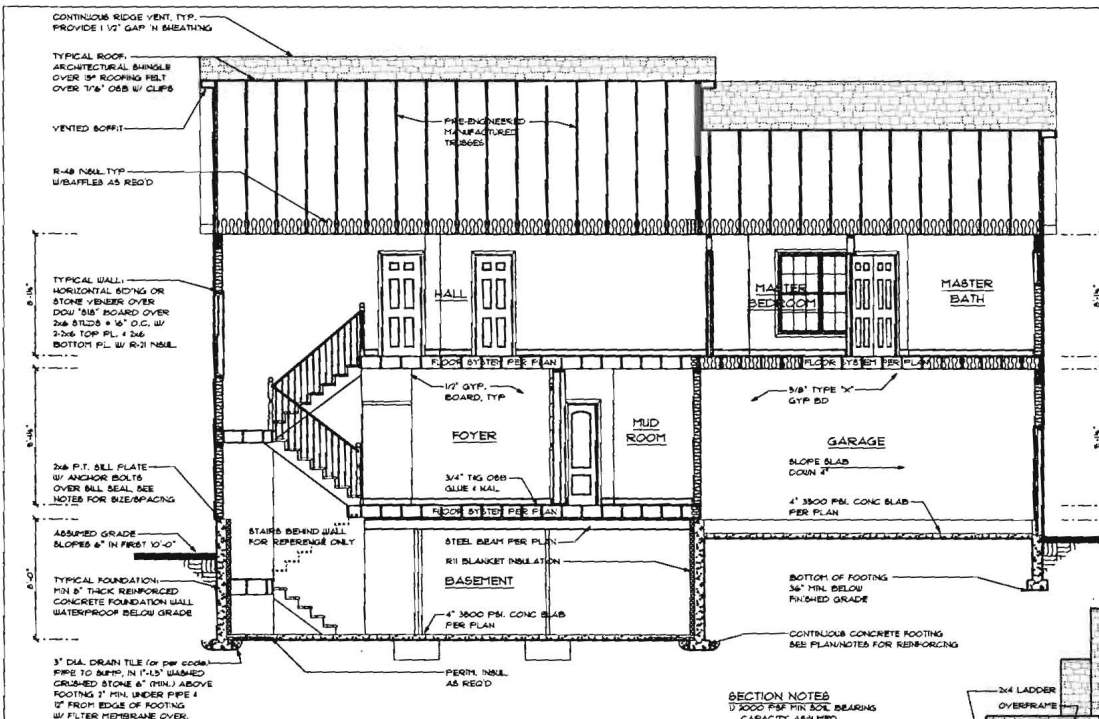
ISSUE DATES:
07-21-12 PERMIT SET

SCALE:

BRACING DETAILS

4.53

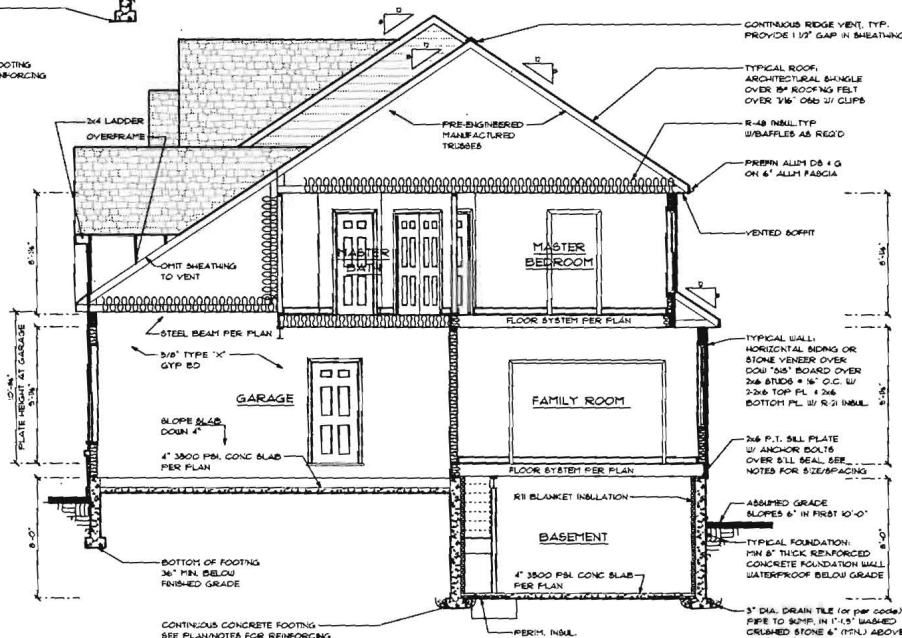
DATE:
Tuesday, February 09, 2016



SECTION B-B

SECTION NOTES

- 1) 3000 PSI PER PLAN BEARING CAPACITY ASSUMED
- 2) REAR JOISTS, HEADERS & BUTTERS TO BE 4\"/>



SECTION A-A

CONTACT:
CARY CUMBERLAND
1715 Archers Glen
Sykesville, MD 21784
MH88 #1185
(410) 489-6728
www.VikingCustomHomes.com

VIKING
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Ellis
Residence

PROJECT NO:

EW-01

REVISIONS



ISSUE DATES:

07-21-12

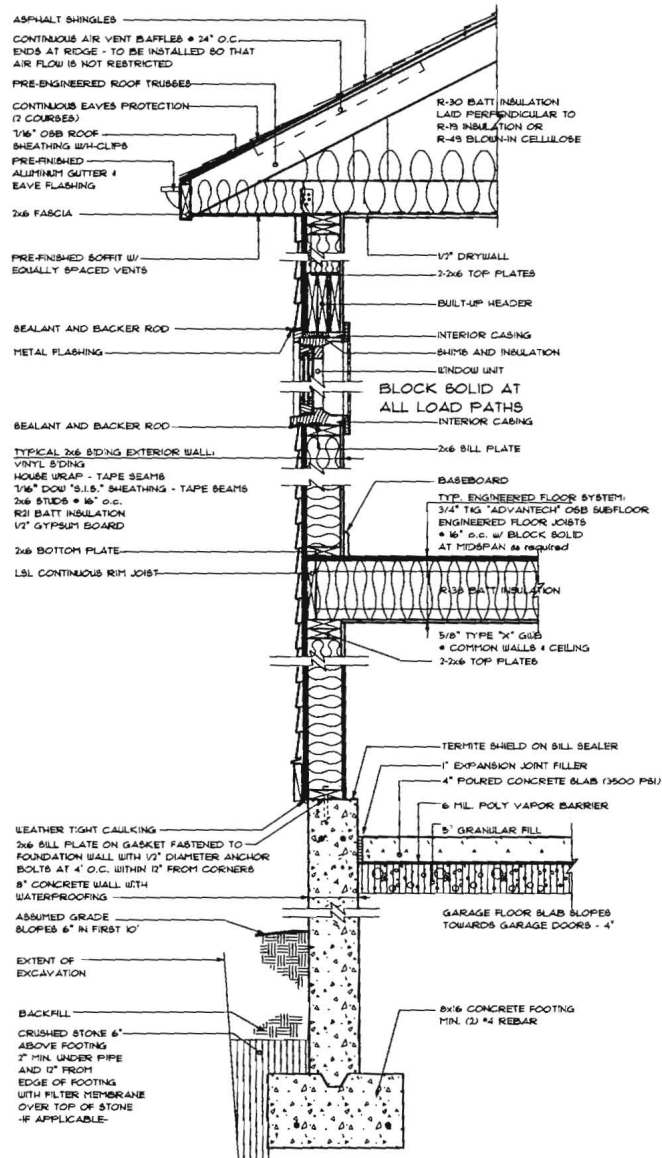
PERMIT SET

SCALE: 1/8" = 1'-0"

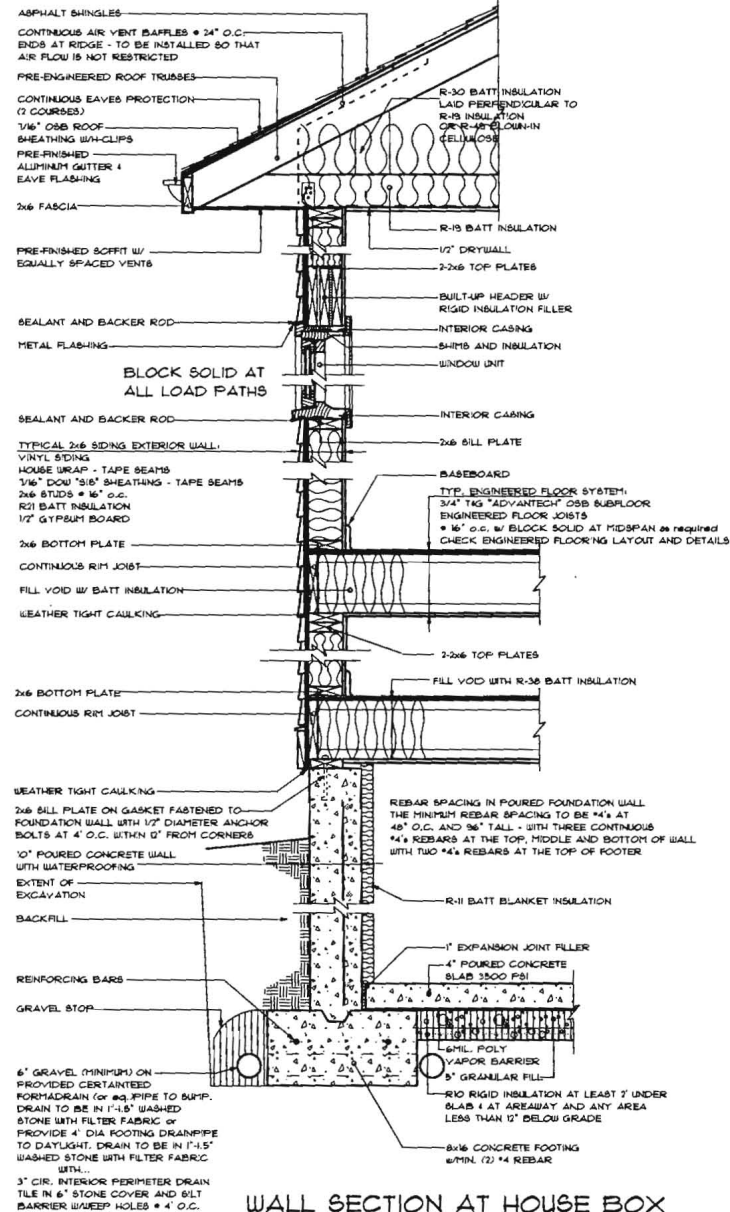
SECTIONS

5.01

DATE: February 09, 2014



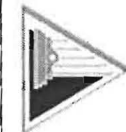
WALL SECTION AT GARAGE



WALL SECTION AT HOUSE BOX

CONTACT:
CARY CUMBERLAND
1715 Archers Glen
Sylvestre, MD 21784
MHRR #1185
(410) 489-4728
www.VikingCustomHomes.com

VIKING
CUSTOM HOMES
"Life Unfolds Here"



**Ellis
Residence**

PROJECT NO:
Bls-01

REVISIONS



ISSUE DATES:

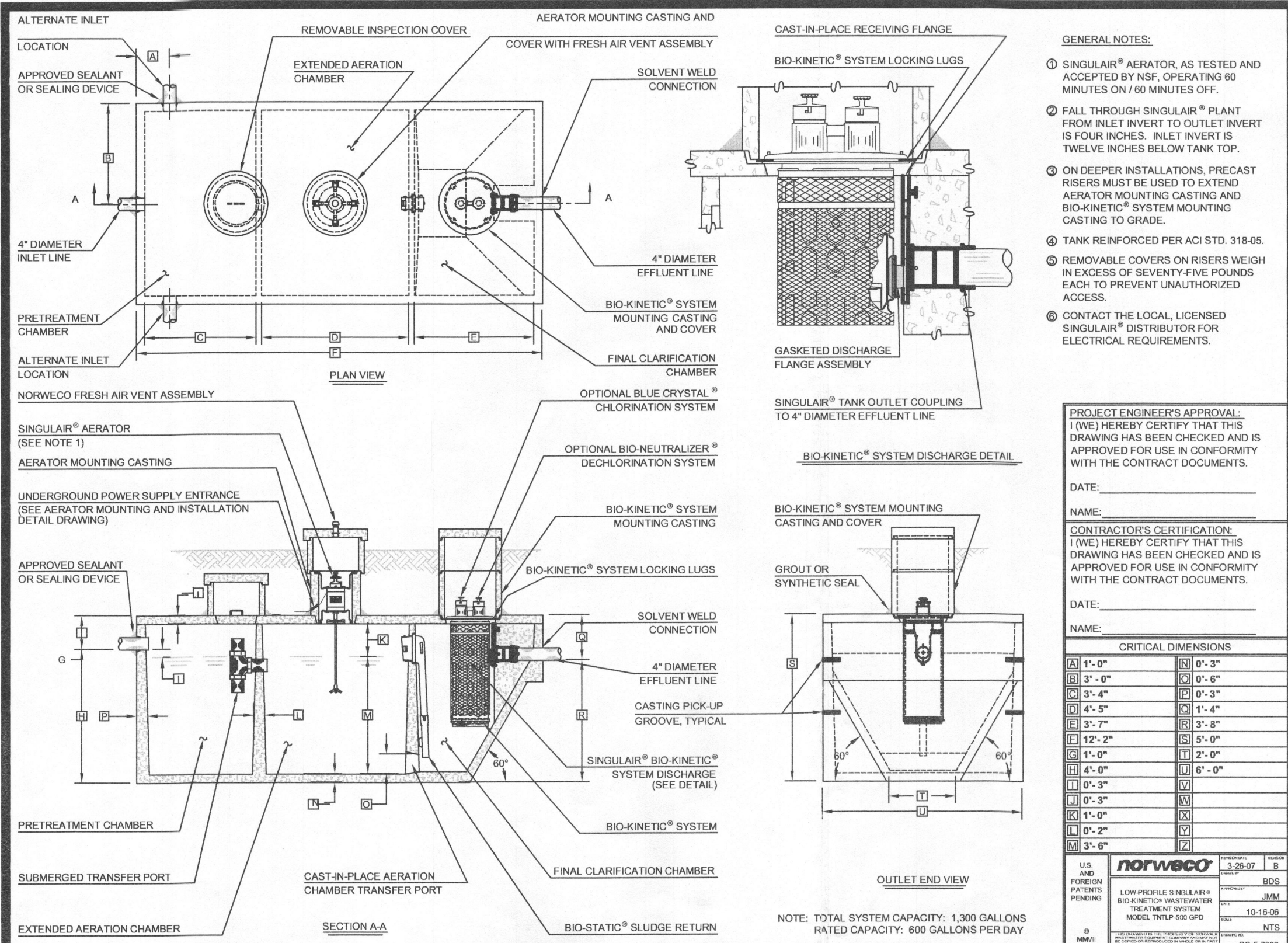
07-21-12 PERMIT SET

SCALE: 1"=1' 0"

WALL SECTIONS

5.10

DATE:
Tuesday, February 09, 2016



- GENERAL NOTES:**
- SINGULAR® AERATOR, AS TESTED AND ACCEPTED BY NSF, OPERATING 60 MINUTES ON / 60 MINUTES OFF.
 - FALL THROUGH SINGULAR® PLANT FROM INLET INVERT TO OUTLET INVERT IS FOUR INCHES. INLET INVERT IS TWELVE INCHES BELOW TANK TOP.
 - ON DEEPER INSTALLATIONS, PRECAST RISERS MUST BE USED TO EXTEND AERATOR MOUNTING CASTING AND BIO-KINETIC® SYSTEM MOUNTING CASTING TO GRADE.
 - TANK REINFORCED PER ACI STD. 318.05.
 - REMOVABLE COVERS ON RISERS WEIGH IN EXCESS OF SEVENTY-FIVE POUNDS EACH TO PREVENT UNAUTHORIZED ACCESS.
 - CONTACT THE LOCAL, LICENSED SINGULAR® DISTRIBUTOR FOR ELECTRICAL REQUIREMENTS.

PROJECT ENGINEER'S APPROVAL:
(WE) HEREBY CERTIFY THAT THIS DRAWING HAS BEEN CHECKED AND IS APPROVED FOR USE IN CONFORMITY WITH THE CONTRACT DOCUMENTS.

DATE: _____

NAME: _____

CONTRACTOR'S CERTIFICATION:
(WE) HEREBY CERTIFY THAT THIS DRAWING HAS BEEN CHECKED AND IS APPROVED FOR USE IN CONFORMITY WITH THE CONTRACT DOCUMENTS.

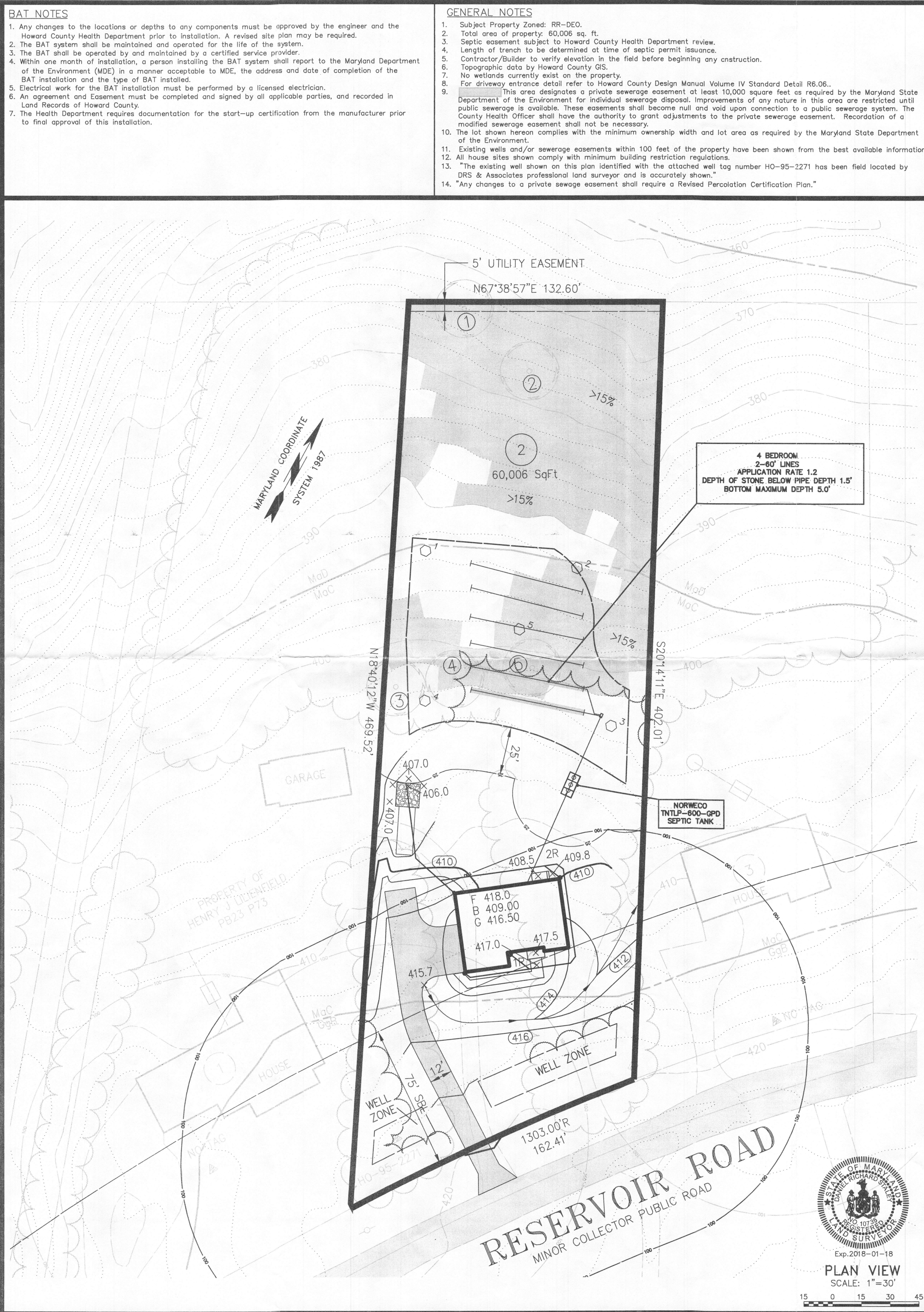
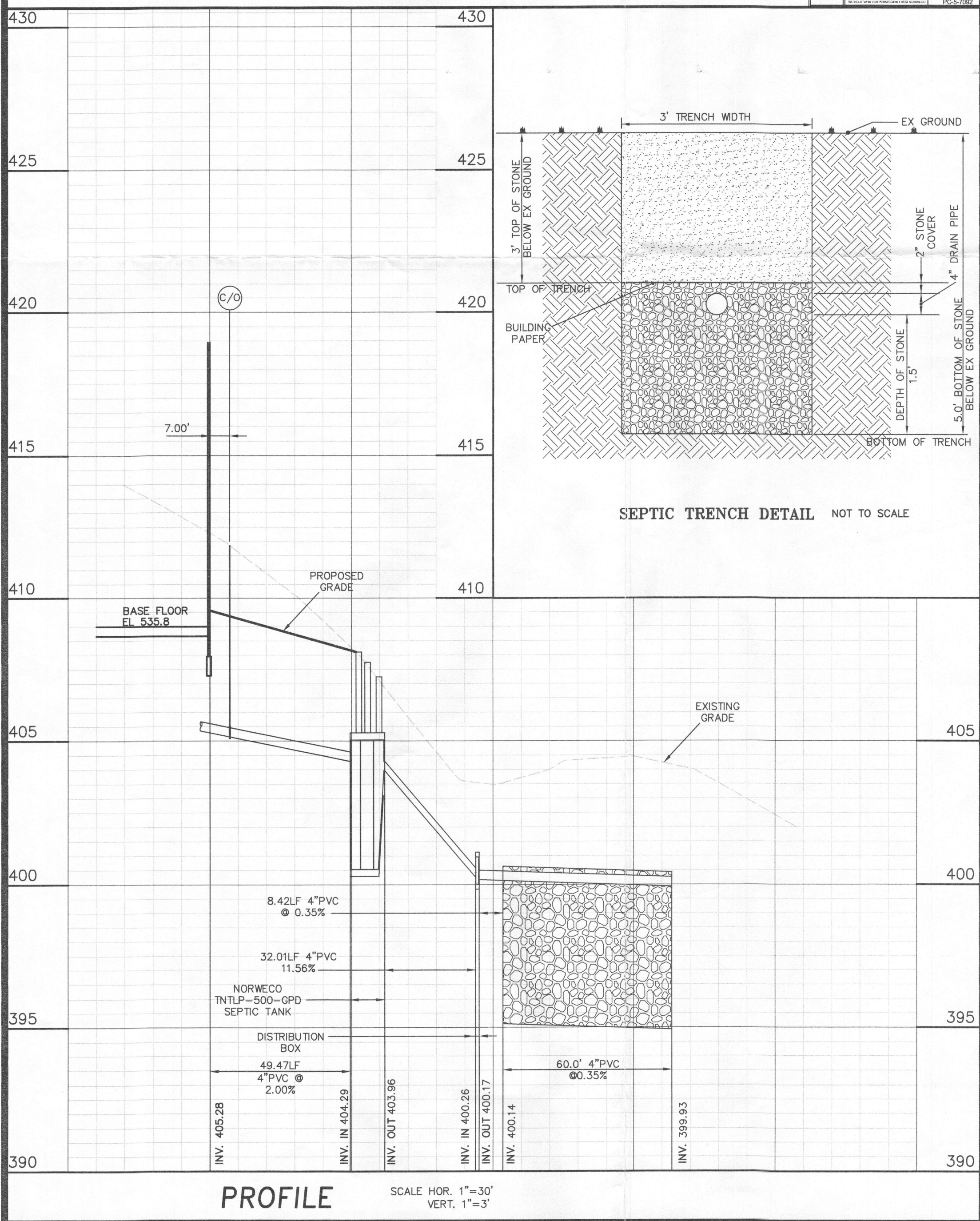
DATE: _____

NAME: _____

CRITICAL DIMENSIONS

NO.	DESCRIPTION	MIN.	MAX.
1	1'-0"	0'-0"	1'-0"
2	2'-0"	0'-0"	2'-0"
3	3'-0"	0'-0"	3'-0"
4	4'-0"	0'-0"	4'-0"
5	5'-0"	0'-0"	5'-0"
6	6'-0"	0'-0"	6'-0"
7	7'-0"	0'-0"	7'-0"
8	8'-0"	0'-0"	8'-0"
9	9'-0"	0'-0"	9'-0"
10	10'-0"	0'-0"	10'-0"
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16	16'-0"	0'-0"	16'-0"
17	17'-0"	0'-0"	17'-0"
18	18'-0"	0'-0"	18'-0"
19	19'-0"	0'-0"	19'-0"
20	20'-0"	0'-0"	20'-0"

U.S. GEOLOGICAL SURVEY
NORWECO
3-26-07
RDS
JMS
JMS
10-15-08
NTS
PG-6-7092



VICINITY MAP SCALE: 1"=2000'

LEGEND

Existing	Proposed
Cable Line	Cable Line
Center Line Rd	Center Line Rd
Curb	Curb
Easement	Easement
Electric	Electric
Edge of Rd	Edge of Rd
Edge of Shoulder	Edge of Shoulder
Feature separation distance in feet	Feature separation distance in feet
Fence Line	Fence Line
Flood Boundary 500 Yr.	Flood Boundary 500 Yr.
Flood Boundary 100 Yr.	Flood Boundary 100 Yr.
Floodway	Floodway
Forest	Forest
Forest Cons. Esmt.	Forest Cons. Esmt.
Flow Line (Swale, Ditch, Waterway)	Flow Line (Swale, Ditch, Waterway)
Gas Line	Gas Line
Guardrail	Guardrail
Int. Contours	Int. Contours
Int. Contours	Int. Contours
Limits of Disturbance	Limits of Disturbance
Lot Line	Lot Line
Municipal Boundary	Municipal Boundary
Overhead Lines	Overhead Lines
Plat Outline	Plat Outline
Right-Of-Way Line	Right-Of-Way Line
Septic Area	Septic Area
Set Back Line	Set Back Line
Sewer	Sewer
Soil Type	Soil Type
Storm Drain	Storm Drain
Stream	Stream
Stream Intermittent Soil Survey	Stream Intermittent Soil Survey
Telephone	Telephone
Underground Cable	Underground Cable
Water Line	Water Line
Zoning Line	Zoning Line
Bit. Conc. Pav.	Bit. Conc. Pav.
Concrete	Concrete
Slopes >15%	Slopes >15%
Point ID	Point ID
Cable Marker	Cable Marker
Clean Out, Sewer/Drain	Clean Out, Sewer/Drain
Discharge Flow (to swale, ditch, waterway)	Discharge Flow (to swale, ditch, waterway)
Dry Hole	Dry Hole
Dry Well	Dry Well
Electric Transformer	Electric Transformer
Mail Box	Mail Box
Sign / FCE Sign	Sign / FCE Sign
Specimen	Specimen
Candidate Tree	Candidate Tree
Spring	Spring
Structure	Structure
Telephone Pedestal	Telephone Pedestal
Utility Pole	Utility Pole
Utility Pole w/Guy Wire	Utility Pole w/Guy Wire
Well	Well

ABBREVIATIONS

HOPE	High Density Polyethylene
Hor	Horizontal
HP	High Point
Hse	House
IDE	Invert Ditch Elevation
Inv	Invert
IT	Infiltration Trench
L	Left or Lot
LF	Linear Feet
LoD	Limits of Disturbance
LoP	Limits of Paving
LP	Low Point
LPG	Linear Profile Grade
LVC	Length of Vertical Curve
M	Minutes
MPH	Miles Per Hour
NAD	North America Datum
NAVD	North America Vertical Datum
NDC	Nose Down Curb
NIC	Not in Contract
Off	Offset
P	Page
PB	Plat Book
PG	Proposed Grade
PL	Property Line
PBk	Plan Book
PWA	Public Works Agreement
R	Right or Radius
SBL	Set Back Line
SC	Sewer Connection
SD	Storm Drain
SgD	Subgrade Drain
SHA	State Highway Administration (Maryland)
Sh	Sheet
SR	State Roads Commission
SS	Sanitary Sewer
STD	Standard
SWMF	Stormwater Management Facility
to be Removed	to be Removed
Typ	Typical
WD	Walkout

SITE PLAN FOR BAT INSTALLATION
HENRY J LILIENFIELD PROPERTY
LOT 2

5TH ELECTION DISTRICT HOWARD COUNTY MARYLAND
8532 RESERVOIR RD FULTON, MARYLAND 20759
MAP 45 BLOCK 11 PARCEL 42 05-370531
DEED REFERENCE CLR16660 P0431 PLAT BOOK 23 PAGE 73
ZONED RR-DEO

BUILDER
Viking Custom Homes
815 Windriver Drive
Sykesville MD 21784
410-977-2188

OWNER
Chad & Allison Ellis
8510 Seneca Drive
Columbia, MD 21046
301-377-9087

D.R.S. & ASSOCIATES
LAND DESIGN CONSULTANTS
52 WINTERS STREET WESTMINSTER, MARYLAND 21157
410-848-4060 410-876-6040 F. 410-848-8818

REV. No. DATE BY DESCRIPTION

1	2016-03-07	DRS/jfs	Per Howard County Comments 2016-02-25
2	2016-04-13	DRS/jfs	Per Howard County Comments 2016-04-05

DATE: 2016-01-19
SCALE: 1"=30'
SHT. NO. 1 OF 1
DWG: WS01-01

PLAN VIEW
SCALE: 1"=30'

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Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

DLR 2016 JUL 30 PM 12:1
Date Received: _____

Permit No.: B10003206

Building Address: 13532 Kensington Rd
City: Fulton State: MD Zip Code: 20759
Suite/Apt. #: _____ SDP/WP/BA #: _____
Census Tract: _____ Subdivision: _____
Section: _____ Area: _____ Lot: 2
Tax Map: 45 Parcel: _____ Grid: 4B-11
Zoning: _____ Map Coordinates: _____ Lot Size: _____
Existing Use: 140
Proposed Use: SD w/ parking
Estimated Construction Cost: \$ _____
Description of Work: _____
Occupant or Tenant: _____
Was tenant space previously occupied? ☐ Yes ☐ No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Property Owner's Name: CHAD ELLIS
Address: 6610 Seaside Dr
City: Columbia State: MD Zip Code: 21046
Phone: 301-277-9067 Fax: _____
Email: _____
Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: Jerome C. Long
Address: P.O. Box 710
City: Perry Hall State: MD Zip Code: 21129
Phone: 410-740-289 Fax: _____
Email: Jerome@AppliedAndApproved.com
Contractor Company: TECH INC
Contact Person: Dennis Seaton
Address: 1500 K St
City: Baltimore State: MD Zip Code: 21205
License No.: 81215
Phone: 410-941-5091 Fax: _____
Email: _____
Engineer/Architect Company: _____
Responsible Design Prof.: _____
Address: Continental
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height:	☐ SF Dwelling ☐ SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor:
	2 nd floor:
Area of construction (sq. ft.):	Basement:
	☐ Finished Basement
Use group:	☐ Unfinished Basement
	☐ Crawl Space
Construction type:	☐ Slab on Grade
☐ Reinforced Concrete	No. of Bedrooms:
☐ Structural Steel	Multi-family Dwelling
☐ Masonry	No. of efficiency units:
☐ Wood Frame	No. of 1 BR units:
☐ State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
☒ Roadside Tree Project Permit	Footings:
☐ Yes ☐ No	Roof:
Roadside Tree Project Permit #	☐ State Certified Modular
	☐ Manufactured Home

Utilities
Water Supply
☐ Public
☒ Private
Sewage Disposal
☐ Public
☒ Private
Electric: ☐ Yes ☒ No
Gas: ☒ Yes ☐ No
Heating System
☐ Electric ☐ Oil
☐ Natural Gas ☐ Propane Gas
☐ Other:
Sprinkler System:
☐ Yes ☒ No
Grading Permit Number:
Building Shell Permit Number:

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: _____ Print Name: Jerome C. Long
Email Address: _____ Date: 7/15/16
Title/Company: _____

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>8/1/16</u>	<u>Paul J. Long</u>

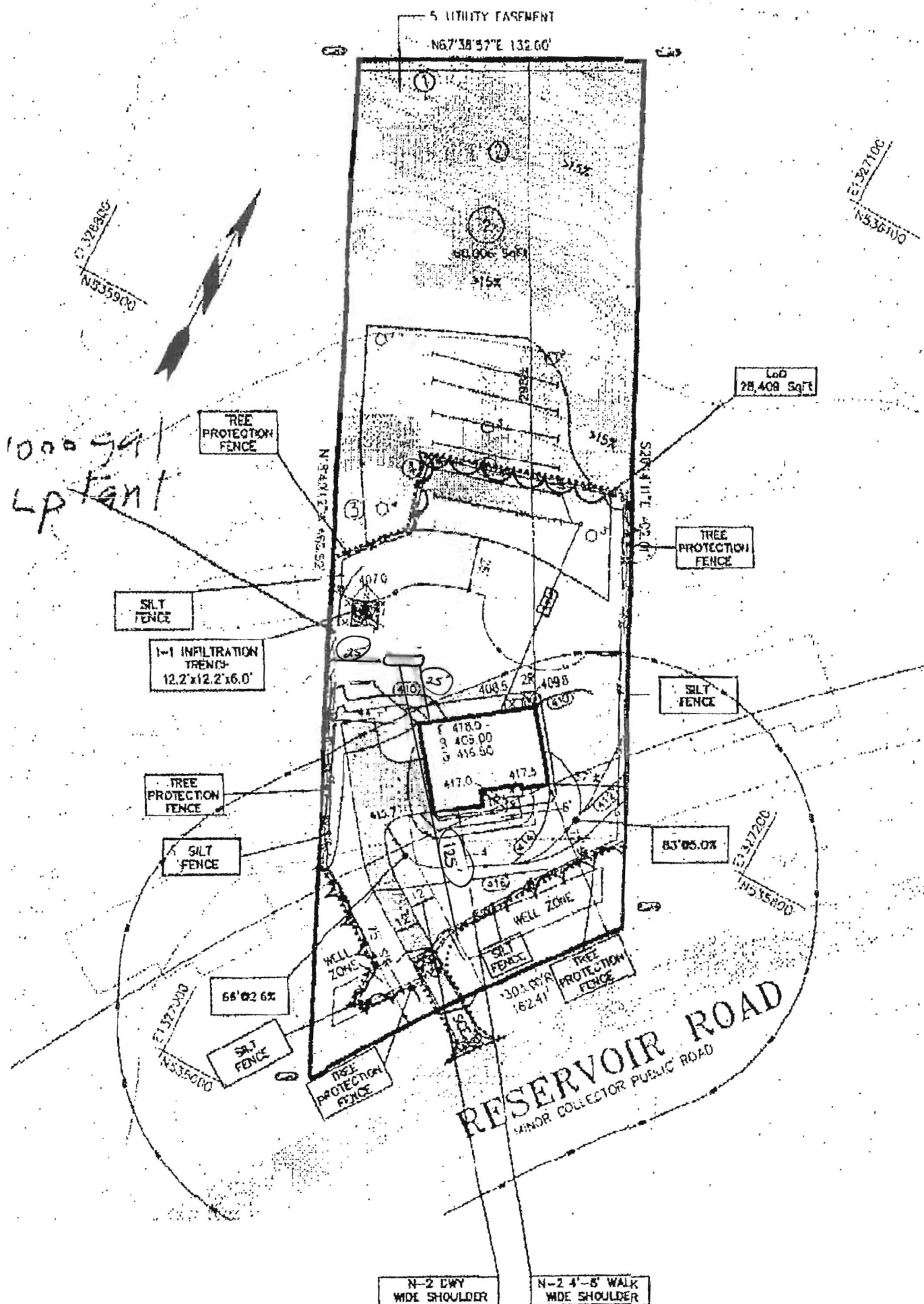
DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? ☐ Yes ☐ No
Is Entrance Permit Required? ☐ Yes ☐ No
Historic District? ☐ Yes ☐ No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# <u>5370</u>

Approved BP B16063206
R/E 8/1/16

8532 Reservoir Rd

1" = 60'



Property

Owner	
P.L.#	5376
P.L.#	5382
P.L.#	5387
P.L.#	5388
P.L.#	5389
P.L.#	5390
P.L.#	5391
P.L.#	5392
P.L.#	5393
P.L.#	5394
P.L.#	5395
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P.L.#	5399
P.L.#	5400
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P.L.#	5500

STORMWATER MANAGE
Lot 2 of Henry J. Li Reservoir Road upper Reservoir Road and L include a residential Stormwater Management multiple. The 1-1 infiltration trench will utilize the driveway will utilize a 1-1 infiltration trench for septic, water supply to the 1-1 infiltration

DESIGN NARRATIVE
Lot 2 of Henry J. Li Reservoir Road upper Reservoir Road and L include a residential Stormwater Management multiple. The 1-1 infiltration trench will utilize the driveway will utilize a 1-1 infiltration trench for septic, water supply to the 1-1 infiltration

FOREST STAND DATA
Lot 2 of Henry J. Li Reservoir Road upper Reservoir Road and L include a residential Stormwater Management multiple. The 1-1 infiltration trench will utilize the driveway will utilize a 1-1 infiltration trench for septic, water supply to the 1-1 infiltration

Site Analysis
disturbed Area...
wetlands...
floodplains...
forest...
steep slopes 15%
Site use...
green open area...
marginal area...
forest to be cleared

DAI	DAI
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