



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: B17002414

Building Address: 1546 Southwood Dr
City: Beltsville State: MD Zip Code: 21757
Suite/Apt. # _____ SDP/WP/BA #: _____
Census Tract: _____ Subdivision: Poplar Park
Section: _____ Area: _____ Lot: 20200001
Tax Map: 141 Parcel: 2110 Grid: 3
Zoning: _____ Map Coordinates: _____ Lot Size: 2 Acre

Existing Use: SFD
Proposed Use: SFD w/ accessory use
Estimated Construction Cost: \$ 60000
Description of Work: install driveway & general property work

Occupant/Tenant Name: _____
Was tenant space previously occupied? ☐ Yes ☐ No
Contact Name: _____
Address: Beltsville
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height:	☐ SF Dwelling ☐ SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor:
	2 nd floor:
Area of construction (sq. ft.):	Basement:
	☐ Finished Basement
Use group:	☐ Unfinished Basement
	☐ Crawl Space
Construction type:	☐ Slab on Grade
☐ Reinforced Concrete	No. of Bedrooms:
☐ Structural Steel	Multi-family Dwelling
☐ Masonry	No. of efficiency units:
☐ Wood Frame	No. of 1 BR units:
☐ State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
Roadside Tree Project Permit	Footings:
☐ Yes ☐ No	Roof:
Roadside Tree Project Permit #	☐ State Certified Modular
	☐ Manufactured Home

Property Owner's Name: John George
Address: 18011a Southwood Dr
City: Beltsville State: MD Zip Code: 21757
Phone: 410-244-1650 Fax: _____
Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: Michelle C. George
Address: P.O. Box 310
City: Beltsville State: MD Zip Code: 21757
Phone: 410-244-1650 Fax: _____
Email: Michelle.C.George@apple.com

Contractor Company: Baron Inc
Contact Person: Michael Anderson
Address: Two miles S
City: Beltsville State: MD Zip Code: 21757
License No.: 66021
Phone: 301-244-1650 Fax: _____
Email: _____

Engineer/Architect Company: _____
Responsible Design Prof.: _____
Address: Beltsville
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Utilities	
Electric: ☐ Yes ☒ No	
Gas: ☐ Yes ☒ No	
Water Supply	
☐ Public	
☒ Private	
Sewage Disposal	
☐ Public	
☒ Private	
Heating System	
☐ Electric ☐ Oil	
☐ Natural Gas ☐ Propane Gas	
☐ Other:	
Sprinkler System:	
☐ Yes ☒ No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Michelle C. George
Email Address: Michelle.C.George@apple.com
Title/Company: _____

Print Name: Michelle C. George
Date: 6/19/17

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY

-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	7/19/17	<u>Paul Jones</u>
Is Sediment Control approval required for issuance? ☐ Yes ☐ No		
☐ CONTINGENCY CONSTRUCTION START		

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? ☐ Yes ☐ No
Is Entrance Permit Required? ☐ Yes ☐ No
Historic District? ☐ Yes ☐ No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$ <u>110</u>
Balance Due	\$ <u>1953</u>
Check	#

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

Approved RVE 7/19/17

- EXISTING 2' CONTOURS
- EXISTING 10' CONTOURS
- EXISTING TREE LINE
- SOIL LINES AND TYPES
- DENOTES EXISTING WELL
- DENOTES PROPOSED TREELINE
- DENOTES 1500 SQ.M. ALTERNATE WELL SITE
- DENOTES DIVERSION FENCE
- DENOTES SILT FENCE
- DENOTES SUPER SILT FENCE
- DENOTES TREE PROTECTIVE FENCING

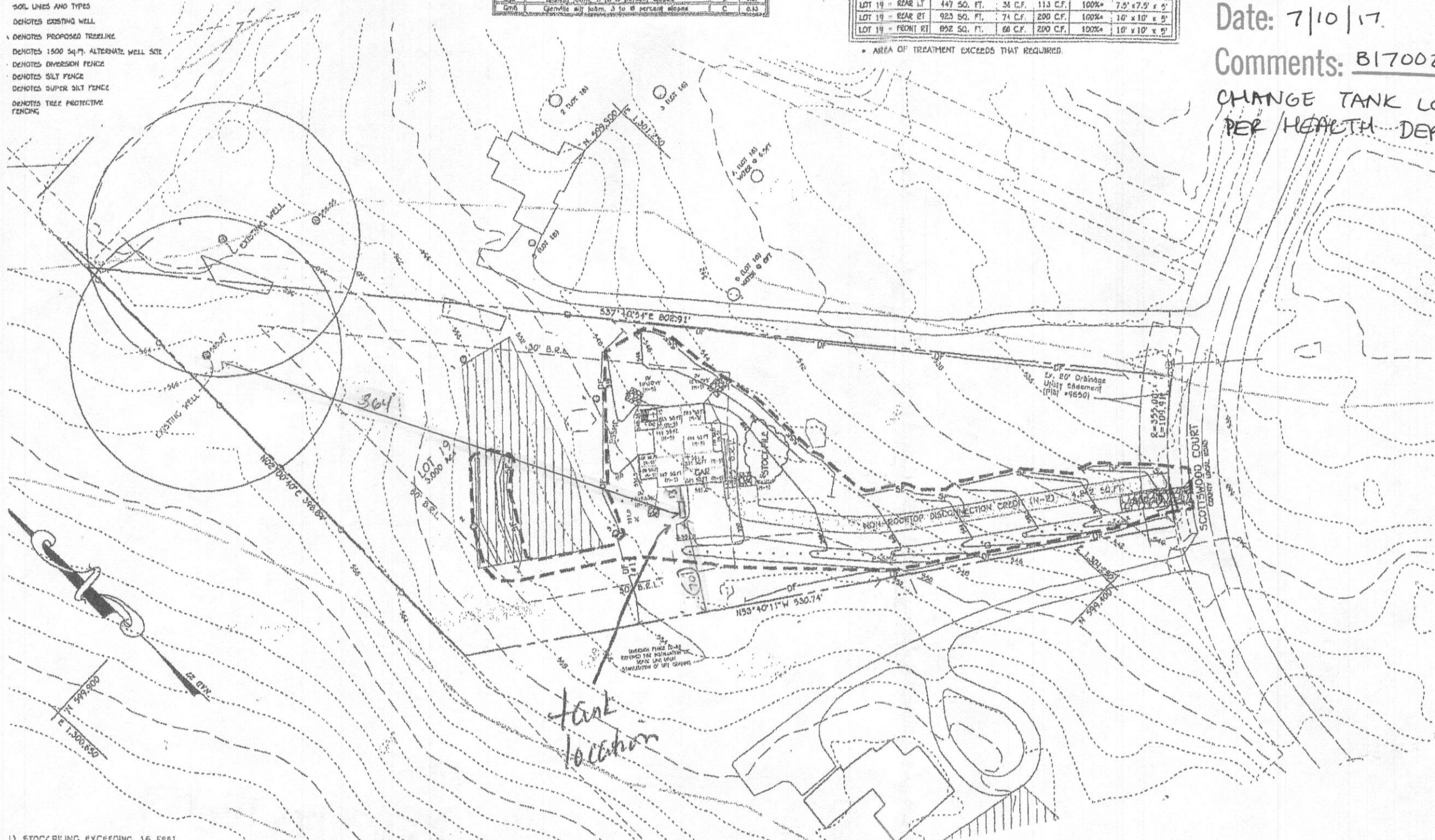
DRY WELL CHART						
WELL NO.	AREA OF ROOF PER DOWN SPOUT	VOLUME REQUIRED	VOLUME PREPARED	AREA OF TREATMENT	L	W
LOT 19 = GAR	670 SQ. FT.	51 C.F.	200 C.F.	100%	10' x 10' x 5'	
LOT 19 = REAR LT	447 SQ. FT.	34 C.F.	113 C.F.	100%	7.5' x 7.5' x 5'	
LOT 19 = REAR RT	923 SQ. FT.	74 C.F.	200 C.F.	100%	10' x 10' x 5'	
LOT 19 = FRONT RT	892 SQ. FT.	68 C.F.	200 C.F.	100%	10' x 10' x 5'	

REVISED

Date: 7/10/17.

Comments: B17002414

CHANGE TANK LOCATION
PER HEALTH DEPT



GENERAL NOTES:

1. 1.1-21 THIS AREA DESIGNATES A PRIVATE SEWERAGE EASEMENT OF AT LEAST 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR HUMAN/ANIMAL SEWERAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERAGE IS AVAILABLE. THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWERAGE EASEMENT, REASON OF NECESSITY. PRIVATE SEWERAGE EASEMENT SHALL NOT BE NECESSARY. ADJUSTMENTS TO SEPTIC EASEMENT AREA IS NOT PERMITTED WITHOUT ADDITIONAL TESTING.
2. THE LOT SHOWN HEREON COMPLIES WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
3. EXISTING WELLS AND/OR SEWERAGE EASEMENTS WITHIN 100 FEET OF THE PROPERTY HAVE BEEN SHOWN FROM THE BEST AVAILABLE RECORDS.
4. TOPOGRAPHY SHOWN IN THE AREA OF THE LOT BEING DISTURBED IS BASED ON A TOPOGRAPHIC SURVEY BY FISHER, COLLINS & CARTER, INC. IN NOVEMBER 2016 AND IS SUPPLEMENTED WITH HOWARD COUNTY GIS TOPOGRAPHY AT 2' CONTIGUOUS INTERVAL.
5. BOUNDARY OF LOT BASED ON PLAT #9950 AND FIELD SURVEY BY FISHER, COLLINS & CARTER, INC.
6. ANY CHANGES TO A PRIVATE SEWERAGE EASEMENT SHALL REQUIRE A REVISED PERCE CERTIFICATION PLAN.
7. DEED REFERENCE: LIBOR 17726 VOLJO 173.
8. LIMIT OF DISTURBANCE: 30.4 FT. 30' OR 0.91 ACRES.
9. SUBJECT PROPERTY ZONING: RES-DCD
10. TOTAL AREA OF PROPERTY 3.0 AC
11. WETLANDS, STREAMS, THEIR BUFFERS, FLOODPLAIN, AND STEEP SLOPES DO NOT EXIST ON THIS LOT.
12. ALL DATA SHOWN HEREON ARE BASED ON MDCS WED SOIL SURVEY AND HOWARD COUNTY SOILS MAP 5.
13. THIS PLAN IS EXEMPT FROM THE REQUIREMENTS OF SECTION 10.1-220 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY EXECUTION OF A DECLARATION OF INTENT FOR CLEARING UNDER 25,000 SQUARE FEET FOR FOREST, c. 30.4 FT. IS BEING DISTURBED.

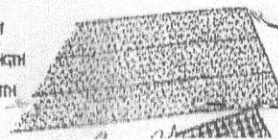
DEVELOPER'S CERTIFICATE

cyeloper

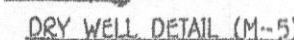
PROFESSIONAL CERTIFICATION

STORMWATER MANAGEMENT NOTES

1. STORMWATER MANAGEMENT IS PROVIDED IN ACCORDANCE WITH CHAPTER 5, "ENVIRONMENTAL SITE DESIGN" OF THE 2007 MARYLAND STORMWATER MANAGEMENT DESIGN MANUAL, EFFECTIVE MAY 4, 2010.
2. MAXIMUM CONTRIBUTING ROOF TOP AREA TO EACH DOWNSPUT SHALL BE 1,000 SQ. FT. OR LESS.
3. DRYWELLS SHALL BE PROVIDED AT LOCATIONS WHERE THE LENGTH OF DISCONNECTION IS LESS THAN 75' AT 5% SLOPE. THE SIZE AND CONSTRUCTION OF THE DRYWELL SHALL BE IN ACCORDANCE WITH THE DETAIL SHOWN ON THIS SHEET.
4. FINAL GRADING IS TO BE SHOWN ON A GRADING PLAN.



Material	Specifications	Size	Notes
Painting	see Appendix A, Table A-1	MS	see Appendix A for MS materials and painting
Flashing and 12" to 4" detail	locking metal DN-825 concrete 25-425 if welded metal 1500 concrete sand 200 concrete 425		USMA and type 1 locking metal in 1500 yards (425) (200)
Reinforcing Concrete	MS, 10% by dry weight (ASTM 2 800-4)		
Rebar	stainless steel/Aluminum		Steel is preferred. Minimum
For gravel waterproofing	see Appendix A, Table A-1	MS 6 to MS 4 (1500 to 2000)	
Gravel drain	200/400 mesh, washed crushed	MS 2 to 5"	
Geotextile		MS	see type 1 membrane
Gravel (underdrain and underfoot drains)	ASTM 20-40	16, 20 or 24" aggregate (300 to 375)	
Underdrain piping	P 250, type MS 20 or	8" to 12" (1000 to 1500)	formed or extruded pipe, 3/4" wall, 8" to 12" in diam.



NOTE:

1. $\sigma = (0.14)(4.1)(1.4) = 0.8 \text{ MPa}$
2. $\sigma = (0.22)(4.5)(1.3) = 1.3 \text{ MPa}$
3. SHEAR STRESS = 0.3 MPa
4. SHAPE OF NOTCH OF FERRUCIOUS SHOULDS VARY
5. AVERAGE SHEAR STRESS = 0.35 MPa
6. VELOCITY (X VIB STRESS) = 1.0 MPa

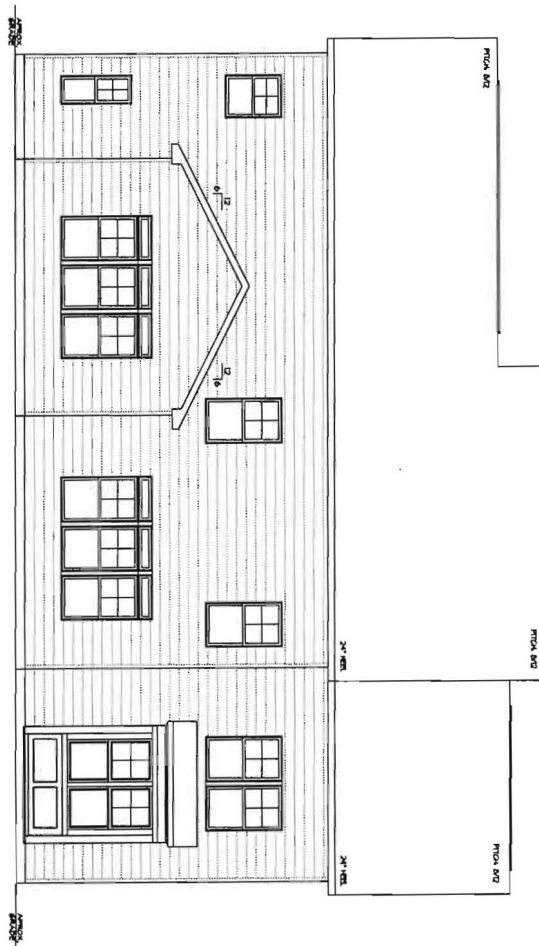
U.S. 1965

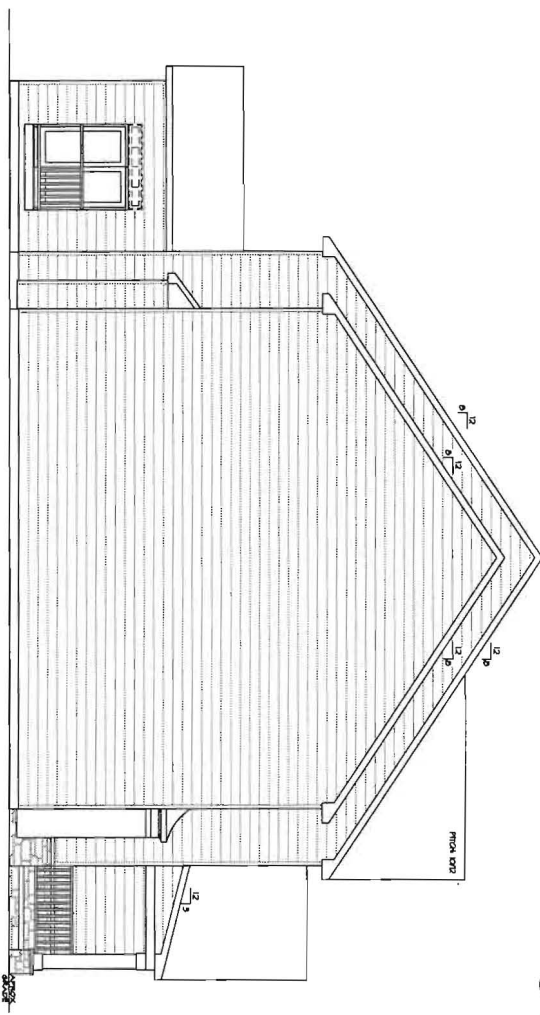
SWALE DETAIL
NOT TO SCALE

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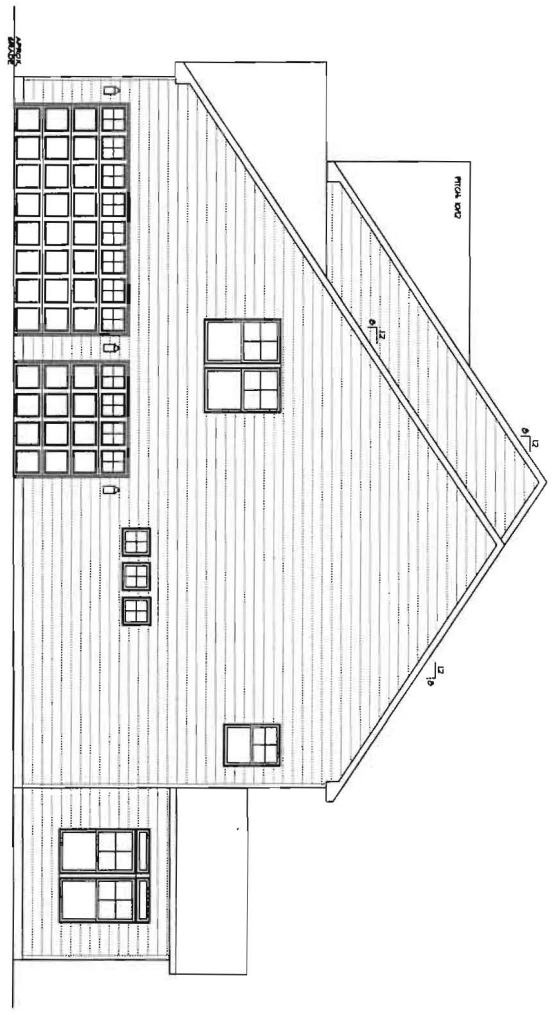


1 REAR ELEVATION
SCALE: 1/8" = 1'-0"

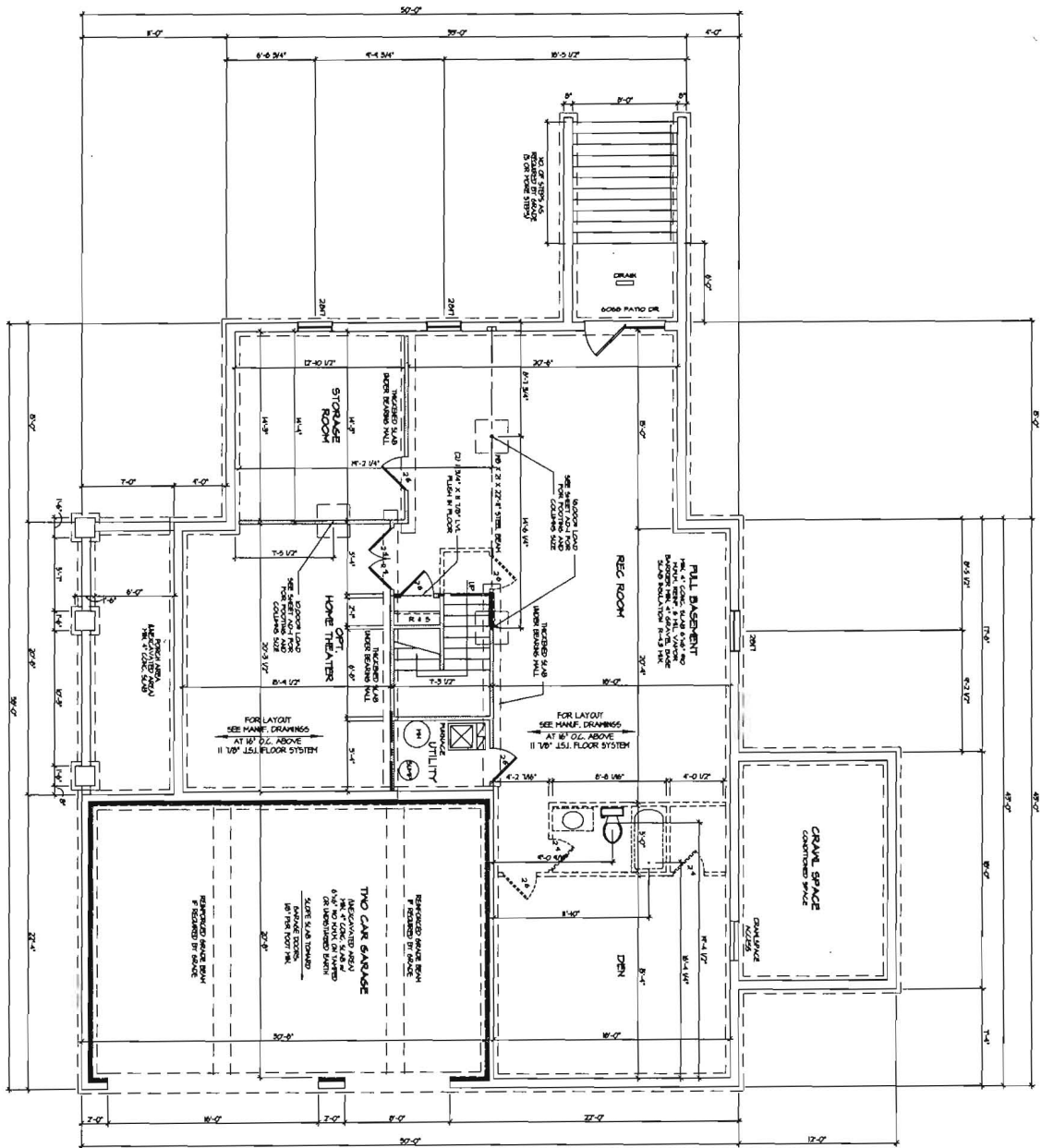




2 LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



2 RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

HOUSE NAME: **GEORGE RESIDENCE**
DRAWING TITLE: **FOUNDATION PLAN**

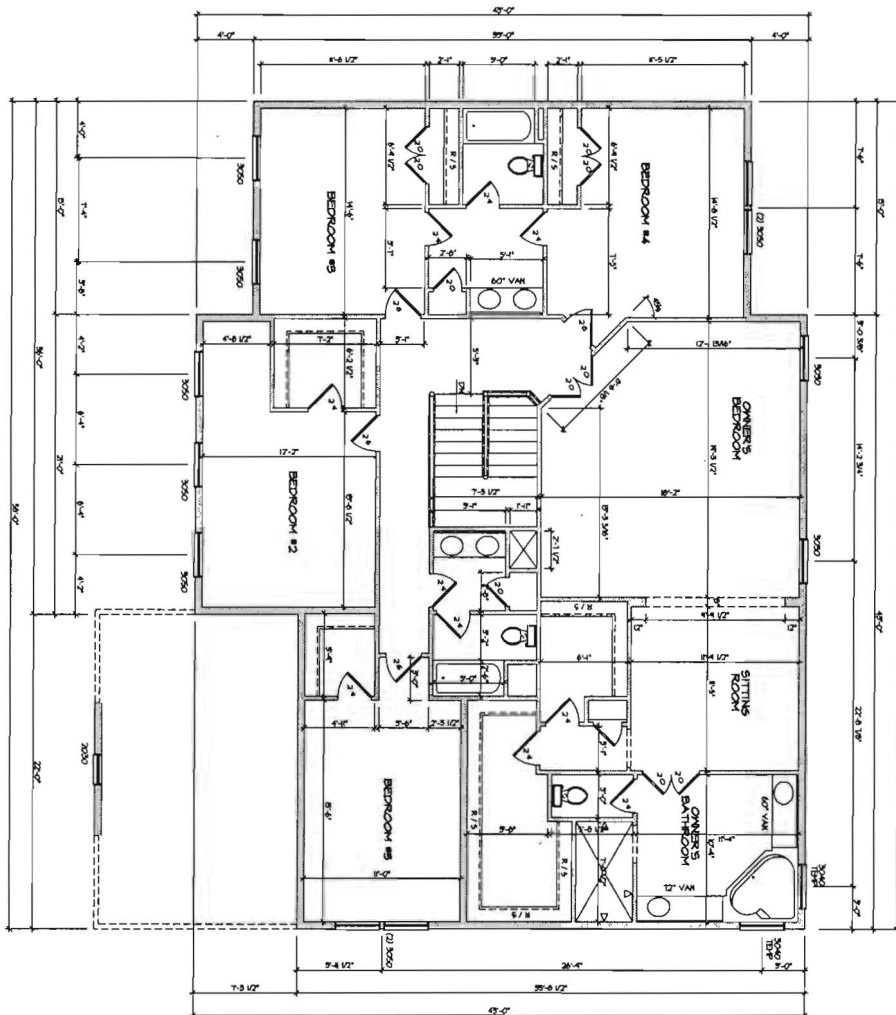
DRAWN BY: **LBM**
DATE: **1/27/16**
PROJECT NO.: **005015**

CUSTOMER: **Lakestone Homes**

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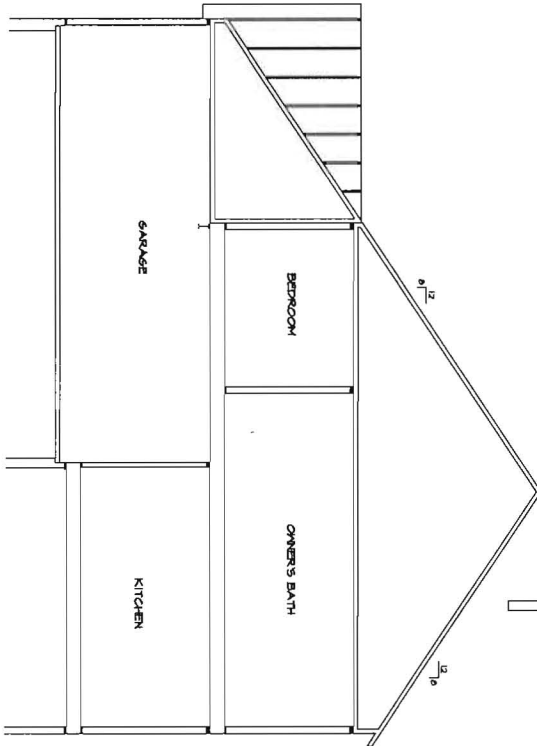
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214-343-1111
WWW.DCDESIGNCONCEPTS.COM



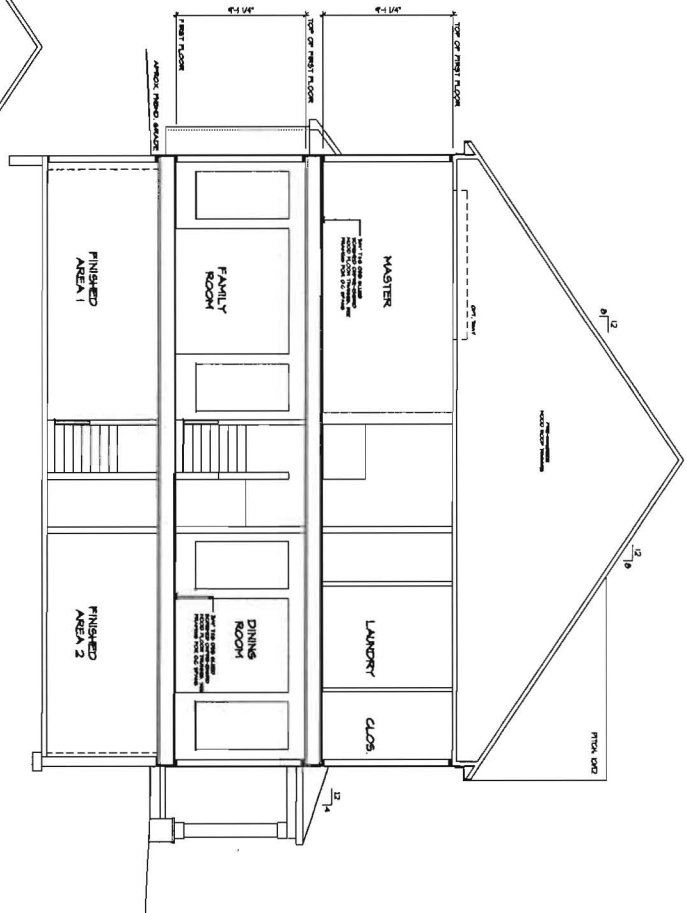


SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

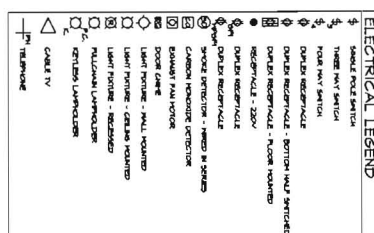
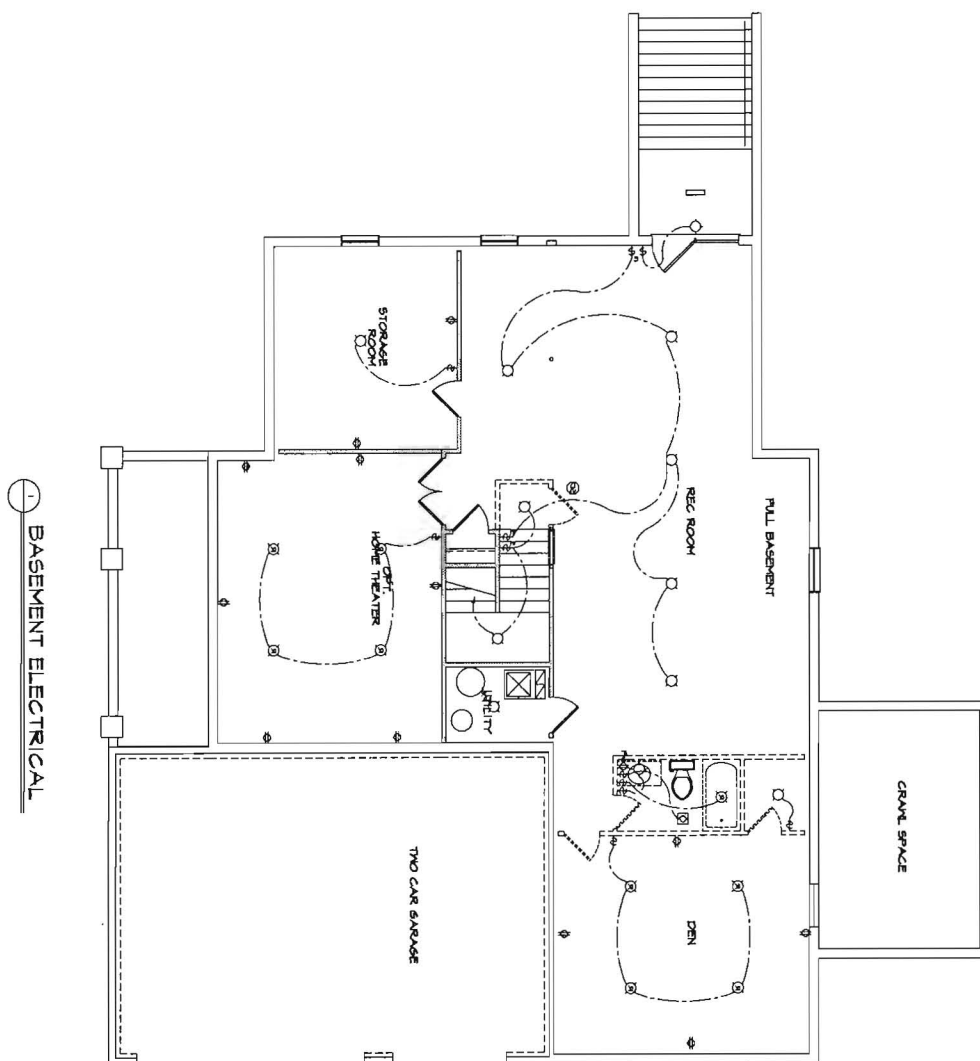
2 PARTIAL SECTION THRU GARAGE
SCALE: 1/8" = 1'-0"



1 SECTION THRU FOYER
SCALE: 1/8" = 1'-0"



NOTE:
SEE SHEET A0-2 FOR ELEVATION VALUES



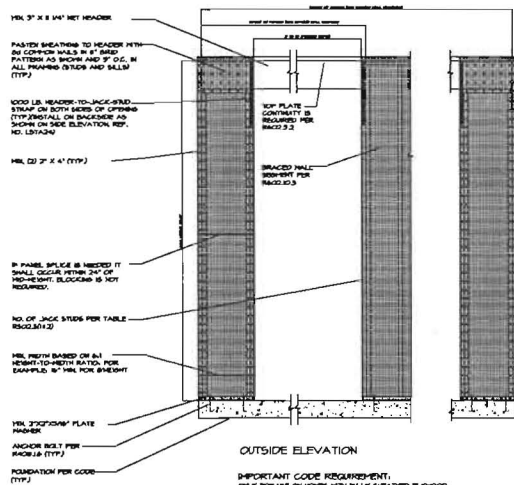
Architectural floor plan of a large, multi-room residence. The plan includes a two-car garage, a morning room, a breakfast room, a kitchen, a butler's pantry, a dining room, a living room, a family room, a library/study, and a porch. The layout shows a central hallway connecting the rooms, with a staircase leading to an upper level. The plan is labeled with room names and includes architectural details like doors, windows, and furniture placement.

FURNITURE LEGEND	
1	SMALL POLE SECTION
2	THREE WAY SECTION
3	FOUR WAY SECTION
4	BAR/STAIRS
5	BAR/STAIRS - 20'0" WIDE
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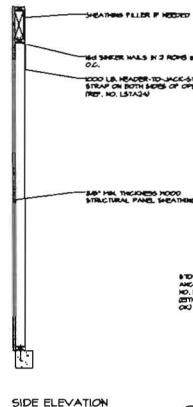


ELECTRICAL LEGEND

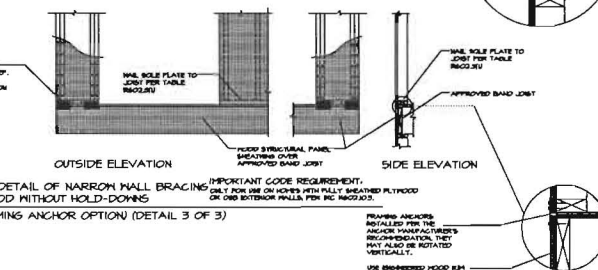
1	SWITCH	SWITCH
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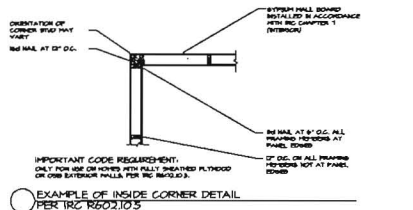
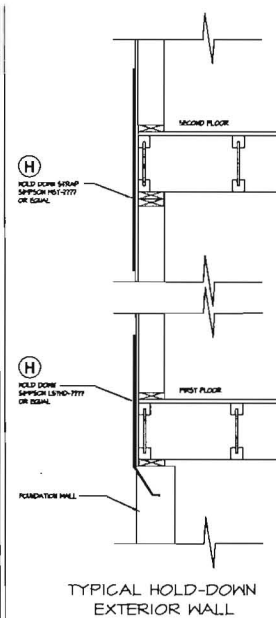
○ APA DETAIL OF NARROW WALL BRACING METHOD WITHOUT HOLD-DOWNS
(DETAIL 1 OF 3)



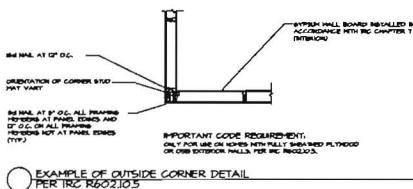
○ APA DETAIL OF NARROW WALL BRACING METHOD WITHOUT HOLD-DOWNS
(STRUCTURAL PANEL OVERLAP OPTION (DETAIL 2 OF 3))



○ APA DETAIL OF NARROW WALL BRACING METHOD WITHOUT HOLD-DOWNS
(FRAMING ANCHOR OPTION (DETAIL 3 OF 3))



○ EXAMPLE OF INSIDE CORNER DETAIL
PER IRC R602.10.5

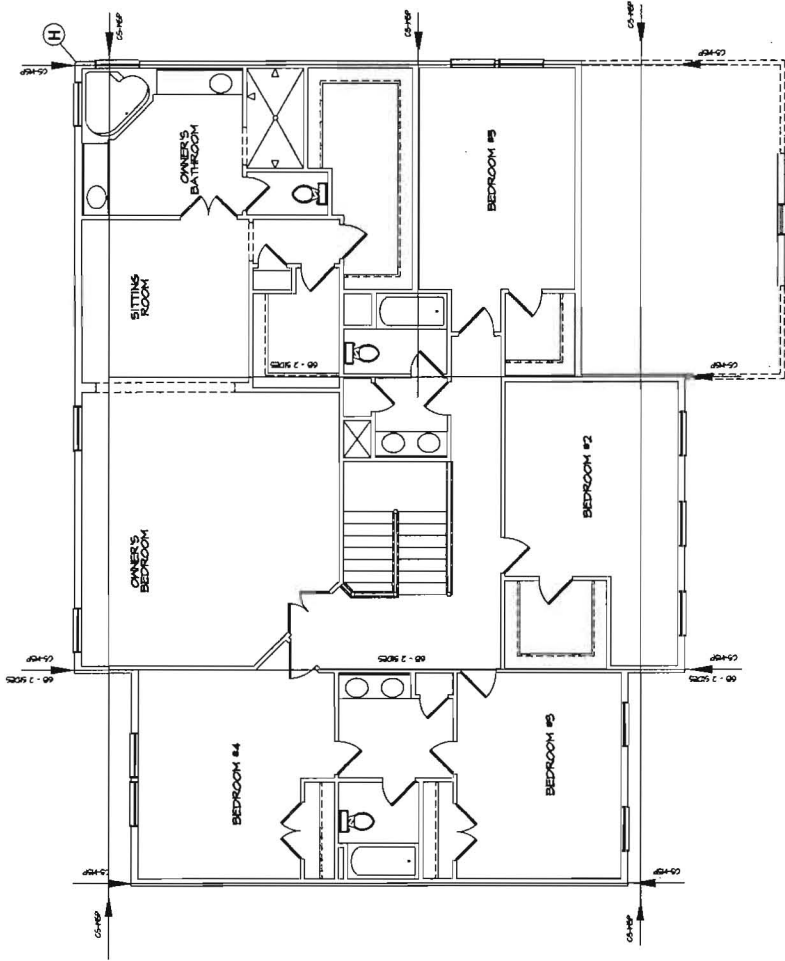


○ EXAMPLE OF OUTSIDE CORNER DETAIL
PER IRC R602.10.5

NOTE: WIND BRACING DESIGN AS REQUIRED BY SECTION 602.10 OF THE IRC HAVE BEEN SATISFIED BY THE ALTERNATIVE PANEL SHEATHING METHOD (602.10.5) AND NARROW WALL (PORTAL FRAME) BRACINGS PER APA FORM #E425. REFER TO MINIMUM CONSTRUCTION DETAILS. ADDITIONALLY, ALL STRUCTURAL MEMBERS SHALL BE FASTENED IN ACCORDANCE WITH TABLE R602.3(1) OF THE IRC, AND THE MANUFACTURERS' RECOMMENDATIONS IN THE CASE OF ENGINEERED COMPONENTS. MINIMUM BRACED WALL LENGTHS ARE BASED ON THE TABLE BELOW.

MINIMUM LENGTHS OF BRACED WALL PANELS									
MAX. ADJACENT OPENING HEIGHT	60'	66'	68'	72'	76'	82'	94'	106'	FULL HEIGHT
EQUIVALENT TO	50 VINYL WINDOW	52 WOOD WINDOW	58 VINYL WINDOW	60 VINYL WINDOW	62 WOOD WINDOW	68 DOOR	68 DOOR 10' TRANS.	68 DOOR 20' TRANS.	BAY WINDOW
WALL HEIGHT									
8' WALL	24"	26"	28"	28"	30"	32"	48"	48"	48"
9' WALL	27"	27"	31"	31"	31"	33"	42"	48"	54"
10' WALL	30"	30"	30"	30"	31"	33"	36"	48"	60"

ALL BRACED EXTERIOR WALLS SHALL BE MIN. 7/16" OSB PANEL SHEATHINGS ATTACHED TO FRAMING WITH 8d COMMON NAILS @ 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE FRAMING MEMBERS. SOLE PLATES SHALL BE FASTENED TO JOIST OR SOLID BLOCKING WITH (3) 16d NAILS @ 16" O.C. RIM JOIST TO PLATE OR SILL WITH 8d @ 6" O.C. TOENAIL. ALL EXTERIOR WALL CORNERS SHALL BE FRAMED PER APA DETAILS. INTERIOR BRACED WALLS SHALL BE MIN. 1/2" GYP. BD. APPLIED TO EACH SIDE OF FRAMING WITH ADHESIVE AND 5 OR 6 SCREENS @ 24" O.C.



CONTINUOUS STRUCTURAL SHEATHING
(ALL EXTERIOR WALLS)

(H) HOLD-DOWN (800 Lb MIN)

BRACINGS WITH DRYWALL (SB - 2 SIDES)

BRACED SHEATHING (CS-PP)

PORTAL WALL (CS-PP)

ALL DISCONTINUED EXTERIOR BRACED WALLS SHALL BE A MINIMUM TWO (2) PANEL SHEATHING
WITH TWO (2) PANELS OF DRYWALL. ALL INTERIOR BRACED WALLS SHALL BE A MINIMUM TWO (2)
PANELS OF DRYWALL. ALL BRACED WALLS SHALL BE A MINIMUM TWO (2) PANELS OF DRYWALL.
ALL BRACED WALLS SHALL BE A MINIMUM TWO (2) PANELS OF DRYWALL. ALL BRACED WALLS
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PANELS OF DRYWALL. ALL BRACED WALLS SHALL BE A MINIMUM TWO (2) PANELS OF
DRYWALL. ALL BRACED WALLS SHALL BE A MINIMUM TWO (2) PANELS OF DRYWALL.

1 SECOND FLOOR BRACED WALL LINES
SCALE 1/4" = 1'-0"

**COMPLETE THIS FORM WHEN DROPPING OFF ANY
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 7/7/17
To: Robert Freeman (HEALTH DEPT)
(Person's Name and Division)
From: Mitchella Clancy (443) 610-7514
(Your Name, Company Name and Telephone Number)
Subject: Project name "George" Propane Tank
Project site address 15046 Scottswood Ct
Permit Number B17002414 SDP # _____
Other information pertinent to this project _____

RECEIVED
JUL 10 2017
PLAN REVIEW DIVISION

☒ Please check the attachments below that you are submitting with this transmittal:

- ☐ Letter of response to Howard County plan review code letter
- ☒ Revised plans and/or revised details: When submitting for a complete re-review, **duplicate sets shall be submitted.**
- ☐ Structural steel certification (Revised Tank Location) Per Comments
- ☐ Energy conservation calculations
- ☐ Certification for _____ (be specific).
- ☐ Copies of _____ (be specific).
- ☐ Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # _____
- ☐ Other _____

Is there anyone else that should be contacted regarding this project if there are questions?

If so, please list that person's name and telephone number below:

(Person's name)

(Telephone number)

PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

Received by [Signature]

PER HEALTH DEPT

white: Plan Review Division
yellow: Applicant
pink: Permit Division

t:\Updated forms\transmit.frm - Rev. 5/08

(TANK LOCATION CHANGE)
cc: Bldg
pt 2

Freemon, Robert

To: michelle@appliedandapproved.com
Subject: 15046 Scottswood Ct.
Attachments: 15046 Scottswood Ct..pdf

Michelle,

I have reviewed building permit B17002414 and I need additional information. The proposed propane tank location conflicts with the septic line on the approved septic plan (see attached). On a revised plot plan I need to see that the propane tank is at least 5' from the proposed septic tank and where the propane line attaches to the house in comparison to the septic line. This revised plot plan must be sent to Dept. of Inspections Licenses and Permits (DILP) with a filled out transmittal sheet for the Health Department only. If you decide to change the propane tank location it will need to be noted on the transmittal sheet that the revised plan is to be sent to all departments for review. If you have any questions let me know.

Robert Freemon

Howard County Health Department

8930 Stanford Blvd. Columbia, MD 21045

Well and Septic Program

Bureau of Environmental Health

Phone: 410-313-6357

Email: rfreemon@howardcountymd.gov

<https://www.howardcountymd.gov/Departments/Health/Environmental-Health/Well-and-Septic>



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: _____

Building Address: 15046 Scottswood Ct
City: Woodbine State: MD Zip Code: 21797
Suite/Apt. #: _____ SDP/WP/BA #: kippenberg
Census Tract: _____ Subdivision: _____
Section: _____ Area: _____ Lot: 19
Tax Map: 0014 Parcel: 0240 Grid: 0003
Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: _____
Proposed Use: _____
Estimated Construction Cost: \$ 751,000.00
Description of Work: Install In-ground Pool
Heater, Fencing

Occupant/Tenant Name: _____
Was tenant space previously occupied? ☐ Yes ☐ No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height:	☐ SF Dwelling ☐ SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor:
	2 nd floor:
Area of construction (sq. ft.):	Basement:
	☐ Finished Basement
Use group:	☐ Unfinished Basement
	☐ Crawl Space
Construction type:	☐ Slab on Grade
☐ Reinforced Concrete	No. of Bedrooms:
☐ Structural Steel	Multi-family Dwelling
☐ Masonry	No. of efficiency units:
☐ Wood Frame	No. of 1 BR units:
☐ State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
> Roadside Tree Project Permit	Footings:
☐ Yes ☐ No	Roof:
Roadside Tree Project Permit #	☐ State Certified Modular
	☐ Manufactured Home

Property Owner's Name: Ryan George
Address: 15046 Scottswood Ct
City: Woodbine State: MD Zip Code: 21797
Phone: 410-627-9253 Fax: _____
Email: RyanGeorge15@gmail.com

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: _____
Address: _____
City: MD State: MD Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Contractor Company: NOVA BUILDERS INC
Contact Person: Mark Weiss
Address: 1123 E. Furman Branch Rd
City: Chesapeake State: MD Zip Code: 21060
License No.: 4537716310
Phone: 410-700-1710 Fax: 410-160-1447
Email: NOVA9@Comcast.net

Engineer/Architect Company: _____
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Utilities
Electric: ☒ Yes ☐ No
Gas: ☐ Yes ☐ No
Water Supply
☐ Public
☒ Private
Sewage Disposal
☐ Public
☒ Private
Heating System
☐ Electric ☐ Oil
☐ Natural Gas ☐ Propane Gas
☐ Other: _____
Sprinkler System:
☐ Yes ☐ No
Grading Permit Number:
Building Shell Permit Number:

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: NOVA 9 BUILDERS, LLC
Print Name: NOVA 9 BUILDERS, LLC
Date: 7-20-17
Title/Company: _____

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>5/1/17</u>	<u>Mark Weiss</u>
Is Sediment Control approval required for Issuance? ☐ Yes ☐ No		
☐ CONTINGENCY CONSTRUCTION START		

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? ☐ Yes ☐ No
Is Entrance Permit Required? ☐ Yes ☐ No
Historic District? ☐ Yes ☐ No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	#

Approved RVE 7/19/17

- EXISTING 2' CONTOURS
- EXISTING 10' CONTOURS
- EXISTING TREE LINE
- SOIL LINES AND TYPES
- DENOTES EXISTING WELL
- DENOTES PROPOSED TREELINE
- DENOTES 1500 SQ.M. ALTERNATE WELL SITE
- DENOTES DIVERSION FENCE
- DENOTES SILT FENCE
- DENOTES SUPER SILT FENCE
- DENOTES TREE PROTECTIVE FENCING

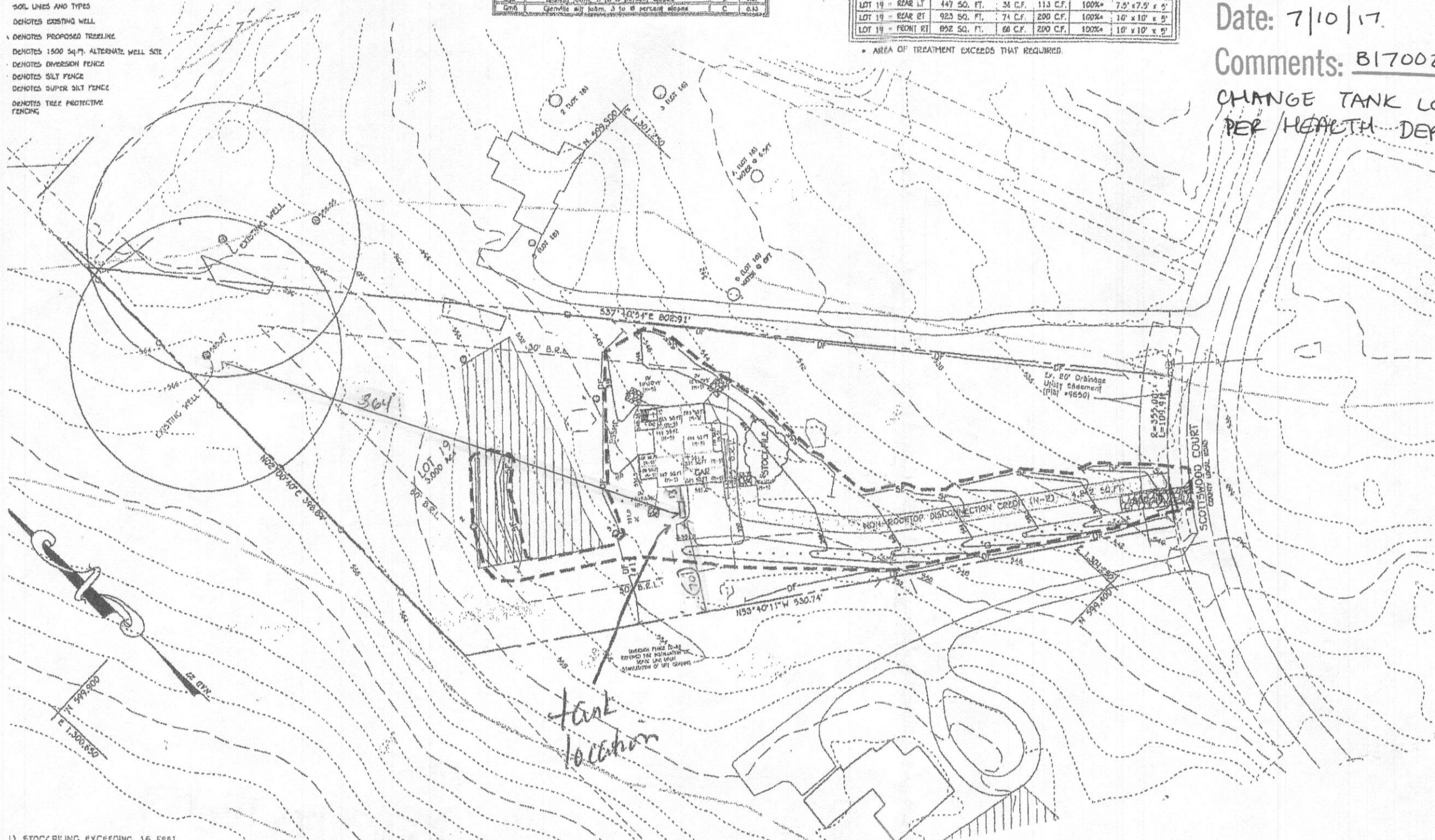
DRY WELL CHART						
WELL NO.	AREA OF ROOF PER DOWN SPOUT	VOLUME REQUIRED	VOLUME PREPARED	AREA OF TREATMENT	L	W
LOT 19 = GAR	670 SQ. FT.	51 C.F.	200 C.F.	100%	10' x 10' x 5'	
LOT 19 = REAR LT	447 SQ. FT.	34 C.F.	113 C.F.	100%	7.5' x 7.5' x 5'	
LOT 19 = REAR RT	923 SQ. FT.	74 C.F.	200 C.F.	100%	10' x 10' x 5'	
LOT 19 = FRONT RT	892 SQ. FT.	68 C.F.	200 C.F.	100%	10' x 10' x 5'	

REVISED

Date: 7/10/17.

Comments: B17002414

CHANGE TANK LOCATION
PER HEALTH DEPT



GENERAL NOTES:

1. THIS AREA DESIGNATES A PRIVATE SEWERAGE EASEMENT OF AT LEAST 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR HOWNOW SEWERAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE PROHIBITED UNTIL PUBLIC SEWERAGE IS AVAILABLE. THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWERAGE EASEMENT, RECORDS OF ANY ADJUSTMENT SEWERAGE EASEMENT SHALL NOT BE NECESSARY. ADJUSTMENTS TO SEPTIC EASEMENT AREA IS NOT PERMITTED WITHOUT ADDITIONAL TESTING. THE LOT SHOWN HEREON COMPLIES WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.

2. EXISTING WELLS AND/OR SEWERAGE EASEMENTS WITHIN 100 FEET OF THE PROPERTY HAVE BEEN SHOWN ON THE LOT. THE LOT HAS BEEN DISTURBED.

3. TOPOGRAPHY SHOWN IN THE AREA OF THE LOT BEING DISTURBED IS BASED ON A TOPOGRAPHIC SURVEY BY FISHER, COLLINS & CARTER, INC. IN NOVEMBER 2016 AND SUPERIMPOSED WITH HOWARD COUNTY GIS TOPOGRAPHY AT 2' CONTOUR INTERVAL. BOUNDARIES OF LOT BASED ON PLAT #9650 AND FIELD SURVEY BY FISHER, COLLINS & CARTER, INC.

4. ANY CHANGES TO A PRIVATE SEWERAGE EASEMENT SHALL REQUIRE A REVERSED PEAR CERTIFICATION PLAN.

DEED REFERENCE: 1982 12728 FDOU 173.

LOFT OF DISTURBANCE: 30,479 SQ. FT. OR 0.91 ACRES.

SUBJECT PROPERTY ZONED: RE-DCO

TOTAL AREA OF PROPERTY: 3.0 AC.

WETLANDS, STREAMS, THEIR BUFFERS, FLOODPLAIN, AND STEEP SLOPES DO NOT EXIST ON THIS LOT.

SOILS SHOWN HEREON ARE BASED ON NRCS WEB SOIL SURVEY AND HOWARD COUNTY SOILS MAP 5.

THIS PLAN IS EXEMPT FROM THE REQUIREMENTS OF SECTION 16.120 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY EXECUTION OF A DECLARATION OF INTENT FOR CEASING UPOON 30,000 SQUARE FEET FOR FOREST, @ 50.0 FT. IS BEING RETURNED.

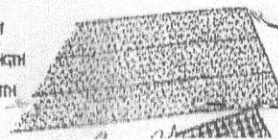
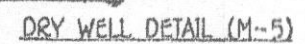
DEVELOPER'S CERTIFICATE

cyeloper

PROFESSIONAL CERTIFICATION

STORMWATER MANAGEMENT NOTES

1. STORMWATER MANAGEMENT IS PROVIDED IN ACCORDANCE WITH CHAPTER 5, "ENVIRONMENTAL SITE DESIGN" OF THE 2007 MARYLAND STORMWATER MANAGEMENT DESIGN MANUAL, EFFECTIVE MAY 4, 2010.
2. MAXIMUM CONTRIBUTING ROOF TOP AREA TO EACH DOWNSPUT SHALL BE 1,000 SQ. FT. OR LESS.
3. DRYWELLS SHALL BE PROVIDED AT LOCATIONS WHERE THE LENGTH OF DISCONNECTION IS LESS THAN 75' AT SR. THE SIZE AND CONSTRUCTION OF THE DRYWELL SHALL BE IN ACCORDANCE WITH THE DETAIL SHOWN ON THIS SHEET.
4. FINAL GRADING IS TO BE SHOWN ON A GRADING PLAN.

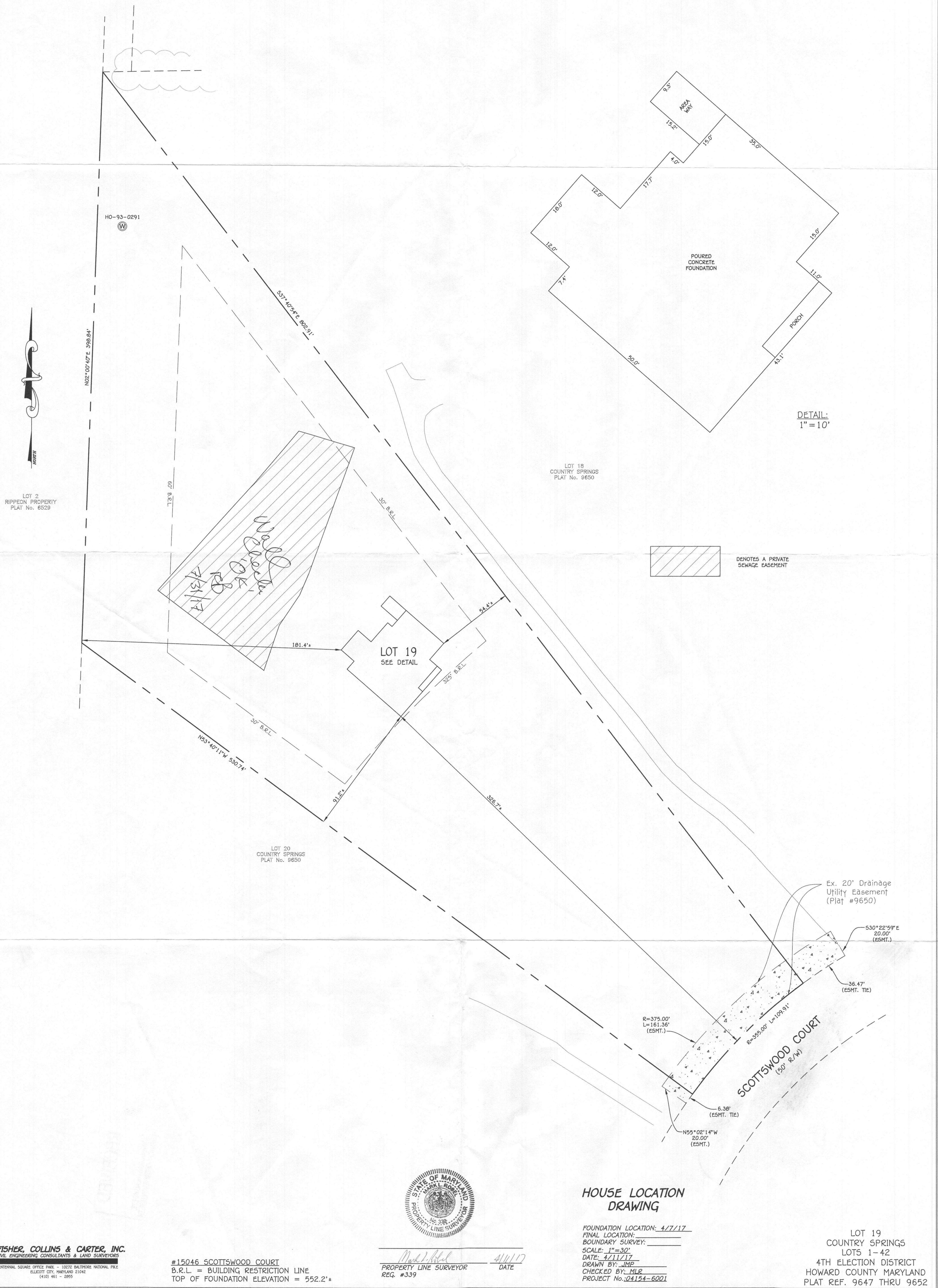
[illegible]

NOTE:

1. $\sigma = (2.84 \times 10^4) \text{ N/m}^2 = 2.8 \text{ MPa}$
 $\tau = (1.25 \times 10^4) \text{ N/m}^2 = 1.3 \text{ MPa}$
2. PRINCIPAL STRESS = 3.3 MPa (TENSILE)
3. SHAPE OF MOTION OF PRINCIPAL STRESS LINES WRT. ORIGINAL SHAPE. SLOPE = 1.516°
4. VELOCITY (R WRT. STRESS) = 1.2 MPa

SWALE DETAIL
NOT TO SCALE

- 1) THIS LOCATION DRAWING IS PREPARED FOR THE BENEFIT OF THE CLIENT SIGNING THE HOUSE LOCATION SURVEY APPROVAL FORM INsofar AS IT IS REQUIRED BY A LENDER OR TITLE INSURANCE COMPANY OR ITS AGENTS IN CONNECTION WITH THE CONTEMPLATED TRANSFER, FINANCING OR REFINANCING OF THE PROPERTY SHOWN HEREON. UNLESS INDICATED AS BEING A BOUNDARY SURVEY, THIS LOCATION DRAWING IS NOT INTENDED FOR USE IN THE ESTABLISHMENT OF PROPERTY LINES AND IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OR LOCATIONS OF FENCES, GARAGES, BUILDINGS OR OTHER EXISTING OR FUTURE IMPROVEMENTS. AS A RESULT, THIS LOCATION DRAWING DOES NOT PROVIDE FOR ACCURATE IDENTIFICATION OF PROPERTY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING FOR RE-FINANCING.
- 2) SUBJECT PROPERTY IS SHOWN IN ZONE X ON THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP OF HOWARD COUNTY, MARYLAND, COMMUNITY PANEL No. 24027C0160D EFFECTIVE 11/06/2013
- 3) THE OFFSETS FROM BUILDING LINE TO PROPERTY LINE AS SHOWN ON THE PLAT HEREON ARE TO AN ACCURACY OF PLUS OR MINUS 1.0.'
- 4) NO TITLE REPORT FURNISHED SUBJECT TO ALL EASEMENTS, RIGHTS OF WAY AND CONDITIONS OF RECORD.
- 5) PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROPERTY LINE SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 339, EXPIRATION DATE OCTOBER 4, 2018.
- 6) THE EXISTING WELL(S) SHOWN ON THIS PLAN (IDENTIFIED WITH THE ATTACHED WELL TAG NUMBER HO-93-0291 HAS BEEN FIELD LOCATED BY FISHER, COLLINS AND CARTER, INC. PROFESSIONAL LAND SURVEYORS AND IS ACCURATELY SHOWN.
- 7) BUILDING PERMIT #B-17000150



LEGEND

- EXISTING 2' CONTOURS
--- EXISTING 10' CONTOURS
--- EXISTING TREE LINE
--- SOIL LINES AND TYPES
--- DENOTES EXISTING WELL
--- DENOTES PROPOSED TREELINE
--- DENOTES 1500 SQ.FT. ALTERNATE WELL SITE
--- DF --- DENOTES DIVERSION FENCE
--- SF --- DENOTES SILT FENCE
--- SSF --- DENOTES SUPER SILT FENCE
--- TPF --- DENOTES TREE PROTECTIVE FENCING

SOILS LEGEND

SOIL	NAME	CLASS	K FACTOR
GAC	Gallia loam, 0 to 15 percent slopes	B	0.84
GGA	Glenelg loam, 0 to 5 percent slopes	B	0.87
GGB	Glenelg loam, 5 to 8 percent slopes	B	0.87
GMB	Glenelg silt loam, 3 to 8 percent slopes	C	0.43

DRY WELL CHART

DRYWELL NO.	AREA OF ROOF PER DOWN SPOUT	VOLUME REQUIRED	VOLUME PROVIDED	AREA OF TREATMENT	L W D
LOT 19 - GAR	670 SQ. FT.	54 C.F.	200 C.F.	100%	10' x 10' x 5'
LOT 19 - REAR LT	447 SQ. FT.	36 C.F.	113 C.F.	100%	7.5' x 7.5' x 5'
LOT 19 - REAR RT	923 SQ. FT.	74 C.F.	200 C.F.	100%	10' x 10' x 5'
LOT 19 - FRONT RT	852 SQ. FT.	68 C.F.	200 C.F.	100%	10' x 10' x 5'

* AREA OF TREATMENT EXCEEDS THAT REQUIRED.

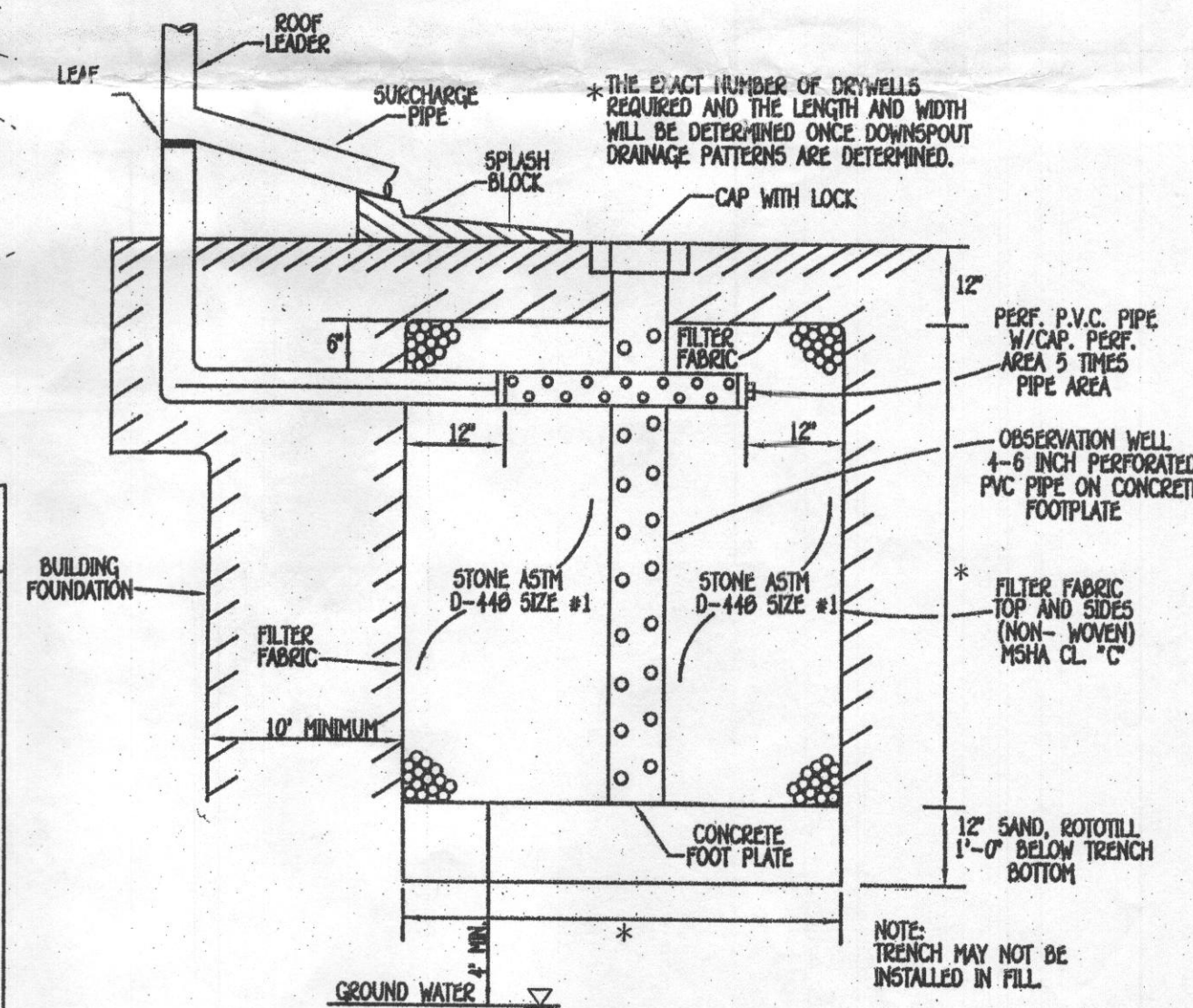
STORMWATER MANAGEMENT NOTES

- STORMWATER MANAGEMENT IS PROVIDED IN ACCORDANCE WITH CHAPTER 9, "ENVIRONMENTAL SITE DESIGN" OF THE 2007 MARYLAND STORMWATER MANAGEMENT DESIGN MANUAL, EFFECTIVE MAY 4, 2010.
- MAXIMUM CONTRIBUTING ROOF TOP AREA TO EACH DOWNSPOUT SHALL BE 1,000 SQ. FT. OR LESS.
- DRYWELLS SHALL BE PROVIDED AT LOCATIONS WHERE THE LENGTH OF DISCONNECTION IS LESS THAN 75' AT 5% SLOPE. THE SIZE AND CONSTRUCTION OF THE DRYWELL SHALL BE IN ACCORDANCE WITH THE DETAIL SHOWN ON THIS SHEET.
- FINAL GRADING IS TO BE SHOWN ON A GRADING PLAN.

GUTTER DRAIN FILTER DETAIL
NOT TO SCALEVICINITY MAP
SCALE: 1" = 1200'

GENERAL NOTES:

- THIS AREA DESIGNATES A PRIVATE SEWERAGE EASEMENT OF AT LEAST 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWERAGE DISPOSAL IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERAGE IS AVAILABLE. THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWERAGE EASEMENT. REDEMPTION OF A MODIFIED SEWERAGE EASEMENT SHALL NOT BE NECESSARY.
- ADJUSTMENTS TO SEPTIC EASEMENT AREA IS NOT PERMITTED WITHOUT ADDITIONAL TESTING. THE LOT SHOWN HEREON COMPLIES WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
- EXISTING WELLS AND/OR SEWERAGE EASEMENTS WITHIN 100 FEET OF THE PROPERTY HAVE BEEN SHOWN FROM THE BEST AVAILABLE INFORMATION.
- TOPOGRAPHY SHOWN IN THE AREA OF THE LOT BEING DISTURBED IS BASED ON A TOPOGRAPHIC SURVEY BY FISHER, COLLINS & CARTER, INC. IN NOVEMBER, 2016 AND SUPPLEMENTED WITH HOWARD COUNTY GIS TOPOGRAPHY AT 2' CONTOUR INTERVAL.
- BOUNDARY OF LOT BASED ON PLAT #9950 AND FIELD SURVEY BY FISHER, COLLINS & CARTER, INC.
- ANY CHANGES TO A PRIVATE SEWERAGE EASEMENT SHALL REQUIRE A REVISED PERC CERTIFICATION PLAN.
- DEED REFERENCE: LIBER 17272 FOLIO 173.
- LIMIT OF DISTURBANCE: 39,479 SQ. FT. OR 0.91 ACRES.
- SUBJECT PROPERTY ZONED: RC-DEO
- TOTAL AREA OF PROPERTY: 3.0 AC.
- WETLANDS, STREAMS, THEIR BUFFERS, FLOODPLAIN, AND STEEP SLOPES DO NOT EXIST ON THIS LOT.
- SOILS SHOWN HEREON ARE BASED ON NRCS WEB SOIL SURVEY AND HOWARD COUNTY SOILS MAP 3.
- THIS PLAN IS EXEMPT FROM THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY EXECUTION OF A DECLARATION OF INTENT FOR CLEARING UNDER 20,000 SQUARE FEET FOR FOREST, 0 SQ. FT. IS BEING DISTURBED.

DRY WELL DETAIL (M-5)
NOT TO SCALE

- NOTE:
1. $Q = (0.28)(4.5)(1.9) = 2.2$ CFS
 2. $Q = (0.28)(4.5)(1.9) = 2.2$ CFS
 3. $Q = (0.28)(4.5)(1.9) = 2.2$ CFS
 4. $Q = (0.28)(4.5)(1.9) = 2.2$ CFS

SWALE DETAIL
NOT TO SCALE

Approved R17000150 2/16/17

GRADING, SEDIMENT, & EROSION CONTROL PLAN
COUNTRY SPRINGS

LOT 19
15046 SCOTTWOOD COURT

ZONING: RC-DEO
GRID No. 0003 PARCEL No. 240
FOURTH ELECTION DISTRICT: HOWARD COUNTY, MARYLAND
DATE: DECEMBER, 2016
SHEET 1 OF 2

NOTE: (1) STOCKPILING EXCEEDING 15 FEET IN HEIGHT MUST BE BENCHED.

DEVELOPER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Signature of Developer

11/17
Date

ENGINEER'S CERTIFICATE

"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Signature of Engineer

11/17
Date

FISHER, COLLINS & CARTER, INC.

CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS

CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 461-2992

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: 01/12/2018.

Signature of Professional Engineer
11/12/17
Date

OWNER

RYAN & JENNIFER GEORGE
15046 SCOTTWOOD COURT
WOODBINE, MD 21797
443-623-9255

BUILDER

LAKESTONE HOMES, LLC
11819 PRINCESS LANE
ELLCOTT CITY, MD 21042
443-535-5555

APPROVED: 11/12/17

Signature of Professional Engineer

Signature of Professional Engineer

Signature of Professional Engineer

Signature of Professional Engineer

PLAN
SCALE: 1"=40'

Table B.4. Materials Specifications for Micro-Bioretenion, Rain Gardens & Landscape Infiltration

Material	Specification	Size	Notes
Plantings	see Appendix A: Table A.4	n/a	plantings are site-specific
Planting soil	loamy sand 60-65% or compost 35-40% or sandy loam 50% coarse sand 50% compost 40%	n/a	USDA soil types loamy sand or sandy loam; clay content <5%
Organic Content	Min. 10% by dry weight (ASTM D 2974)	n/a	aged 6 months, minimum
Mulch	shredded hardwood	No. 8 or No. 9 (1/8" to 3/8")	
Pea gravel diaphragm	pea gravel: ASTM-D-448	n/a	
Curtain drain	ornamental stone: washed cobble	stone: 2" to 5"	
Gravel	n/a	n/a	PE Type 1 nonwoven
Gravel (underdrains and infiltration berms)	ASTM M-40	No. 57 or No. Aggregate (3/8" to 3/4")	
Underdrain piping	F 756, Type F5 P20 or ASTM H-270	4" to 6" rigid schedule 40 PVC or SDR35	Sloped or perforated pipe; 3/8" per ft. @ 6" on center, 4 holes per row; minimum of 3" of gravel over pipe; not necessary underdrain pipes. Perforated pipe shall be wrapped with 1/4 inch galvanized hardware cloth
Poured in place concrete (if required)	MSHA Mix No. 3; f = 3500 psi at 28 days, normal weight, air-entrained; reinforcing to meet ASTM-A115-10	n/a	on-site testing of poured-in-place concrete required; 28 day strength and slump test; all concrete design (cast-in-place or pre-cast) not using previously approved mix or local aggregate requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland - design to include meeting ACI Code 308.2R-09; vertical loading 0.1-10 or 11-202; allowable horizontal loading (based on soil pressure); and analysis of potential cracking
Sand	ASTM-H-6 or ASTM-C-33	0.02" to 0.04"	Sand substitutions such as Dabbase and Graystone (ASTM) #10 are not acceptable. No calcium carbide or dolomitic sand substitutions are acceptable. No "rock dust" can be used for sand.



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

OILP 2017 JUN 17 11:17

Date Received: _____

Permit No.: B170000150

Building Address: 15046 Scottswood Ct
City: _____ State: MD Zip Code: 21797
Suite/Apt. # _____ SDP/WP/BA #: _____
Census Tract: _____ Subdivision: Scottswood
Section: _____ Area: _____ Lot: 19
Tax Map: 14 Parcel: 340 Grid: 0003
Zoning: _____ Map Coordinates: _____ Lot Size: 3.0

Existing Use: _____
Proposed Use: _____
Estimated Construction Cost: \$ _____
Description of Work: Garage
Occupant/Tenant Name: _____
Was tenant space previously occupied? ☐ Yes ☐ No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height: _____	☐ SF Dwelling ☐ SF Townhouse
No. of stories: _____	Depth _____ Width _____
Gross area, sq. ft./floor: _____	1 st floor: _____
	2 nd floor: _____
Area of construction (sq. ft.): _____	Basement: _____
Use group: _____	☐ Finished Basement
	☐ Unfinished Basement
	☐ Crawl Space
Construction type: _____	☐ Slab on Grade
☐ Reinforced Concrete	No. of Bedrooms: <u>5</u>
☐ Structural Steel	Multi-family Dwelling
☐ Masonry	No. of efficiency units: _____
☐ Wood Frame	No. of 1 BR units: _____
☐ State Certified Modular	No. of 2 BR units: _____
	No. of 3 BR units: _____
	Other Structure: _____
	Dimensions: _____
➤ Roadside Tree Project Permit	Footings: _____
☐ Yes ☐ No	Roof: _____
Roadside Tree Project Permit # _____	☐ State Certified Modular
	☐ Manufactured Home

Property Owner's Name: John and Patricia
Address: 3075 Williamsburg Ln
City: Frederick State: MD Zip Code: 21701
Phone: 443-625-4255 Fax: _____
Email: john@johnandpatricia.com

Applicant's Name & Mailing Address, (If other than stated herein)

Applicant's Name: Labrador Home
Address: 11119 Private Ln
City: Frederick State: MD Zip Code: 21701
Phone: 443-531-5255 Fax: 410-541-4129
Email: 505@labradorhomes.com

Contractor Company: Laboratory Home
Contact Person: Ted Voss
Address: 11119 Private Ln
City: Frederick State: MD Zip Code: 21701
License No.: 24424
Phone: 443-531-5255 Fax: 410-541-4129
Email: Ted@labradorhomes.com

Engineer/Architect Company: _____
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Utilities	
Electric: ☐ Yes ☐ No	
Gas: ☐ Yes ☐ No	
Water Supply	
☐ Public	
☒ Private	
Sewage Disposal	
☐ Public	
☒ Private	
Heating System	
☐ Electric ☐ Oil	
☐ Natural Gas ☒ Propane Gas	
Other: _____	
Sprinkler System:	
☒ Yes ☐ No	
Grading Permit Number: <u>617000016</u>	
Building Shell Permit Number: _____	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature

Email Address

Title/Company

Print Name

Date

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY

-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>2/16/17</u>	<u>Rodriguez</u>

Is Sediment Control approval required for issuance? ☐ Yes ☐ No
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front: _____
Rear: _____
Side: _____
Side St.: _____
All minimum setbacks met? ☐ Yes ☐ No
Is Entrance Permit Required? ☐ Yes ☐ No
Historic District? ☐ Yes ☐ No
Lot Coverage for New Town Zone: _____
SDP/Red-line approval date: _____

Filing Fee	\$ <u>100.00</u>
Permit Fee	\$ _____
Tech Fee	\$ _____
Excise Tax	\$ _____
PSFS	\$ _____
Guaranty Fund	\$ <u>50.00</u>
Add'l per Fee	\$ _____
Total Fees	\$ _____
Sub- Total Paid	\$ _____
Balance Due	\$ _____
Check	# <u>10001</u>

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

SOILS LEGEND			
SOIL	NAME	CLASS	K FACTOR
GaC	Gaia loam, 0 to 15 percent slopes	B	0.24
GgA	Glenly loam, 0 to 5 percent slopes	B	0.37
GgB	Glenly loam, 3 to 8 percent slopes	B	0.37
Gmb	Glenly all loam, 3 to 8 percent slopes	C	0.43

LEGEND

--- EXISTING 2' CONTOURS
--- EXISTING 10' CONTOURS
--- EXISTING TREE LINE
--- SOIL LINES AND TYPES
⊙ DENOTES EXISTING WELL

2" SCH. 40 PVC = 98 LF
1 1/8" HD 4" EQUIVALENT FEET = 4 LF
TOTAL LINEAR FEET OF 2" SCH. 40 PVC = 102 LF

DYNAMIC HEAD
102 LF X 3.11 FT PER 100 LF OF 2" PIPE = 3.17 FT OF FRICTION HEAD
VERTICAL FROM PUMP OFF TO HIGH POINT IN PUMP CHAMBER = 3.59 FT OF FRICTION HEAD
HIGH POINT IN PUMP CHAMBER TO HIGHEST ELEV. OF SYSTEM = 3.56 FT
TOTAL DYNAMIC HEAD = 10.32 FT

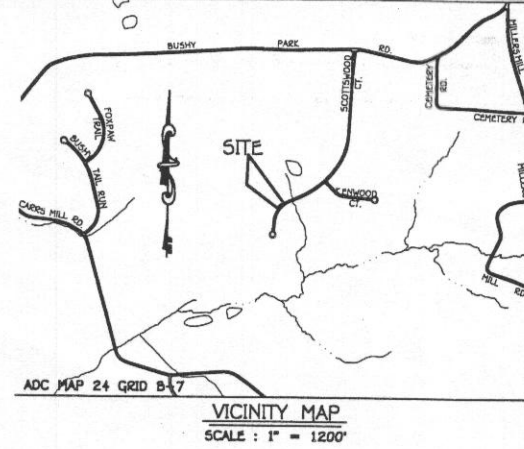
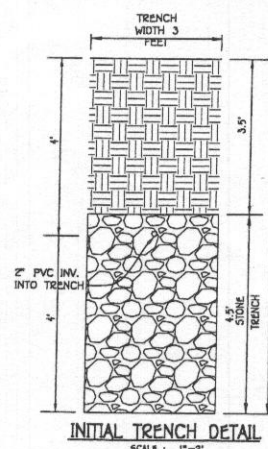
1/5 DESIGN FLOW (1,050 GPD / 175)
USE 175 GALLON DOME (175 GALLON MINIMUM)
(RUN TIME = 4 MIN (43.75 GPM X 4 = 175 GALLON DOME))
PUMP NEEDS TO HANDLE 43.75 GPM AT 10.3 FT OF HEAD
USE 0.4 HP (CPO4 PUMP)

SEPTIC SYSTEM ELEVATIONS

FFE = 553.4
BSE = 543.4
INV. OUT OF HOUSE = 549.82
EX. GROUND AT TANK = 551.7
TOP OF TANK = 549.89
COVER OVER TANK = 1.8
INV. INTO TANK = 549.14
INV. OUT OF TANK = 548.81
EX. GROUND AT PUMP TANK = 553.0
PROP. GROUND AT PUMP TANK = 552.5
TOP OF TANK = 549.52
COVER OVER TANK = 3 FT
PROP. INV. INTO TANK = 548.77
INV. OUT OF TANK = 549.69
EX. GROUND AT DISTRIBUTION BOX = 557.0
INV. INTO DISTRIBUTION BOX = 553.25
INV. OUT OF DISTRIBUTION BOX = 553.0

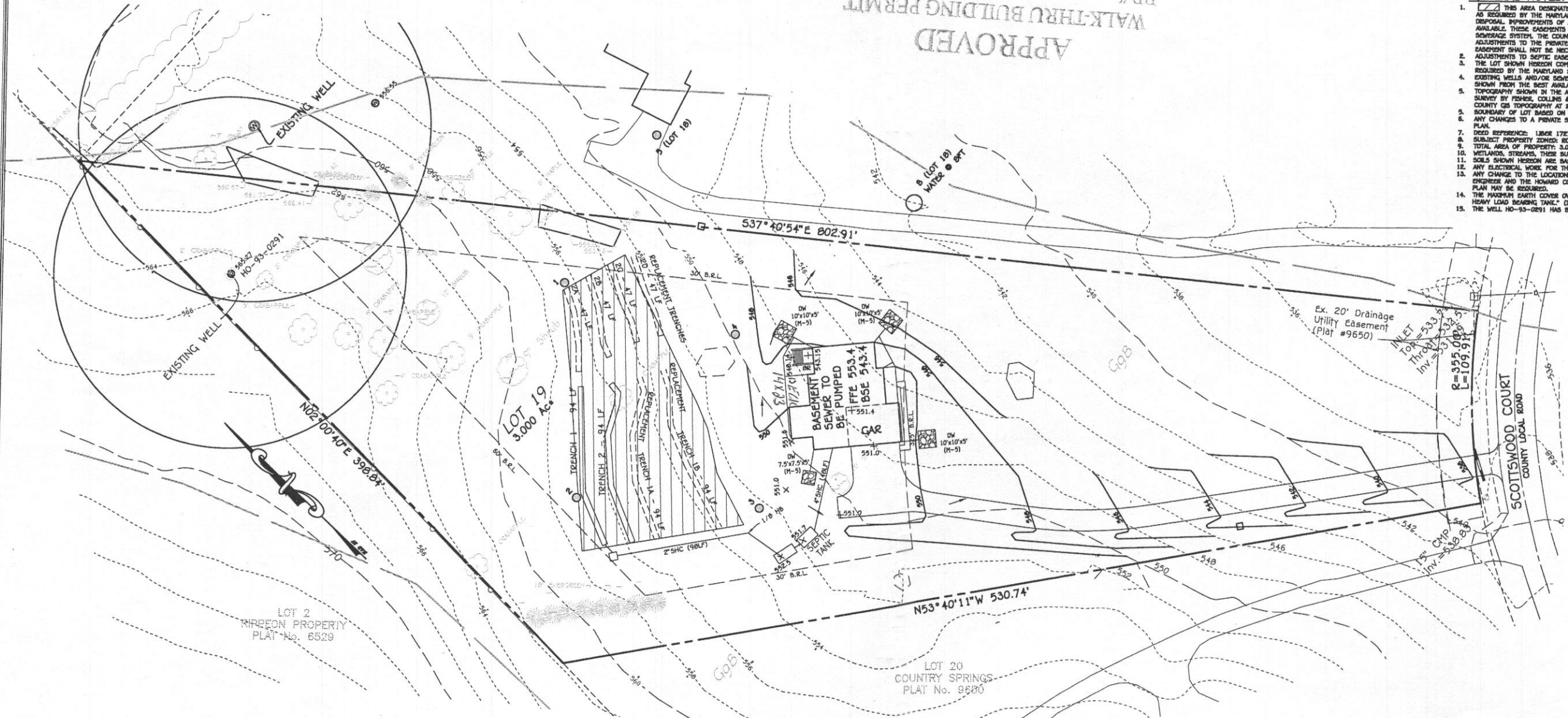
SEWAGE DISPOSAL SYSTEM DATA

7 BEDROOMS
LOADING RATE = 7 BEDROOMS X 150 GPD/BEDROOM = 1,050 GPD
APPLICATION RATE = 0.8
INITIAL EFFECTIVE SIDEWALL BEGINS AT 4 FEET
TRENCH DEPTH = 8 FEET
TRENCH WIDTH (W) = 3 FEET
EFFECTIVE DEPTH (D) = 4 FEET
SF OF DRAINFIELD = 1,050 GPD / 0.8 = 1,312.5 SF
COEFFICIENT OF REDUCTION OF TRENCH LENGTH =
(W+2)/(W+1+2D) = (3+2)/(3+1+2(4)) = 0.417
TRENCH LENGTH = 1,312.5 SF X 0.417 / 3 = 187.7 FEET
(USE 188 FEET)
TRENCH SPACING = 2D+W = ((2x4) + 3) = 11 USE 11'



GENERAL NOTES:

- THIS AREA DESIGNATES A PRIVATE SEWERAGE EASEMENT OF AT LEAST 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWERAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERAGE IS AVAILABLE. THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICE SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWERAGE EASEMENT. RECONSTRUCTION OF A MODIFIED SEWERAGE EASEMENT SHALL NOT BE NECESSARY.
- ADJUSTMENTS TO SEPTIC EASEMENT AREA IS NOT PERMITTED WITHOUT ADDITIONAL TESTING.
- THE LOT SHOWN HEREON COMPLIES WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
- EXISTING WELLS AND/OR SEWERAGE EASEMENTS WITHIN 100 FEET OF THE PROPERTY HAVE BEEN SHOWN FROM THE BEST AVAILABLE INFORMATION.
- TOPOGRAPHY SHOWN IN THE AREA OF THE LOT BEING DISTURBED IS BASED ON A TOPOGRAPHIC SURVEY BY FISHER, COLLINS & CARTER, INC. IN NOVEMBER, 2016 AND SUPPLEMENTED WITH HOWARD COUNTY GIS TOPOGRAPHY AT 2' CONTOUR INTERVAL.
- BOUNDARY OF LOT BASED ON PLAT #9650 AND FIELD SURVEY BY FISHER, COLLINS & CARTER, INC.
- ANY CHANGES TO A PRIVATE SEWERAGE EASEMENT SHALL REQUIRE A REVISED PERC CERTIFICATION PLAN.
- DEED REFERENCE: LIBER 17272 FOLIO 173.
- SUBJECT PROPERTY ZONED: RC-DEO
- TOTAL AREA OF PROPERTY: 3.0 AC.
- WETLANDS, STREAMS, TREE BUFFERS, FLOODPLAIN, AND STEEP SLOPES DO NOT EXIST ON THIS LOT.
- SOILS SHOWN HEREON ARE BASED ON NRCS WEB SOIL SURVEY AND HOWARD COUNTY SOILS MAP 3.
- ANY ELECTRICAL WORK FOR THE SAT INSTALLATION MUST BE PERFORMED BY A LICENSED ELECTRICIAN.
- ANY CHANGE TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
- THE HAZARDOUS EARTH COVER OVER THIS TANK IS 3 FEET. GREATER EARTH COVER WILL REQUIRE A HEAVY LOAD BEARING TANK. (IF NOT A LOAD BEARING SEPTIC TANK)
- THE WELL HO-93-0291 HAS BEEN FIELD LOCATED BY FISHER, COLLINS AND CARTER, INC.



PLAN
SCALE: 1"=30'

TRENCH DESIGN									
TRENCH	GROUND ELEV.	TOP OF STONE ELEV.	PVC INVERT ELEV.	DEPTH OF TRENCH (FT)	DEPTH OF TRENCH (FT)	BOTTOM OF TRENCH ELEV.	EFFECTIVE DEPTH STARTS AT	EFFECTIVE DEPTH (D)	WIDTH OF TRENCHES (W)
1	557.0	553.5	553.0	3.5'	4.5'	549.0	4.0'	4.0'	3.0'
2	553.9	550.4	551.9	3.5'	4.5'	547.9	4.0'	4.0'	3.0'

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A duly LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 30306, EXPIRATION DATE: 01/12/2018.



SEPTIC PLAN COUNTRY SPRINGS

LOT 19
15046 SCOTTSDOOD COURT

ZONING: RC-DEO
TAX MAP No. 14 GRID No. 0003 PARCEL No. 240
FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
DATE: FEBRUARY, 2017 SHEET 1 OF 2

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10075 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2200

OWNER
RYAN & JENNIFER GEORGE
11819 PRINCESS LANE
WOODBINE, MD 21797
443-823-9295

BUILDER
LAKESTONE HOMES, LLC
11819 PRINCESS LANE
ELLSWORTH CITY, MD 21042
443-535-9995

Transmittal

Via: ☐ Fax ☐ Mail ☒ Messenger ☐ E-Mail ☐ To Be Picked Up
☐ Fax (original to follow via U.S. Mail)

To: Bureau of Environmental Health 8930 Stanford Blvd Columbia, MD 21046-4544	Attn: Robert Freemon Fax: (410) 313-2648 Phone: (410) 313-2640
--	---

From: Stephanie Tuite	CC:
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Re: 15046 Scottswood Court - Septic Plan	W.O.# 30293-1
Date: 01/26/17	Pages: Page(s) Including this cover

We are forwarding:	☒ Prints	☐ Copy of Letter	☐ Specifications	☐ Shop drawings	☒ Other
	☐ Urgent	☐ For your use	☐ As requested	☐ For Review & Comment	

Remarks:

Attached please find three copies of the Septic Plan for Permit # B17000150.

Please call with any questions.

Stephanie Tuite, RLA, PE, LEED AP BD&C
Fisher, Collins & Carter, Inc.

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