



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: _____

Building Address: 17301 White Plains Ct.
City: MD, Aging State: MD Zip Code: 21771
Suite/Apt. #: _____ SDP/WP/BA #: _____
Census Tract: _____ Subdivision: 0000
Section: _____ Area: _____ Lot: _____
Tax Map: 0007 Parcel: 0001 Grid: 0001
Zoning: _____ Map Coordinates: _____ Lot Size: 3.03 AC

Existing Use: Kitchen
Proposed Use: Kitchen
Estimated Construction Cost: \$ 60K
Description of Work: 2 new windows in existing opening. Renovate existing kitchen, new cabinets, tops, appliances.
Occupant/Tenant Name: Dawn Bortion & Martin Archambeault
Was tenant space previously occupied? ☒ Yes ☐ No
Contact Name: Martin Archambeault
Address: 17301 White Plains Ct
City: MD, Aging State: MD Zip Code: 21771
Phone: 410-458-7606 Fax: _____
Email: Martin.Archambeault@ex.com

Property Owner's Name: Dawn Bortion & Martin Archambeault
Address: 17301 White Plains Ct
City: MD, Aging State: MD Zip Code: 21771
Phone: 410-458-7606 Fax: _____
Email: Martin.Archambeault@ex.com

Applicant's Name & Mailing Address, (if other than stated herein)
Applicant's Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Contractor Company: Talon Const. Inc
Contact Person: Paul Kosner
Address: 302 East 4th St.
City: Fred State: MD Zip Code: 21701
License No.: MHC # 49783
Phone: 240-405-6218 Fax: 301-620-8612
Email: Paul@talon-construction.com

Engineer/Architect Company: Talon Const Inc
Responsible Design Prof.: Brian Sharpe
Address: 302 East 4th St.
City: Fred State: MD Zip Code: 21701
Phone: 240-818-7140 Fax: 301-620-8612
Email: Brian@talon-construction.com

| Commercial Building Characteristics | Residential Building Characteristics |
|--|---|
| Height: _____ | <input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse |
| No. of stories: _____ | Depth _____ Width _____ |
| Gross area, sq. ft./floor: _____ | 1 st floor: <u>1,450</u> |
| Area of construction (sq. ft.): _____ | 2 nd floor: <u>1,050</u> |
| Use group: _____ | Basement: <u>1,450</u> |
| Construction type: _____ | <input checked="" type="checkbox"/> Finished Basement |
| <input type="checkbox"/> Reinforced Concrete | <input type="checkbox"/> Unfinished Basement |
| <input type="checkbox"/> Structural Steel | <input type="checkbox"/> Crawl Space |
| <input type="checkbox"/> Masonry | <input type="checkbox"/> Slab on Grade |
| <input type="checkbox"/> Wood Frame | No. of Bedrooms: <u>3-4</u> |
| <input type="checkbox"/> State Certified Modular | <u>Multi-family Dwelling</u> |
| | No. of efficiency units: _____ |
| | No. of 1 BR units: _____ |
| | No. of 2 BR units: _____ |
| | No. of 3 BR units: _____ |
| | Other Structure: _____ |
| | Dimensions: _____ |
| | Footings: _____ |
| | Roof: _____ |
| | <input type="checkbox"/> State Certified Modular |
| | <input type="checkbox"/> Manufactured Home |

| Utilities |
|---|
| Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No |
| Gas: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| Water Supply |
| <input type="checkbox"/> Public |
| <input checked="" type="checkbox"/> Private |
| Sewage Disposal |
| <input type="checkbox"/> Public |
| <input checked="" type="checkbox"/> Private |
| Heating System |
| <input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil |
| <input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas |
| <input type="checkbox"/> Other: _____ |
| Sprinkler System |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| Grading Permit Number: <u>2</u> |
| Building Shell Permit Number: <u>2</u> |

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO INSPECT THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Paul Kosner
Email Address: Paul@talon-construction.com
Title/Company: V.P. Sales

Print Name: Paul Kosner
Date: 3-19-18

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

| AGENCY | DATE | SIGNATURE OF APPROVAL |
|--------------------|------|-----------------------|
| State Highways | | |
| Building Officials | | |
| PSZA (Zoning) | | |
| PSZA (Engineering) | | |
| Health | | |

Is Sediment Control approval required for issuance? ☐ Yes ☒ No
☐ CONTINGENCY CONSTRUCTION START

| DPZ SETBACK INFORMATION |
|---|
| Front: _____ |
| Rear: _____ |
| Side: _____ |
| Side St.: _____ |
| All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No |
| Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No |
| Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No |
| Lot Coverage for New Town Zone: _____ |
| SDP/Red-line approval date: _____ |

| Filing Fee | \$ |
|----------------|----|
| Permit Fee | \$ |
| Tech Fee | \$ |
| Excise Tax | \$ |
| PSFS | \$ |
| Guaranty Fund | \$ |
| Add'l per Fee | \$ |
| Total Fees | \$ |
| Sub-Total Paid | \$ |
| Balance Due | \$ |
| Check | # |

Distribution of Copies: White: Building Officials Green: PSZA, Zoning Yellow: PSZA, Engineering Pink: Health Gold: SHA

Client has stated 3 bedrooms with sitting room with closet. Client said this is how they bought the home, and not sure if this is listed. 3 or 4 bedrooms with County records. P.D. Talon Const 3-19-18

GENERAL NOTES:

1. ALL WORK SHALL COMPLY WITH THE 2015 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC), THE 2015 EDITION OF THE INTERNATIONAL ENERGY CONSERVATION CODE AND ALL OTHER APPLICABLE CODES, REGULATIONS AND ORDINANCES.
2. ALL WORK SHALL BE COMPLETED BY EXPERIENCED TRADESMEN.
3. ANY INCONSISTENCIES FOUND BETWEEN THE DRAWINGS AND EXISTING CONDITIONS OR BETWEEN THE DRAWINGS THEMSELVES SHALL BE REPORTED TO THE DESIGNER AND CONTRACTOR, AND SHALL BE WORKED OUT IN THE FIELD.
4. DRAWINGS ARE TO BE READ AND NEVER SCALED.
5. PROTECT ALL JOBSITE CONDITIONS NOT SPECIFICALLY AFFECTED BY THE WORK.
6. THE CONTRACTOR SHALL MAINTAIN THE JOBSITE FREE AND CLEAR OF TRASH AND DEBRIS.
7. FOLLOW INDUSTRY GUIDELINES AND REGULATIONS FOR SELECTION, APPLICATION AND INSTALLATION OF EACH MATERIAL.
8. FIELD VERIFY ALL DIMENSIONS BEFORE BEGINNING THE WORK.
9. CONTRACTORS SHALL FURNISH AND INSTALL ALL WORK AND MATERIALS AS MAY BE PROPER AND SUITABLE PREPARATION BASIS, SUPPORT OR FINISH FOR THE WORK WHICH IS SHOWN ON THE DRAWINGS WHETHER OR NOT THE SAME IS SPECIFICALLY MENTIONED.

DEMOLITION NOTES:

- 1 PROVIDE TEMPORARY SUPPORT AND SHORING AS REQUIRED BEFORE NEW WORK IS IN PLACE.
- 2 PROTECT EXISTING WALLS AND OTHER FINISH CONDITIONS NOT TO BE DEMOLISHED.
- 3 HVAC: SALVAGE MECHANICAL LINES TO BE RE-WORKED BY TECHNICIAN AS NECESSARY.
- 4 ELECTRICAL: ALL ELECTRICAL WIRING AND DEVICES TO BE CAPPED FOR LICENSED ELECTRICIAN'S RE-WORK.
- 5 PLUMBING: REMOVE ALL PLUMBING FIXTURES IN KITCHEN. ALL PLUMBING LINES TO BE CAPPED FOR LICENSED PLUMBER'S RE-WORK.
- 6 FLOORING: ALL HARDWOOD FLOORING TO REMAIN IN PLACE, BUT TO BE REFINISHED. HARDWOOD FLOORING IN FRONT OFFICE OFF FOYER TO REMAIN AS IS.
- 7 FRAMING: REMOVE FRAMING TO THE SOUTH OF KITCHEN/DINING ROOM Cased OPEN AS SHOWN TO ALLOW FOR REPOSITIONING. REMOVE EXISTING PANTRY WALL FRAMING. REMOVE DRYWALL TO CHECK FEASIBILITY OF RE-FRAMING BEARING WALL AT NEW REFRIGERATOR LOCATION TO POCKET FRIDGE.
- 8 DOORS: REMOVE AND DISCARD PANTRY DOORS.
- 9 WINDOWS: REMOVE & DISCARD EXISTING KITCHEN WINDOWS AT SINK.
- 10 TRIM: REMOVE AND SALVAGE ALL TRIM FOR POSSIBLE REUSE.
- 11 RECYCLE MATERIALS PER GOOD WASTE MANAGEMENT PRACTICES.

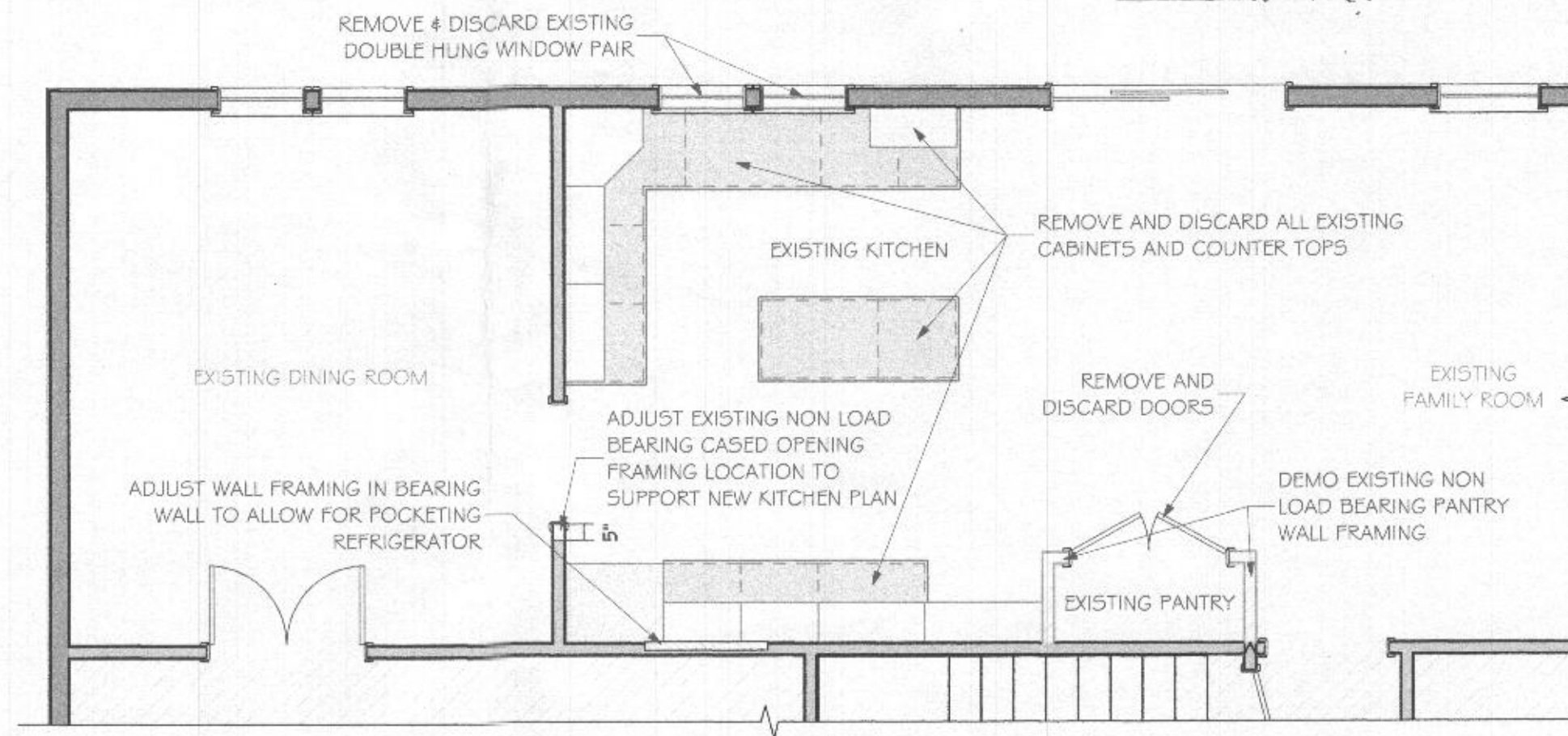
- ☐ INTERIOR PARTITION WALLS TO BE REMOVED
- ☒ EXISTING EXTERIOR WALLS TO REMAIN
- ☒ EXISTING INTERIOR WALLS TO REMAIN
- ☐ AREA NOT IN SCOPE OF WORK

ARCHAMBEAULT-BUTTON KITCHEN REMODEL

APPROVED

WALK-THRU BUILDING PERMIT

BP# _____ A# _____
APP. SAN R. Buckle DATE: 4/5/18
DESC. OF WORK: remodel kitchen
as illustrated



1
A-0 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



CONTRACTOR

TALON CONSTRUCTION
302 East 4th Street
Frederick, MD 21701
301-625-8804

PERMIT
DRAWINGS

CLIENT

ARCHAMBEAULT-BUTTON RESIDENCE
17301 WHITE PLAINS COURT
MT. AIRY, MD 21771
HOWARD COUNTY

CLIENT APPROVAL

SCOPE OF PROJECT

REMODEL EXISTING KITCHEN

DRAWING NAME

DEMOLITION
PLAN

DATE

MARCH 19, 2018

DRAWING NUMBER

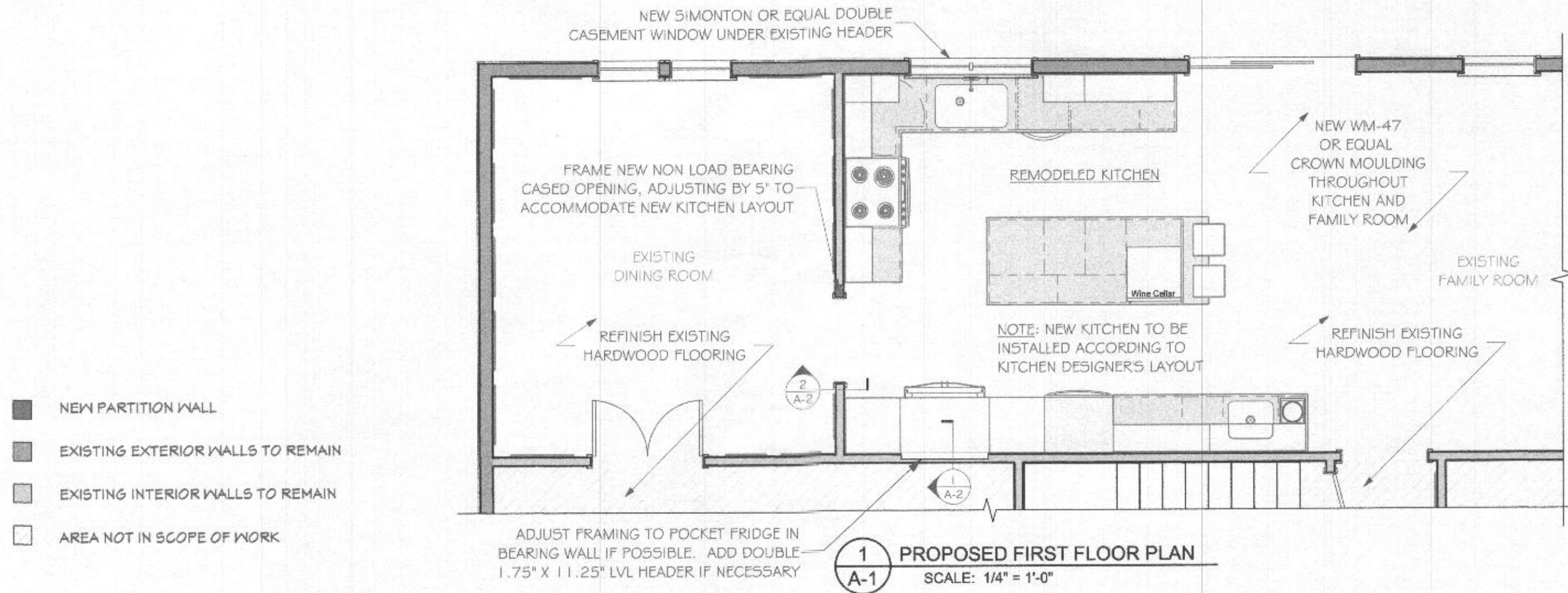
A-0

CONSTRUCTION NOTES:

- 1 FIELD VERIFY ALL MEASUREMENTS BEFORE STARTING WORK.
- 2 ALL DIMENSIONS SHOWN ARE TO DRYWALL FACE, ALWAYS ASSUMING 1/2" FACING MATERIAL IS OR WILL BE IN PLACE. ALLOW AN EXTRA 1/2" FOR FRAMING PLACEMENT.
- 3 ALL NEW INTERIOR WALLS AND FRAMED-IN OPENINGS ARE IMPLIED TO BE CONSTRUCTED WITH 2X4 SPF PLACED AT 16" O.C., MAX., 2X4 SPF TOP PLATES, AND 2X4 BOTTOM PLATES.
- 4 HVAC: MECHANICAL LINES TO BE RE-WORKED AS NECESSARY BY TECHNICIAN.
- 5 ELECTRICAL: ALL ELECTRICAL WIRING AND DEVICES TO BE REWORKED AND INSTALLED BY LICENSED ELECTRICIAN.
- 6 PLUMBING: INSTALL NEW KITCHEN FIXTURES IN NEW LOCATIONS AS SHOWN, INCLUDING SECONDARY SINK AND SPIGOT FOR DOG FEEDING STATION. ALL PLUMBING WORK TO BE REWORKED AND INSTALLED BY A LICENSED PLUMBER.
- 7 FRAMING: FRAME KITCHEN/DINING ROOM CASED OPENING IN NEW LOCATION AS SHOWN. FRAME NEW RECESSED COVE FOR REFRIGERATOR AT LOCATION IN BEARING WALL IF FEASIBLE. IF IT IS FEASIBLE, USE A DOUBLE 1.75" X 11.25" LVL HEADER TO CARRY THE LOAD FOR THE 39" SPAN. SUPPORT HEADER WITH 4" JACK STUD BEARING, MIN., OVER EXISTING SOLID WOOD BLOCKING TO BEAM BELOW.
- 8 DRYWALL: ALL WALL AND CEILING PATCHES TO RECEIVE 1/2" GYPSUM BOARD.

- 9 FLOORING: EXISTING HARDWOOD FLOORING TO BE REFINISHED IN DINING ROOM, KITCHEN, IN FRONT OF BASEMENT STAIRS, AND FAMILY ROOM. HARDWOOD FLOORING IN FRONT OFFICE OFF FOYER TO REMAIN AS IS.
- 10 DOORS: ALL DOORS TO REMAIN AS IS.
- 11 WINDOWS: NEW 4638 DOUBLE CASEMENT SIMONTON OR EQUAL WINDOW TO BE INSTALLED AT KITCHEN SINK LOCATION, SET UNDER EXISTING HEADER. SILL TO BE SET AT HEIGHT TO ALLOW FOR NEW COUNTER TO FLOW INTO SILL AREA.
- 12 TRIM: INSTALL BASE BOARD AS NECESSARY FOR PROJECT. NEW CASING TO BE INSTALLED AROUND NEW WINDOW AND NEW CASED OPENING. CROWN MOULDING TO BE INSTALLED THROUGHOUT KITCHEN AND FAMILY ROOM AREA. STYLE OF ALL TRIM TO MATCH EXISTING, AND REUSE SALVAGED MATERIAL IF POSSIBLE. NEW CROWN TO BE WM-47 OR EQUIVALENT.

APPROVED
WALK-THRU BUILDING PERMIT
 BP# _____ A# _____
 APP. SAN *R. Bricker* DATE: *4/5/18*
 DESC. OF WORK: *remodel kitchen as illustrated*



CONTRACTOR

TALON CONSTRUCTION
 302 East 4th Street
 Frederick, MD 21701
 301-620-8604

PERMIT
 DRAWINGS

CLIENT

ARCHAMBEAULT-BUTTON RESIDENCE
 17301 WHITE PLAINS COURT
 MT. AIRY, MD 21771
 HOWARD COUNTY

CLIENT APPROVAL

SCOPE OF PROJECT

REMODEL EXISTING KITCHEN.

DRAWING NAME

PROPOSED
 FLOOR PLAN

DATE

MARCH 19, 2018

DRAWING NUMBER

A-1



CONTRACTOR

TALON CONSTRUCTION
302 East 4th Street
Frederick, MD 21701
301-620-8504

PERMIT
DRAWINGS

CLIENT

ARCHAMBEAULT-BUTTON RESIDENCE
17301 WHITE PLAINS COURT
MT. AIRY, MD 21771
HOWARD COUNTY

CLIENT APPROVAL

SCOPE OF PROJECT

REMODEL EXISTING
KITCHEN

DRAWING NAME

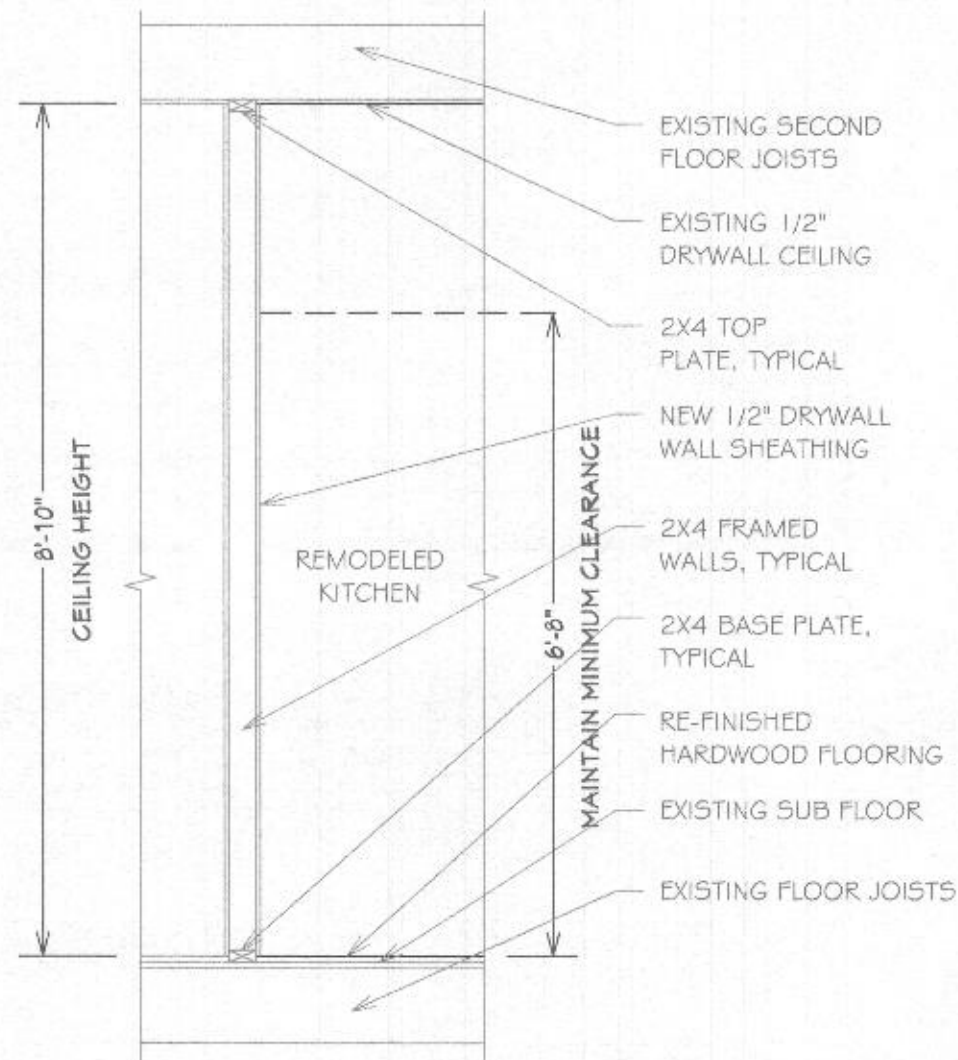
SECTION
DETAILS

DATE

MARCH 19, 2018

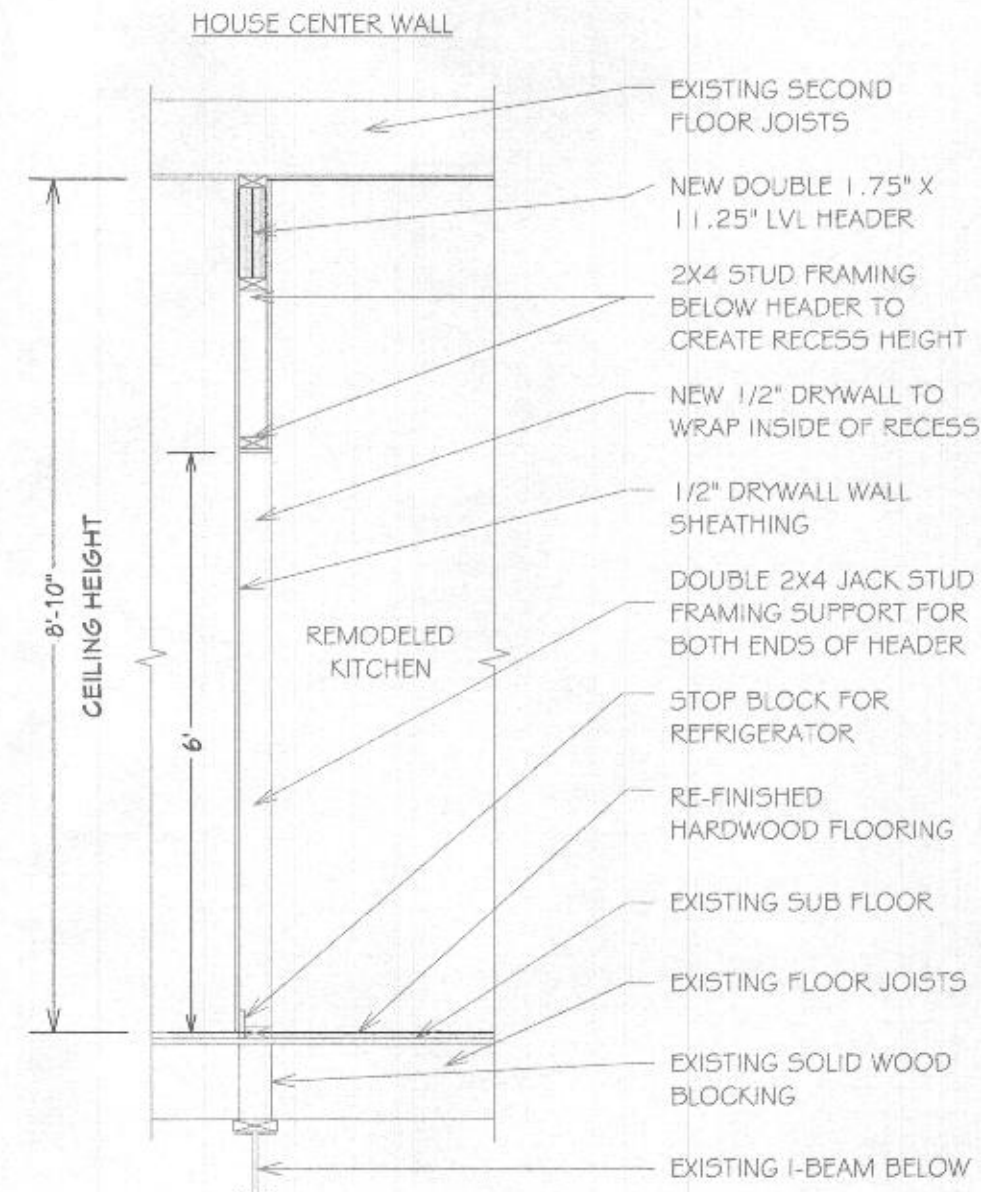
DRAWING NUMBER

A-2



2 TYPICAL PARTITION WALL SECTION DETAIL
A-2 SCALE: 1/2" = 1'-0"

NOTE: ROOF TRUSSES OVER
SECOND FLOOR EXISTING



1 BEARING WALL SECTION DETAIL AT FRIDGE RECESS
A-2 SCALE: 1/2" = 1'-0"