



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: B17001504

Building Address: 260210 10th Court Rd
City: CURRYVILLE State: MD Zip Code: 21029
Suite/Apt. # _____ SDP/WP/BA #: _____
Census Tract: _____ Subdivision: 101501
Section: _____ Area: _____ Lot: _____
Tax Map: 34 Parcel: _____ Grid: _____
Zoning: _____ Map Coordinates: _____ Lot Size: 1.15AC

Existing Use: Shop
Proposed Use: Shop
Estimated Construction Cost: \$ 1000
Description of Work: INSTALL 1000 GAL UNDERGROUND TANK PROPANE
Occupant or Tenant: CUSCO
Was tenant space previously occupied? ☐ Yes ☐ No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Property Owner's Name: Joseph R. Rutter
Address: 10400 New Sta Ct
City: Quincy State: MD Zip Code: 21041
Phone: _____ Fax: _____
Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: Michael L. Rutter
Address: 10400 New Sta Ct
City: Quincy State: MD Zip Code: 21041
Phone: 410-313-2455 Fax: _____
Email: Michael.Rutter@howardcountymd.gov

Contractor Company: H.I. Potts
Contact Person: Michael L. Rutter
Address: 3000 Main St
City: Curryville State: MD Zip Code: 21029
License No.: 100024
Phone: 301-705-3332 Fax: _____
Email: _____

Engineer/Architect Company: Conner
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor:
	2 nd floor:
Area of construction (sq. ft.):	Basement:
	<input type="checkbox"/> Finished Basement
Use group:	<input type="checkbox"/> Unfinished Basement
	<input type="checkbox"/> Crawl Space
Construction type:	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:
<input type="checkbox"/> Structural Steel	Multi-family Dwelling
<input type="checkbox"/> Masonry	No. of efficiency units:
<input type="checkbox"/> Wood Frame	No. of 1 BR units:
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
➤ Roadside Tree Project Permit	Footings:
<input type="checkbox"/> Yes <input type="checkbox"/> No	Roof:
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities
Water Supply
<input type="checkbox"/> Public
<input type="checkbox"/> Private
Sewage Disposal
<input type="checkbox"/> Public
<input type="checkbox"/> Private
Electric: <input type="checkbox"/> Yes <input type="checkbox"/> No
Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No
Heating System
<input type="checkbox"/> Electric <input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas
Other:
Sprinkler System:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Grading Permit Number:
Building Shell Permit Number:

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Michael L. Rutter
Email Address: Michael.Rutter@howardcountymd.gov
Title/Company: _____

Print Name: _____
Date: 4/17/17

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY.

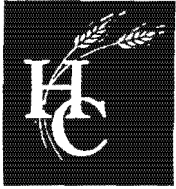
PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>4/23/17</u>	<u>U. Oswald</u>
Is Sediment Control approval required for issuance? <input type="checkbox"/> Yes <input type="checkbox"/> No		
<input type="checkbox"/> CONTINGENCY CONSTRUCTION START		

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ <u>100</u>
Permit Fee	\$ <u>10</u>
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$ <u>110.00</u>
Sub-Total Paid	\$
Balance Due	\$
Check	# <u>5701</u>

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA



HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

3430 Courthouse Drive ■ Ellicott City, Maryland 21043 ■ 410-313-2350

Marsha S. McLaughlin, Director

www.howardcountymd.us

FAX 410-313-3467

TDD 410-313-2323

August 17, 2015

Michael Butler
5650 Ten Oaks Road
Clarksville, Maryland 21029

RE: 5650 Ten Oaks Road
Portion of Tax Map 34, Grid 4, Parcel 10
1.159 acre portion (the "Second Portion")

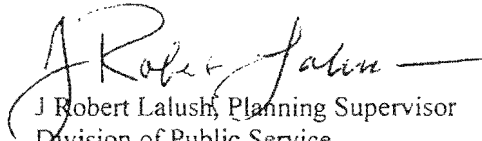
Dear Mr. Butler:

I am writing in response to your request regarding the Second Portion referenced above. You ask whether the Second Portion is a legally created "buildable lot". You submitted several deeds and a plot plan as documentation for the creation of the Second Portion.

This Division has evaluated the materials you submitted with your letter, and we have concluded that the Second Portion was created in 1973 with the recording of a deed in Liber 662 Folio 340. According to the Subdivision and Land Development Regulations which would have been in effect in 1973, the creation of one new residential lot by deed would have been permitted, and the Second Portion was zoned R-40 at that time, so it complied with the minimum lot size of 40,000 square feet in the R-40 District. Based on this conclusion, we consider the Property to be a valid lot for which this Division will grant authorization on a building permit for a single-family detached dwelling, but only if the dwelling fully complies with the current setback requirements for the RR (Rural: Residential) District.

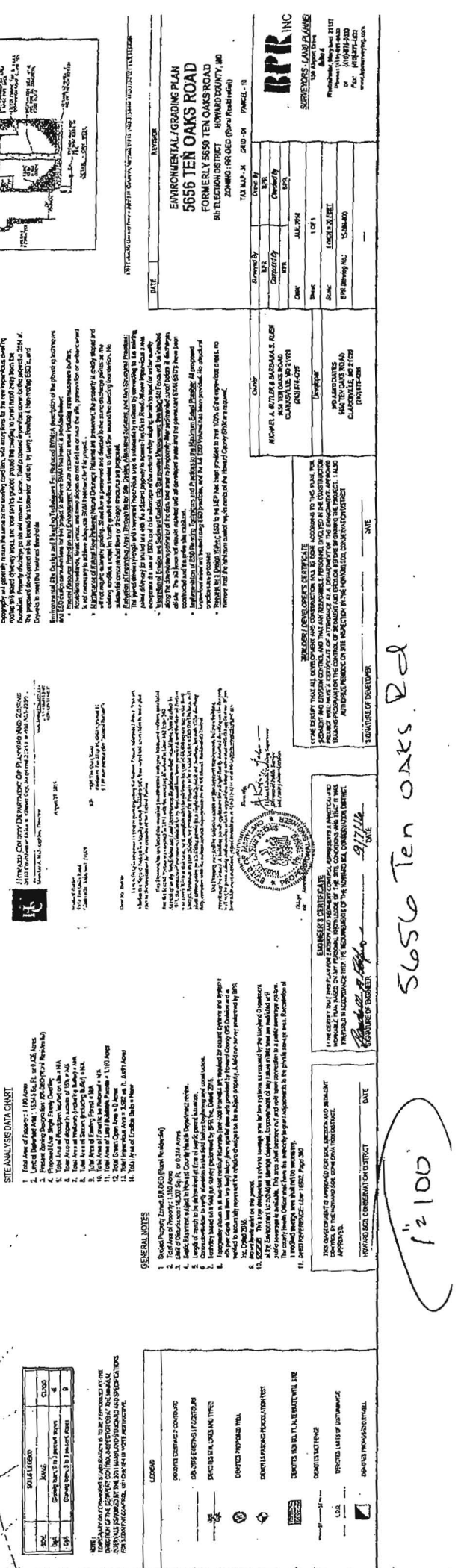
The Property may still be subject to access or plan approval requirements before a building permit may be issued. A building permit application for a single-family detached dwelling on the Property will not be given zoning authorization unless a copy of this letter is submitted with the application. If you have additional questions, please contact me at 410-313-4344 or at blalush@howardcountymd.gov

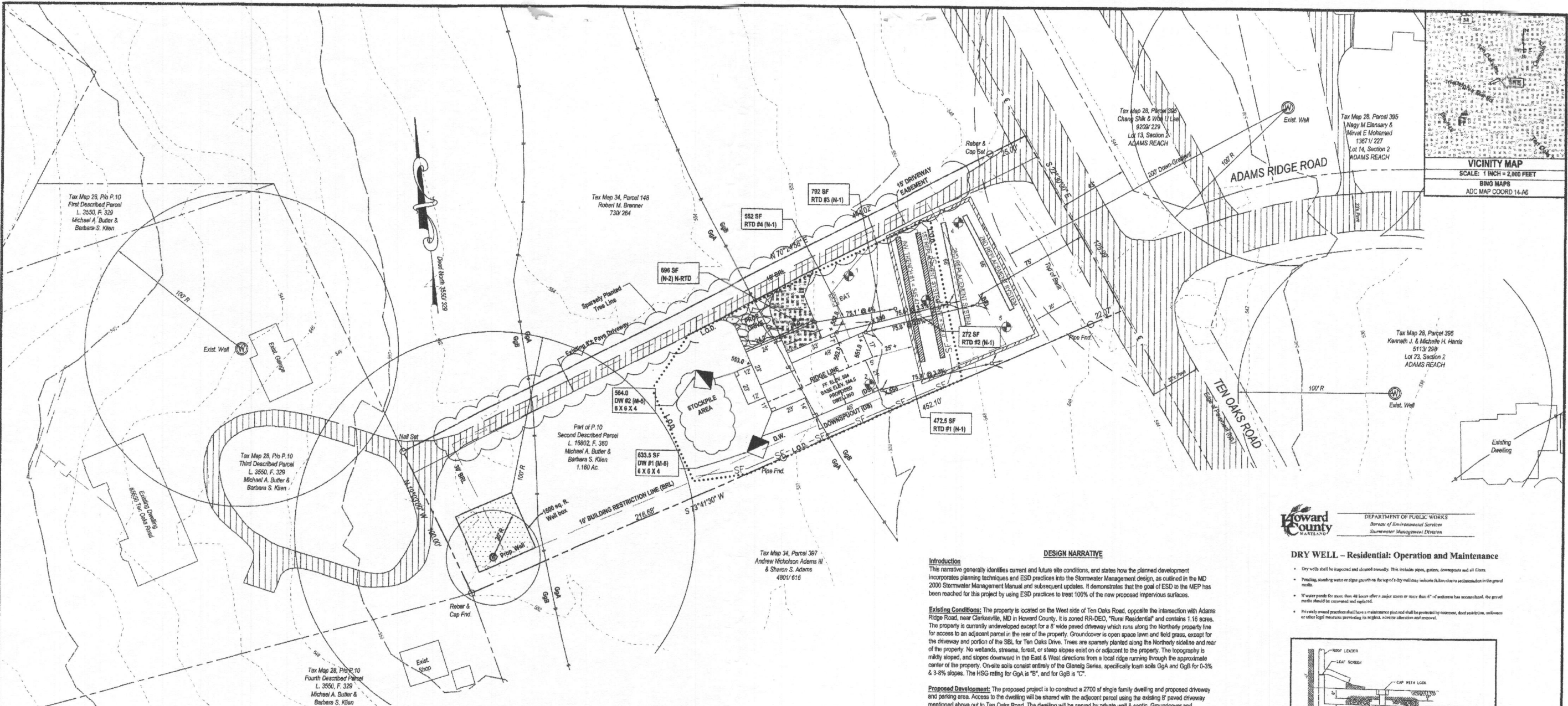
Sincerely,


J Robert Lalush, Planning Supervisor
Division of Public Service
and Zoning Administration

JRL:jrl

cc: Annette Merson





SOILS LEGEND		
SOIL	NAME	CLASS
GgA	Generally loam, 0 to 5 percent slopes	S
GgB	Generally loam, 3 to 5 percent slopes	B

NOTE:
TEMPORARY OR PERMANENT STABILIZATION IS TO BE PERFORMED AT THE
DIRECTION OF THE SEDIMENT CONTROL INSPECTOR OR AT THE MINIMUM
INTERVALS REQUIRED BY THE 2011 MARYLAND STANDARD AND SPECIFICATIONS
FOR SEDIMENT CONTROL, WHICHEVER IS MORE RESTRICTIVE.

SITE ANALYSIS DATA CHART

1. Total Area of Property: 1.160 Acres
2. Limit of Disturbance Area: 18,545 Sq. Ft. or 0.426 Acres
3. Present Zoning Designation: RR-DEO (Rural Residential)
4. Proposed Use: Single Family Dwelling
5. Total Area of Floodplain located on site = N/A
6. Total Area of slopes in excess of 15% = N/A
7. Total Area of Wetlands (including Buffer) = N/A
8. Total Area of Stream (including Buffer) = N/A
9. Total Area of Existing Forest = N/A
10. Total Area of Forest to be Retained = N/A
11. Total Area of Lots / Buildable Parcels = 1.160 Acres
12. Total Green Open Area = 0 Acres
13. Total Impervious Area = 3,962 sq. ft. 0.091 Acres
14. Total Area of Eroding Soils = None

GENERAL NOTES

1. Subject Property Zoned: RR-DEO (Rural Residential)
2. Total Area of Property: 1.160 Acres
3. Limit of Disturbance: 16,307 Sq. Ft. or 0.374 Acres
4. Septic Easement subject to Howard County Health Department review.
5. Length of trench to be determined at time of septic permit issuance.
6. Contractor/Builder to verify elevation in the field before beginning and construction.
7. Boundary based on a field run survey performed by BPR Inc. Dated 2016.
8. Topography shown is at two-foot contour intervals (one-foot intervals are required for mound systems and systems with pipe depth less than two feet) taken from spatial data sets provided by Howard County GIS Division and is verified to accurately represent the relative changes on the subject property. A field run survey performed by BPR Inc. Dated 2016.
9. No wetlands exist on this parcel.
10. [Z2222] This area designates a private sewage area for two systems as required by the Maryland Department of the Environment for individual sewage disposal. Improvements of any nature in this area are restricted until public sewerage is available. This area shall become null and void upon connection to a public sewerage system. The county Health Officer shall have the authority to grant adjustments to the private sewage area. Recordation of a modified sewage area shall not be necessary.
11. DEED REFERENCE: Liber 18802, Page 360

THIS DEVELOPMENT IS APPROVED FOR SOIL EROSION AND SEDIMENT
CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
APPROVED:

HOWARD SOIL CONSERVATION DISTRICT DATE

ENGINEER'S CERTIFICATE

I / WE CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND
WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS
PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

SIGNATURE OF ENGINEER

DATE

HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
3430 Courthouse Drive ■ Elkton City, Maryland 21043 ■ 410-313-2350
Marsha S. McLaughlin, Director

August 17, 2015

Michael Butler
5650 Ten Oaks Road
Clarksville, Maryland 21029

RE: 5650 Ten Oaks Road
Portion of Tax Map 34, Grid 4, Parcel 10
1.159 acre portion (the "Second Portion")

Dear Mr. Butler:

I am writing in response to your request regarding the Second Portion referenced above. You ask
whether the Second Portion is a legally created "buildable lot." You submitted several deeds and a plot
plan as documentation for the creation of the Second Portion.

This Division has evaluated the materials you submitted with your letter, and we have concluded
that the Second Portion was created in 1973 with the recording of a deed in Liber 662 Folio 340.
According to the Subdivision and Land Development Regulations which would have been in effect in
1973, the creation of one new residential lot by deed would have been permitted, and the Second Portion
was created R-40 at that time, so it complied with the minimum lot size of 40,000 square feet in the R-40
District. Based on this conclusion, we consider the Property to be a valid lot for which this Division will
grant authorization via a building permit for a single-family detached dwelling, but only if the dwelling
fully complies with the current setback requirements for the RR (Rural Residential) District.

The Property may still be subject to 80 access or plan approval requirements before a building
permit may be issued. A building permit application for a single-family detached dwelling on the Property
will not be given pending authorization unless a copy of this letter is submitted with the application. If you
have additional questions, please contact us at 410-313-4744 or at bblough@hcd.net and go.

Sincerely,

Marsha S. McLaughlin
Director, Planning and Zoning Administration



BUILDER / DEVELOPER'S CERTIFICATE

I / WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, FOR
SEDIMENT AND EROSION CONTROL, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION
PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED
TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO
AUTHORIZE PERIODIC ON SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

SIGNATURE OF DEVELOPER

DATE

DESIGN NARRATIVE

Introduction

This narrative generally identifies current and future site conditions, and states how the planned development
incorporates planning techniques and ESD practices into the Stormwater Management design, as outlined in the MD
2000 Stormwater Management Manual and subsequent updates. It demonstrates that the goal of ESD to the MEP has
been reached for this project by using ESD practices to treat 100% of the new proposed impervious surfaces.

Existing Conditions: The property is located on the West side of Ten Oaks Road, opposite the intersection with Adams
Ridge Road, near Clarksville, MD in Howard County. It is zoned RR-DEO, "Rural Residential" and contains 1.16 acres.
The property is currently undeveloped except for a 5' wide paved driveway which runs along the Northernly property line
for access to an adjacent parcel in the rear of the property. Groundcover is open space lawn and field grass, except for
the driveway and portion of the SBL for Ten Oaks Drive. Trees are sparsely planted along the Northernly sideline and rear
of the property. No wetlands, streams, forest, or steep slopes exist on or adjacent to the property. The topography is
mildly sloped, and slopes downward in the East & West directions from a local ridge running through the approximate
center of the property. On-site soils consist entirely of the Glenelg Series, specifically loam soils GgA and GgB for 0-3%
& 3-8% slopes. The HSG rating for GgA is "B", and for GgB is "C".

Proposed Development: The proposed project is to construct a 2700 sf single family dwelling and proposed driveway
and parking area. Access to the dwelling will be shared with the adjacent parcel using the existing 8' paved driveway
mentioned above out to Ten Oaks Road. The dwelling will be served by private well & septic. Groundcover and
topography will generally remain the same as the existing condition, with exceptions for the new impervious dwelling
roof and paved driveway areas, and local swales graded around the dwelling to divert runoff away from the
foundation. Property discharge points will remain the same. Total proposed impervious cover for the project is 3984 sf.
The proposed development will be treated for stormwater entirely by using: 1) Roof-top & Non-roof-top ESD's, and
Drywells to meet the treatment thresholds.

Environmental Site Design and Planning Techniques For Reduced SWM: A description of the planning techniques
and ESD design considerations for this project to achieve SWM treatment is provided below:

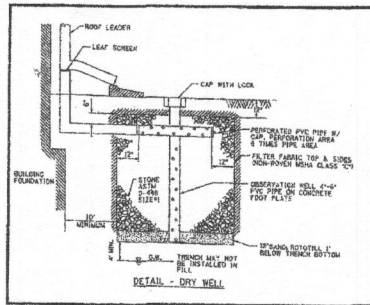
- **Natural Resource Protection and Enhancement:** Natural resource areas including stream/stream buffers,
floodplains, wetlands, forest areas, and steep slopes do not exist on or near the site, preservation or enhancement
is not necessary to achieve adequate SWM treatment for this project.
- **Maintenance of Natural Flow Patterns:** Natural Drainage Patterns are preserved, the property is mildly sloped and
will not require extensive grading. Sheet flow is preserved and directed to the same discharge points as the
existing condition except for locally graded shallow swales to divert flow around the dwelling foundation. No
substantial concentrated flows or drainage structures are proposed.
- **Reduction of Impervious Areas Through Better Site Design, Alternative Surfaces, and Non-Structural Practices:**
The paved driveway length and associated impervious area is substantially reduced by connecting to the existing
paved driveway for shared use with the adjacent property to access Ten Oaks Road. All new impervious areas
incorporate the use of ESD's and take advantage of the natural mild sloping terrain to treat for water quality.
- **Integration of Erosion and Sediment Controls into Stormwater Management Strategy:** Silt Fence will be installed
along the downstream perimeter of the disturbed area to temporarily filter sediment runoff before it discharges
off-site. The silt fence will remain installed until all developed areas and the permanent SWM ESD's have been
constructed and the entire site stabilized.
- **Implementation of ESD Planning Techniques and Practices to the Maximum Extent Possible:** All proposed
impervious areas are treated using ESD practices, and the full ESD Volume has been provided. No structural
practices are proposed.
- **Request for a Design Waiver:** ESD to the MEP has been provided to treat 100% of the impervious area, no
Waivers from the minimum control requirements of the Howard County SWM are required.



DEPARTMENT OF PUBLIC WORKS
Bureau of Environmental Services
Stormwater Management Division

DRY WELL - Residential: Operation and Maintenance

- Dry wells shall be inspected and cleaned annually. This includes pipes, gutters, downspouts and all filters.
- Fertilizing, mounding water or algae growth on the top of a dry well may indicate failure; due to accumulation in the gravel
media.
- If water ponds for more than 48 hours after a rain event or more than 6" of sediment has accumulated, the gravel
media should be excavated and replaced.
- Privately owned practices shall have a maintenance plan and shall be protected by easement, deed restriction, ordinance
or other legal measures preventing its neglect, abuse, alteration and removal.



6751 Columbia Gateway Drive ■ Suite 314 ■ Columbia, Maryland 21046 (410) 313-4444 TDD 313-2323 FAX 313-6490

DATE	REVISION	BY
ENVIRONMENTAL / GRADING PLAN 5656 TEN OAKS ROAD FORMERLY 5650 TEN OAKS ROAD 5th ELECTION DISTRICT HOWARD COUNTY, MD ZONING: RR-DEO (Rural Residential) TAX MAP - 34 GRID - 04 PARCEL - 10		
Surveyed By	BPR	Drawn By
Computed By	BPR	Checked By
Date:	JAN. 2016	BPR
Sheet:	1 OF 1	
Scale:	1 INCH = 30 FEET	
BPR Drawing No.:	15-086-000	

BPR INC
SURVEYORS - LAND PLANNERS
150 Airport Drive
Suite 4
Westminster, Maryland 21157
Phone: (410)-877-9030
or Fax: (410)-876-1532
www.bprsurveying.com



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: B16004076

Building Address: 5656 TEN OAKS RD
City: CHANNESVILLE State: MD Zip Code: 21029
Suite/Apt. # _____ SDP/WP/BA #: _____
Census Tract: _____ Subdivision: _____
Section: _____ Area: _____ Lot: _____
Tax Map: _____ Parcel: _____ Grid: _____
Zoning: _____ Map Coordinates: _____ Lot Size: 1.160X

Existing Use: VACANT
Proposed Use: SINGLE FAMILY DWELLING
Estimated Construction Cost: \$ 450,000
Description of Work: CONSTRUCT SINGLE FAMILY DWELLING

Occupant or Tenant: _____
Was tenant space previously occupied? ☐ Yes ☒ No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 st floor: <u>42</u>	<u>66</u>
	2 nd floor: <u>42</u>	<u>37</u>
Area of construction (sq. ft.):	Basement: <u>72</u>	<u>510</u>
	<input type="checkbox"/> Finished Basement	
Use group:	<input checked="" type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
Construction type:	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms: <u>4</u>	
<input type="checkbox"/> Structural Steel	Multi-family Dwelling	
<input type="checkbox"/> Masonry	No. of efficiency units: _____	
<input type="checkbox"/> Wood Frame	No. of 1 BR units: _____	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units: _____	
	No. of 3 BR units: _____	
	Other Structure: _____	
	Dimensions: _____	
➤ Roadside Tree Project Permit	Footings: _____	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof: _____	
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Property Owner's Name: JUDITH E. CHITLIN HOLM
Address: 5656 TEN OAKS RD
City: CHANNESVILLE State: MD Zip Code: 21029
Phone: 410-313-2455 Fax: _____
Email: JUDITH.E.CHITLIN@HOWARD.MD.GOV

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: CHITLIN, JUDITH E.
Address: 5656 TEN OAKS RD
City: CHANNESVILLE State: MD Zip Code: 21029
Phone: _____ Fax: _____
Email: JUDITH.E.CHITLIN@HOWARD.MD.GOV

Contractor Company: CHITLIN, JUDITH E.
Contact Person: JUDITH E. CHITLIN
Address: 5656 TEN OAKS RD
City: CHANNESVILLE State: MD Zip Code: 21029
License No.: _____
Phone: _____ Fax: _____
Email: _____

Engineer/Architect Company: _____
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Utilities	
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input type="checkbox"/> Private	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Heating System	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number: <u>G16000259</u>	
Building Shell Permit Number: _____	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature _____

Print Name CHITLIN, JUDITH E.

Email Address _____

Date 9/29/16

Title/Company _____

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY

-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>9/29/16</u>	<u>H. Oswald</u>

Is Sediment Control approval required for issuance? ☐ Yes ☒ No
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ <u>100.00</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# <u>446</u>

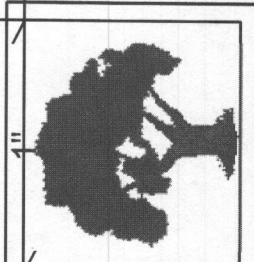
Distribution of Copies: White: Building Officials Green: PSZA, Zoning Yellow: PSZA, Engineering Pink: Health Gold: SHA

PULVER RESIDENCE

5650 TEN OAKS ROAD
CLARKSVILLE, MD 21029



RECEIVED
AUG 16 2016
HOWARD COUNTY HEALTH DEPT.
BUREAU OF ENVIRONMENTAL HEALTH



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
TITLE PAGE

PROJECT DESCRIPTION:
PULVER RESIDENCE
5656 Ten Oaks Rd
Clarksville, MD 21029

DRAWINGS PROVIDED BY:
M. BUTLER & ASSOCIATES
DBA
DESIGN & CONSTRUCTION SERVICES

DATE:
7/18/2016
SCALE:
SHEET:
A-1

ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR
AD	ADAPTABLE
ADJ	ADJACENT
ALT	ALTERNATE
ALUM	ALUMINUM
APT	APARTMENT
BM	BEAM
BLK	BLOCK
BLKG	BLOCKING
BRKts	BRACKETS
BUR	BUILT UP ROOF
CPT	CARPETS
CIP	CAST IN PLACE
CLS	CEILING
CTB	CEMENT FIBER BOARDS
CL	CENTER LINE
CL	CERAMIC TILE
C	CHANNEL
COL	COLUMN
CONC	CONCRETE
CMU	CONCRETE MASONRY UNITS
CONSTR	CONSTRUCTION
CONT	CONTINUOUS
CJ	CONTROL JOINT
CORR	CORRIDOR
D	DEEP
DET	DETAIL
d	DIAMETER
DIMS	DIMENSIONS
DISP	DISPENSER
DN	DOWN
DWGS	DRAWINGS
EA	EACH
EL, ELEV	ELEVATION
ELEV	ELEVATOR
EQ	EQUAL
EXT	EXTERIOR
FIN	FINISH
FE	FIRE EXTINGUISHER
FIXT	FIXTURE
FLR	FLOOR
FD	FLOOR DRAIN
FURR	FURRING
GALV	GALVANIZED
GL	GLASS
GB	GRAB BAR
GYP BD	GYP SUM BOARD
GWB	GYP SUM WALL BOARD
HC	HANDICAPPED
HDND	HARDWOOD
HT	HEIGHT
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HR	HOUR
INSUL	INSULATION
INT	INTERIOR
JAN	JANITOR
JTS	JOINTS
JST	JOIST
LAV	LAVATORY
LOC	LOCATION
MAINT	MAINTENANCE
MFR	MANUFACTURER
MAS	MASONRY
MAX	MAXIMUM
MECH	MECHANICAL
M	MEN'S TOILET
MTL	METAL
MIN	MINIMUM, MINUTE
MR	MOISTURE RESISTANT
NRCA	NATL ROOFING CONTR'S ASSO
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OC	ON CENTER
OPP	OPPOSITE
OD	OUTSIDE DIAMETER
PTD	PAINTED
PT	PAPER TOWEL
PART	PARTICLE
PERIM	PERIMETER
P LAM	PLASTIC LAMINATE
P	PLATE
RCP	REFLECTED CEILING PLAN
REF	REFRIGERATOR
REQ'D	REQUIRED
R	RISER
RO	ROUGH OPENING
SNR	SANITARY NAPKIN RECEPTOR
SIM	SIMILAR
ST, STL	STEEL
STOR	STORAGE
SW	STORM WATER
STRUCT	STRUCTURAL
SUPP	SUPPLIER
TP	TOILET PAPER
T&G	TONGUE AND GROOVE
T&B	TOP AND BOTTOM
TB	TOWEL BAR
T	TREAD
TYP	TYPICAL
U.L.	UNDERWRITERS LABORATORY
VB	VAPOR BARRIER
VERT	VERTICAL
WC	WATER CLOSET
W	WITH
W	WOMEN'S TOILET
WOOD	WOOD

ZONING INFORMATION

Zoning District	RR	
Lot Area	1.160 ac	
Setbacks	Req'd	Proposed
Front	75'	125'
Side	10'	11'45"
Rear	30'	230'+
Max Height	40'	28'

BUILDING CODE INFORMATION

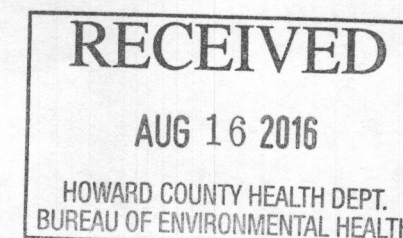
Controlling Codes	Edition
International Building Code	2015
International Residential Code	2015
International Mechanical Code	2015
International Energy Conserv Code	2015
The Life Safety Code	2015
Use group	Single Family
Type of Construction	R-3
Height (total height/# story)	5B
Building Area	28'2st
Living Area (conditioned)	
Total Area (conditioned + unconditioned)	

PROJECT DESIGN CRITERIA

GENERAL		
Ground Snow Load		25 psf
Wind speed		<115 mph
Topographic effects		No
Special Wind Region		No
Wind Borne Debris Zone		No
Seismic Category		A
Subject to damage from;		
Weathering		Severe
Frost depth		30"
Termites		MDD-Heavy
Decay		Slight
Energy Climate Zone		4
Winter Design Temp		+13 F
Ice Barrier Underlay Required		Y
Flood hazards		See Maps
Air freezing index		500
Mean Annual Temperature		55
SOIL CLASSIFICATION DATA		
Group		1
Type		GC
Assumed bearing Capacity		2,000 psf
STRUCTURAL LOADS		
Slab on Grade		100/40
Rooms other than sleeping		40/10
Sleeping rooms		30/10
Attic w/ storage		20/10
Attic w/o storage		10/7
Roof		30/10
Stairs		40/10
Balconies		60/15
Decks		40/10
DEFLECTION		
Rafters		Design D
	Slope >3/12	L/180
	Slope <3/12	L/240
Interior walls & Partitions		H/180
Floors and Plastered Ceilings		L/360
All other Structural Members		L/240
Exterior walls		
with plaster or stucco finish		H/360
with brittle finish		L/240
with flexible finish		L/120

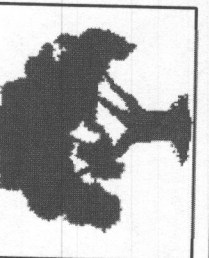
SHEET INDEX

A.1	Title Page
A.2	Project Information
A.3	Site Plan
A.4	General Notes
A.5	Schedules & Notes
A.6	Foundation Plan
A.7	Basement Plan
A.8	1st Floor Plan
A.9	2nd Floor Plan
A.10	Roof Plan
A.11	Elevations
A.12	Elevations (2)
A.13	Sections
A.14	Details
A.15	Wall Bracing Layout
A.16	Wall Bracing Layout
A.17	Framing Overview
A.18	



These drawings are the proprietary work product and property of M.A. Butler. Use of these drawings and concepts contained therein without the written permission of M.A. Butler is strictly prohibited.

© MA BUTLER 2016



NO.	DESCRIPTION	BY	DATE

PROJECT TITLE:	
PROJECT INFORMATION	

PROJECT DESCRIPTION:	
PULVER RESIDENCE 5656 Ten Oaks Rd Clarksville, MD 21029	

DRAWINGS PROVIDED BY:	
M. BUTLER & ASSOCIATES DESIGN & CONSTRUCTION SERVICES	

DATE:
7/18/2016

SCALE:

SHEET:
A-2

STRUCTURAL NOTES:

Foundation and Slab-on-Grade:

Footings are designed for an assumed bearing capacity of 2500 PSF. Footings shall bear on natural undisturbed soil, 1'-0" below original grade or on structurally compacted fill and bottom of exterior footings shall be 2'-6" below finished grade. Contractor shall verify soil pressure in the field. If found to be less than 2500 PSF, the footings will have to be redesigned.

1. All fill under slabs-on-grade shall be coarse granular material compacted to 95% of maximum density at optimum water content.
2. Slabs on grade shall be 4" thick concrete reinforced with 6" x 6", W1.4 x W1.4 W.W.F. on 6 MIL vapor barrier over 4" washed gravel.

Concrete:

1. All concrete except as noted, shall be $f_c=3000$ psi normal weight concrete at 28 days. All concrete exposed to the weather shall be $f_c=4500$ psi normal weight concrete and shall be air entrained per ACI 318 "Building Code Requirements for Structural Concrete" (latest local approved edition) for severe exposure.
2. All reinforcing shall be deformed billet steel conforming to ASTM designation A615 (latest local approved edition), grade 60. All reinforcing shall be detailed, fabricated and placed in accordance with ACI 315, "Manual of Standard Practice for Detailing Concrete Structures" (latest local approved edition).
3. All splices in reinforcing shall be class "B" splices in accordance with ACI 315, "Building Code Requirements for Structural Concrete" (latest local approved edition) except as noted on plans.
4. Welded wire fabric (W.W.F.) shall have ends lapped on full mesh.
5. Unless otherwise noted on structural drawings, provide concrete protection for reinforcing as stipulated by the latest edition of ACI and ASTM.

Masonry:

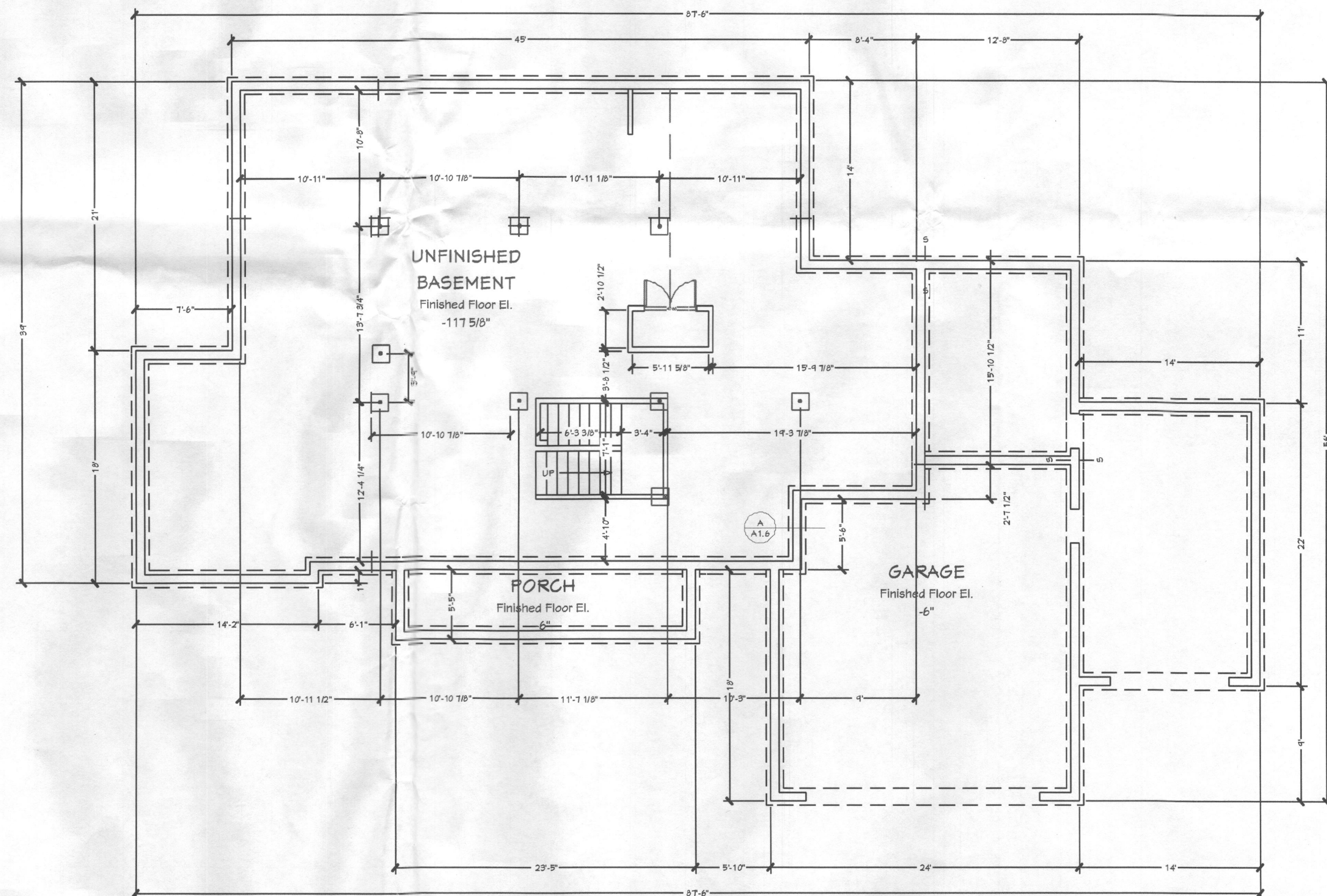
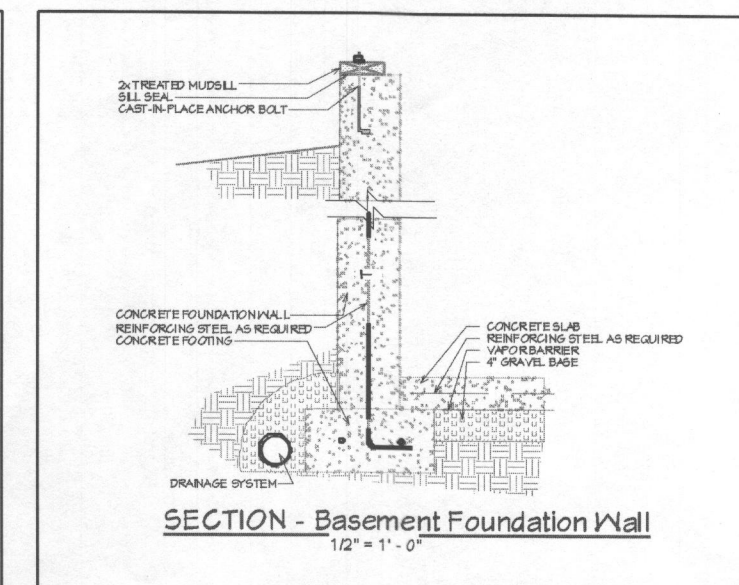
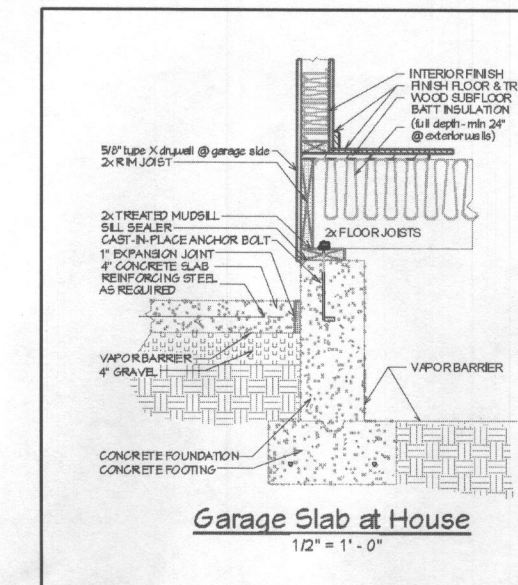
1. Concrete masonry shall conform to the latest edition of ASTM specification C90. Concrete masonry to be used shall be sampled and tested by the masonry supplier according to ASTM C140. All concrete masonry construction shall conform ACI 530/ASCE 5, "Building Code Requirements for Masonry Structures", (latest local approved edition) and ACI 530.1/ASCE 6, "Specifications for Masonry Structures", (latest local approved edition).

Miscellaneous:

1. The building frame is not self supporting until the entire structural system has been installed. Temporary bracing must be provided by the contractor to support the frame until the structural system has been completed.
2. Loads greater than the design live loads shall not be placed on the structure. Contractor shall support adjacent structures, utilities, and excavations.
3. The general contractor and its sub contractors are to have a minimum of five years successful experience in the construction of work similar in nature to this project.

CONCRETE MIX SPECIFICATIONS

Use	f_c	Reinforcing.	Notes
Footings	2500	See plan	
Foundation Walls	3000	See plan	
Slabs			
Interior	3000	6x6 10/10 W.W.F.	
Exterior	3500	6x6 10/10 W.W.F.	Air entrained
Piers	3000	See Plan	



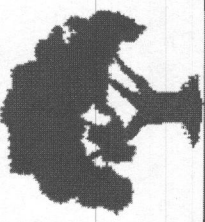
RECEIVED

AUG 16 2016

HOWARD COUNTY HEALTH DEPT.
BUREAU OF ENVIRONMENTAL HEALTH

FOUNDATION PLAN

3/16" = 1'-0"



NO. DESCRIPTION BY DATE

SHEET TITLE:
FOUNDATION PLAN

PROJECT DESCRIPTION:
PULVER RESIDENCE
5656 Ten Oaks Rd
Clarksville, MD 21024

DRAWINGS PROVIDED BY:
M. BUTLER & ASSOCIATES
DESIGN & CONSTRUCTION SERVICES

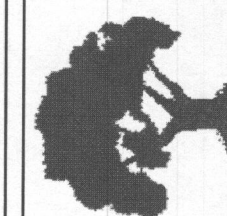
DATE:

7/18/2016

SCALE:

SHEET:

A-6



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
BASMENT PLAN

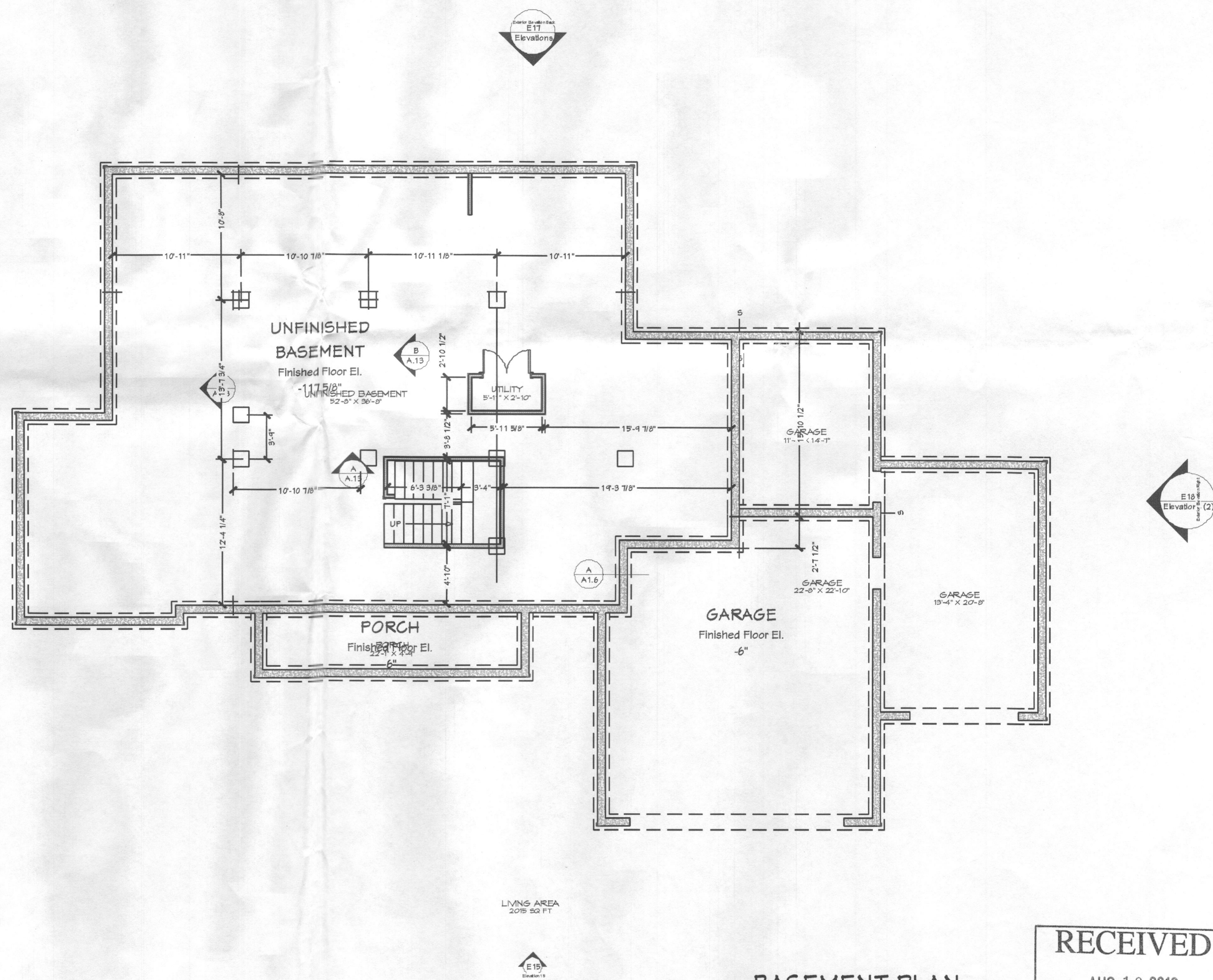
PROJECT DESCRIPTION:
PULVER RESIDENCE
5656 Ten Oaks Rd
Clarksville, MD 21029

DRAWINGS PROVIDED BY:
M. BUTLER & ASSOCIATES
DESIGN & CONSTRUCTION SERVICES

DATE:
7/18/2016

SCALE:

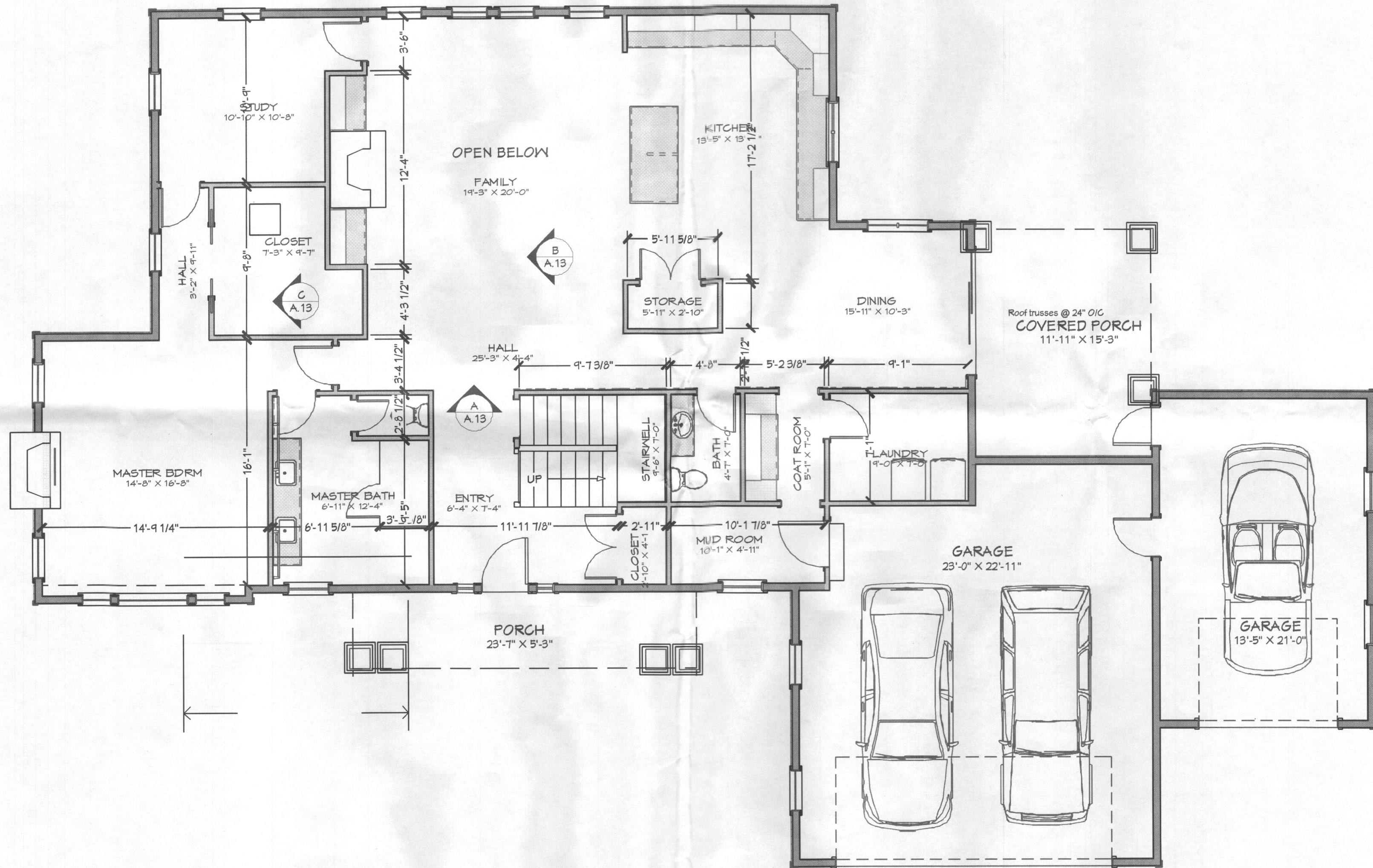
SHEET:
A-7



BASEMENT PLAN

3/16" = 1'-0"

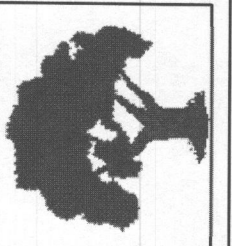
RECEIVED
AUG 16 2016
HOWARD COUNTY HEALTH DEPT.
BUREAU OF ENVIRONMENTAL HEALTH



LIVING AREA
1939 SQ. FT.

FIRST FLOOR PLAN
3/16" = 1' - 0"

RECEIVED
AUG 16 2016
HOWARD COUNTY HEALTH DEPT.
BUREAU OF ENVIRONMENTAL HEALTH



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
FLOOR PLAN

PROJECT DESCRIPTION:
PULVER RESIDENCE
5656 Ten Oaks Rd
Clarksville, MD 21029

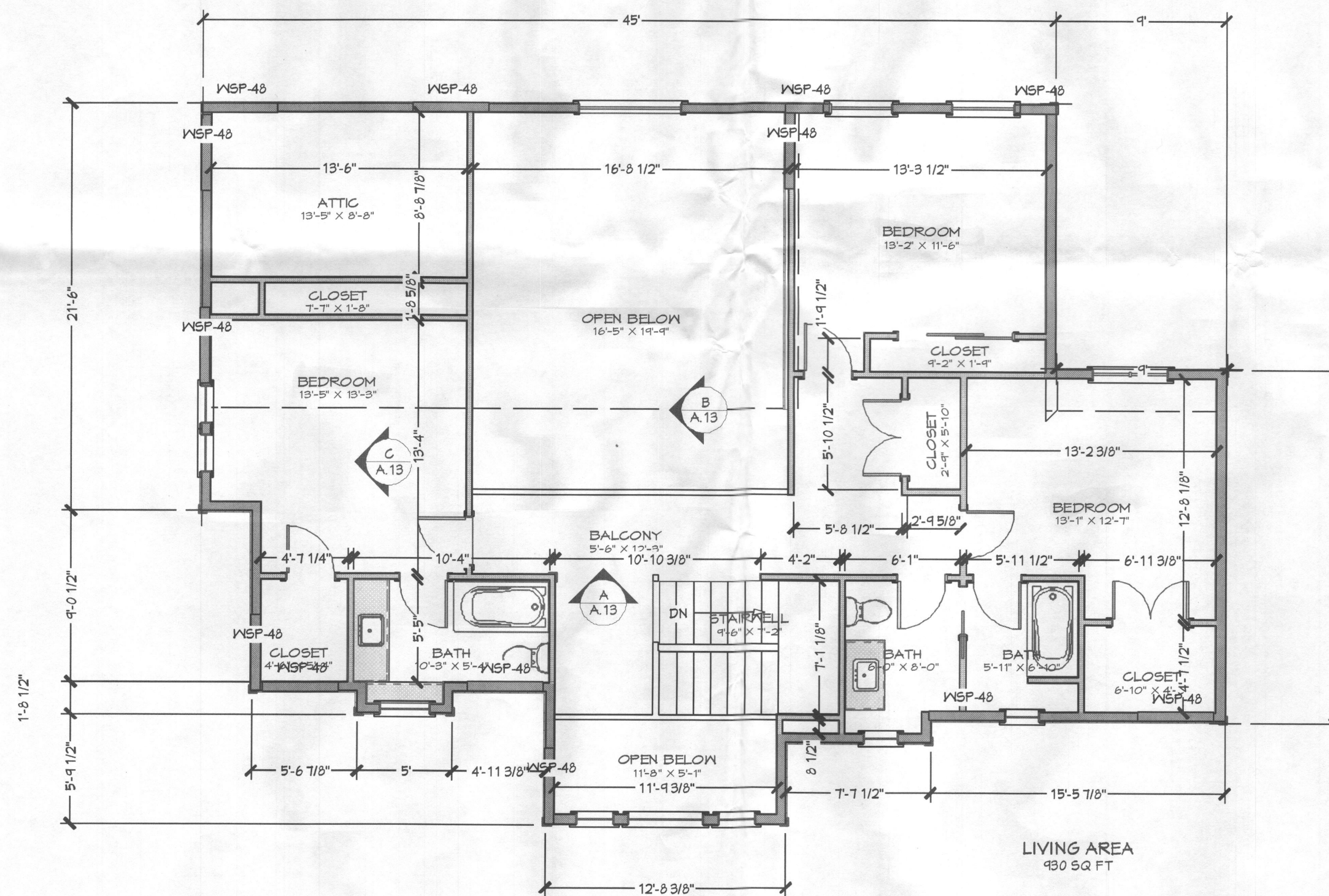
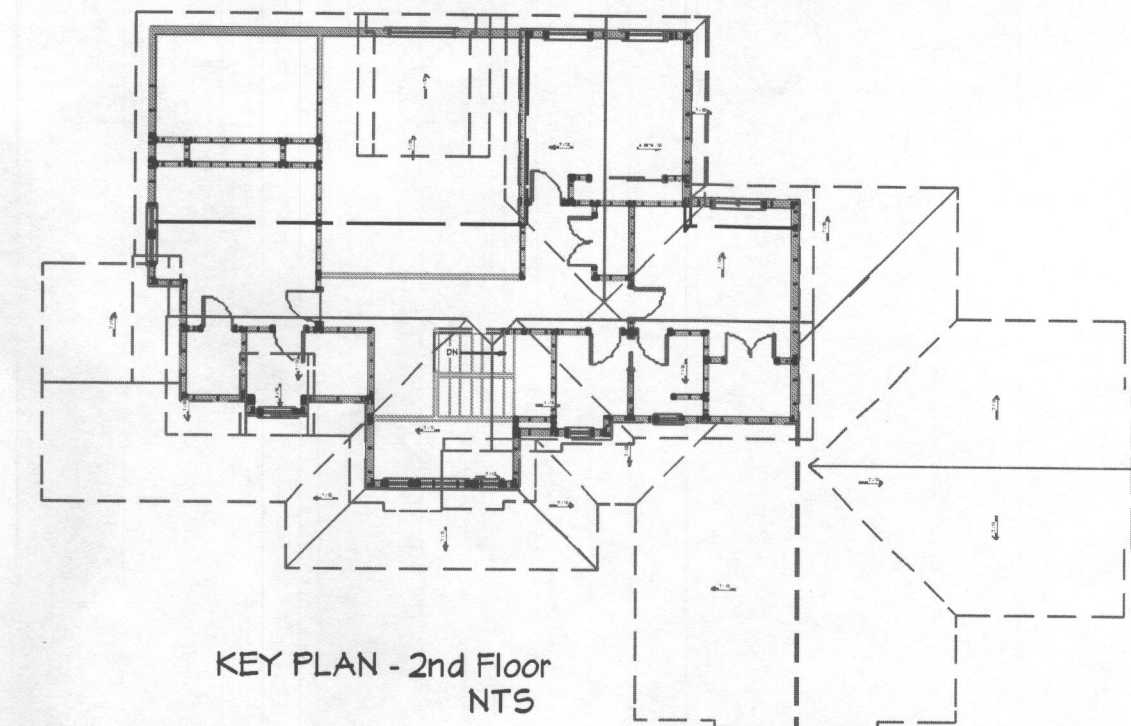
DRAWINGS PROVIDED BY:
M. BUTLER & ASSOCIATES
DESIGN & CONSTRUCTION SERVICES

DATE:
7/18/2016

SCALE:

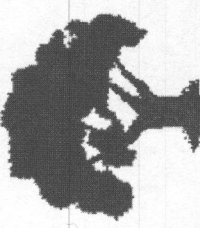
SHEET:
A-8

ROOM NAME	CEILING HEIGHT	WALL MATERIAL	ROOM FINISH SCHEDULE							
			FLOOR FINISH	CEILING FINISH	BASE MOLDING	CHAIR RAIL	CROWN MOLDING	WINDOW CASING	WINDOW SILL	DOOR CASING
BATH	47 1/8"	DRYWALL, FIRE RATED DRYWALL	LIMESTONE TILES THINSET MORTAR	DRYWALL COLOR - BONE	STOCK			STOCK	STOCK	STOCK
BEDROOM	47 1/8"	DRYWALL, FIRE RATED DRYWALL	LIGHT - MP PLANK, FOAM UNDERLAYMENT	DRYWALL COLOR - BONE	STOCK			STOCK	STOCK	STOCK
CLOSET	47 1/8"	DRYWALL	LIGHT - MP PLANK, FOAM UNDERLAYMENT	DRYWALL COLOR - BONE	STOCK			STOCK	STOCK	STOCK
CLOSET	47 1/8"	DRYWALL, FIRE RATED DRYWALL	LIGHT - MP PLANK, FOAM UNDERLAYMENT	DRYWALL COLOR - BONE	STOCK			STOCK	STOCK	STOCK
CLOSET	47 1/8"	DRYWALL	LIGHT - MP PLANK, FOAM UNDERLAYMENT	DRYWALL COLOR - BONE	STOCK			STOCK	STOCK	STOCK
CLOSET	47 1/8"	DRYWALL, FIRE RATED DRYWALL	LIGHT - MP PLANK, FOAM UNDERLAYMENT	DRYWALL COLOR - BONE	STOCK			STOCK	STOCK	STOCK
OPEN BELOW	210 7/8"	DRYWALL, FIRE RATED DRYWALL, PEARL GRAY	LIGHT - MP PLANK, FOAM UNDERLAYMENT	DRYWALL COLOR - BONE				STOCK	STOCK	
OPEN BELOW	210 7/8"	DRYWALL, FIRE RATED DRYWALL	LIGHT - MP PLANK, FOAM UNDERLAYMENT	DRYWALL COLOR - BONE				STOCK	STOCK	
STAIRWELL	N/A	DRYWALL, FIRE RATED DRYWALL	LIGHT - MP PLANK, FOAM UNDERLAYMENT	DRYWALL COLOR - BONE						
UNSPECIFIED	104 3/8"	DRYWALL, FIRE RATED DRYWALL	LIGHT - MP PLANK, FOAM UNDERLAYMENT	DRYWALL COLOR - BONE	STOCK					
UNSPECIFIED	47 1/2"	DRYWALL	LIGHT - MP PLANK, FOAM UNDERLAYMENT	DRYWALL COLOR - BONE	STOCK					



SECOND FLOOR PLAN
3/16" = 1' - 0"

RECEIVED
AUG 16 2016
HOWARD COUNTY HEALTH DEPT.
BUREAU OF ENVIRONMENTAL HEALTH



NO.	DESCRIPTION	BY	DATE

FLOOR PLAN

PROJECT DESCRIPTION:
PULVER RESIDENCE
5656 Ten Oaks Rd
Ckarksville, MD 21029

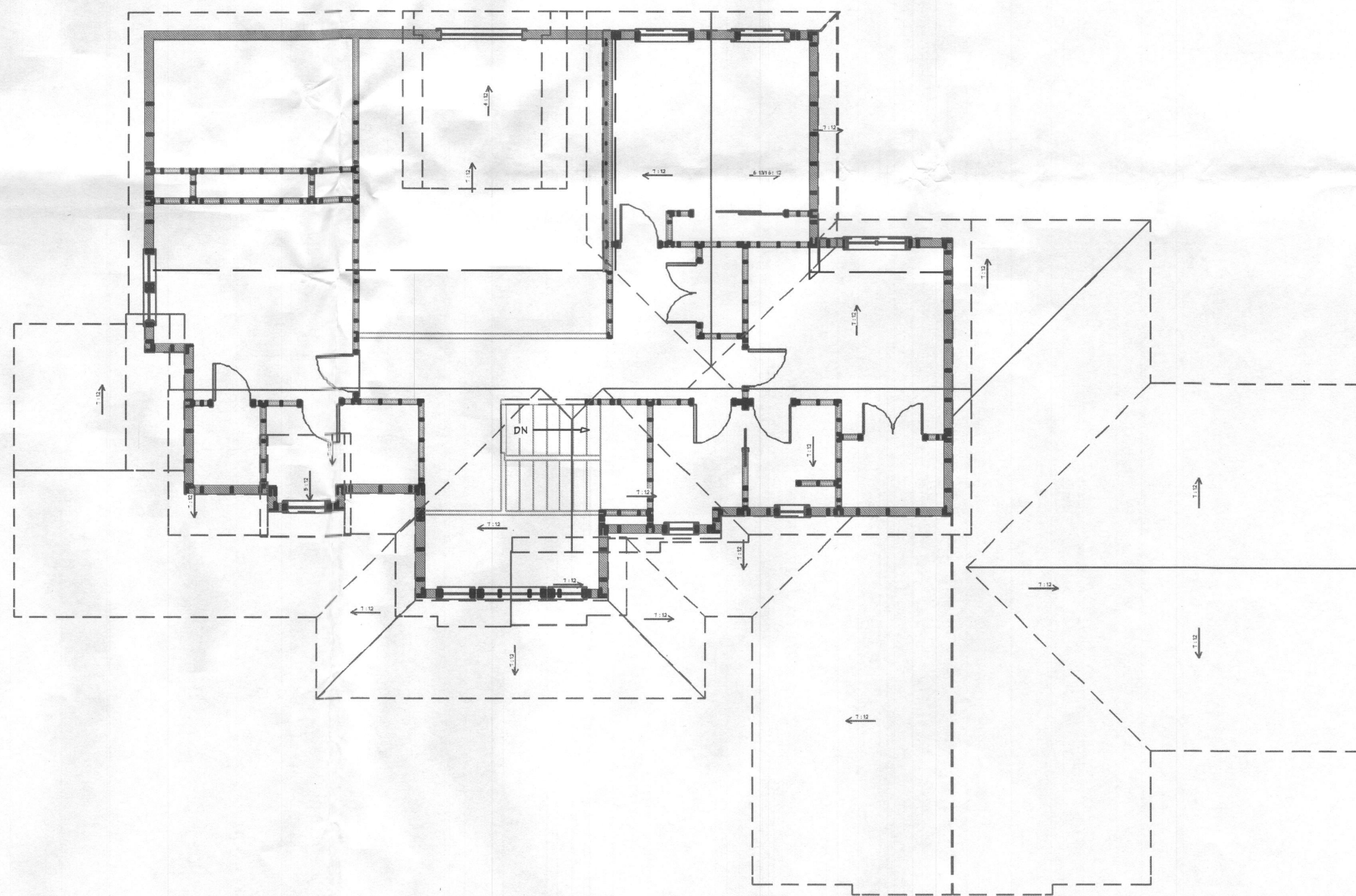
DRAWINGS PROVIDED BY:
M. BUTLER & ASSOCIATES
DESIGN & CONSTRUCTION SERVICES

DATE:
7/18/2016

SCALE:

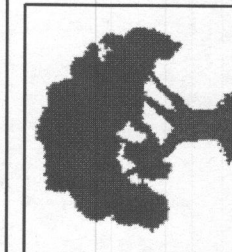
SHEET:

A-9



ROOF PLAN
1/8" = 1' - 0"

RECEIVED
AUG 16 2016
HOWARD COUNTY HEALTH DEPT.
BUREAU OF ENVIRONMENTAL HEALTH



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
ROOF PLAN

PROJECT DESCRIPTION:
PULVER RESIDENCE
5656 Ten Oaks Rd
Clarksville, MD 21029

DRAWINGS PROVIDED BY:
M. BUTLER & ASSOCIATES
DESIGN & CONSTRUCTION SERVICES

DATE:
7/18/2016

SCALE:

SHEET:
A-10