



Building Permit Application

Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

DATE 2017 MAR 24 11:33  
Date Received:

Permit No.: 017000858

Building Address: 11447 Rowley Rd  
City: Clarksville State: MD Zip Code: 21029  
Apt. # SDP/WP/BA #:  
Assess Tract: Subdivision: Wesley Hills  
Section: Area: Lot: 7  
X Map: 0041 Parcel: 0417 Grid: 0009  
Easting: Map Coordinates: Lot Size: 1.57 AC

Listing Use: Single Family Residential  
Proposed Use: Single Family Residential  
Estimated Construction Cost: \$150,000  
Description of Work: RENOVATE & EXPAND KITCHEN,  
ADD MUDROOM, REPLACE & MODIFY DECK  
16.7 sq

Occupant/Tenant Name: Steven English & Abigail Brown  
Was tenant space previously occupied? ☒ Yes ☐ No  
Contract Name:  
Address:  
City: State: Zip Code:  
Phone: Fax:  
Email:

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 <sup>st</sup> floor: 32'-6" x 72'-3"
Year of construction (sq. ft.):	2 <sup>nd</sup> floor: 32'-6" x 36'-3"
Basement of construction (sq. ft.):	Basement: 32'-6" x 50'-3"
Basement group:	<input checked="" type="checkbox"/> Finished Basement
Construction type:	<input checked="" type="checkbox"/> Unfinished Basement
Reinforced Concrete	<input type="checkbox"/> Crawl Space
Structural Steel	<input type="checkbox"/> Slab on Grade
Masonry	No. of Bedrooms:
Wood Frame	Multi-family Dwelling
State Certified Modular	No. of efficiency units:
	No. of 1 BR units:
	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
	Footings:
	Roof:
	State Certified Modular
	Manufactured Home

Property Owner's Name: Steven English & Abigail Brown  
Address: 11447 Rowley Rd  
City: Clarksville State: MD Zip Code: 21029  
Phone: 301-450-4174 Fax:  
Email: jaibren@inkwright.net

Applicant's Name & Mailing Address, (if other than stated herein)  
Applicant's Name:  
Address:  
City: State: Zip Code:  
Phone: Fax:  
Email:

Contractor Company: TBD  
Contact Person:  
Address:  
City: State: Zip Code:  
License No.:  
Phone: Fax:  
Email:

Engineer/Architect Company: Bennett Frank McCarthy Arch Inc  
Responsible Design Prof.: Lawrence A. Frank  
Address: 1400 Spring St. Suite 320  
City: Silver Spring State: MD Zip Code: 20910  
Phone: 301-585-2222 Fax: 301-585-8917  
Email: laury@bfrnarch.com

Utilities
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Sewage Disposal
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Heating System
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane Gas Backup
Other:
Sprinkler System:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Grading Permit Number:
Building Shell Permit Number:

I, THE UNDERSIGNED, HEREBY CERTIFY AND AGREE AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERE TO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY DEPARTMENT THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Steven English & Abigail Brown  
JAIBREN@INKWRIGHT.NET  
Mailing Address:

Print Name: Steven English & Abigail Brown  
Date: January 22, 2017

Title/Company

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

\*\*PLEASE WRITE NEATLY & LEGIBLY\*\*  
FOR OFFICE USE ONLY

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health		

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ 25.00
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$ 87.56
Check	

Distribution of Copies: White: Building Officials Green: PSZA, Zoning Yellow: PSZA, Engineering Pink: Health Gold: SHA

17 September 2017

Jeff Williams, W & S Supervisor  
Howard County Health Department  
8930 Stanford Blvd. Columbia, MD 21045

Well and Septic Program  
Bureau of Environmental Health

Re: Building Permit B17000858  
11447 Rowley Road  
Clarksville, MD 21029

9/20/17  
Approved  
Michael J Davis

Dear Mr. Williams,

We are submitting a waiver request and additional information to our request for an amendment to the Building Permit B17000858 for the above referenced project, which is currently in construction. We propose to replace an existing residential deck, a revision from what was shown in the approved permit.

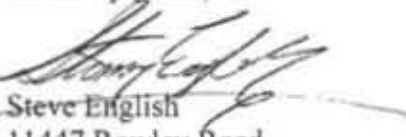
I understand that a waiver is required for our deck to be reconstructed over the existing holding tank. The bottom of the deck structure shall be 5' or greater above the tank cleanout. Mr. Robert Freemon of your office reviewed this on site with our contractor, Laurent Lefleur on 13 September 2017.

Additionally we are requesting a waiver that if foundations are required closer than 5' horizontally to the tank, that these footings be permitted based upon the structural conditions noted in the attached sketch. This sketch shows the requirements our engineer has recommended for placements as described.

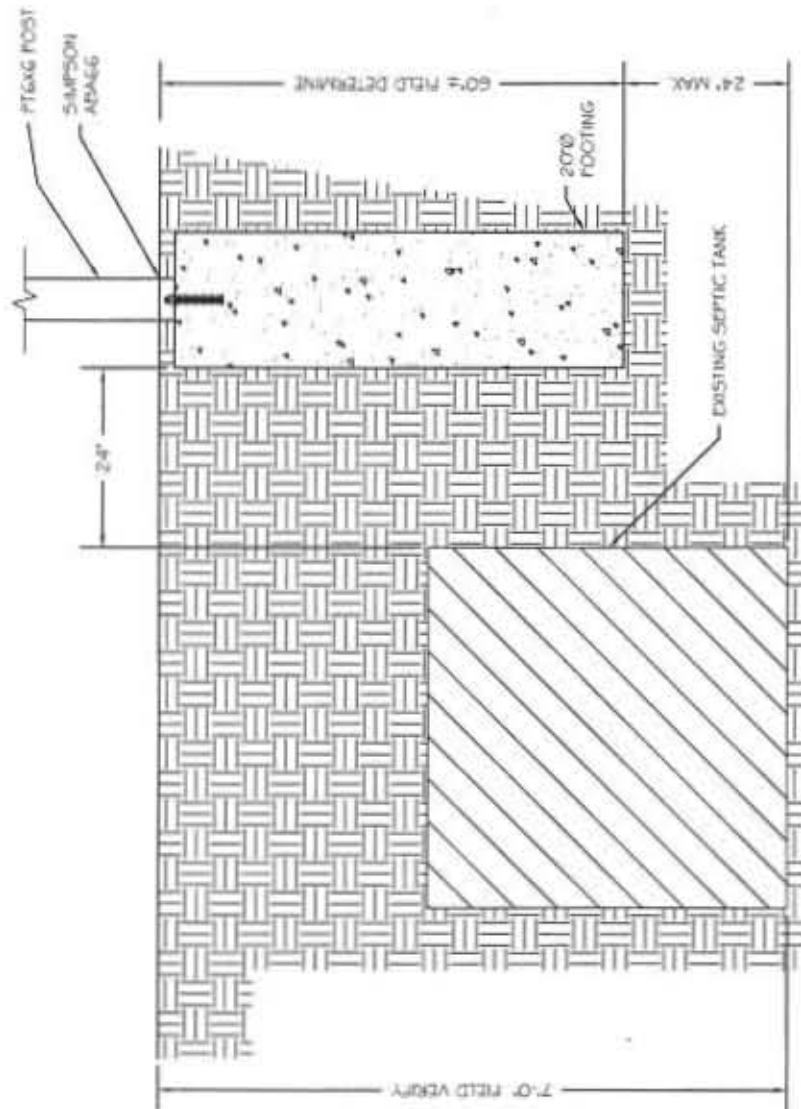
The deck shall be built in accordance with the design details as described in the Howard County manual "Typical Deck Details."

Please let me know if additional information is required.

Sincerely yours,

  
Steve English  
11447 Rowley Road  
Clarksville, MD 21029

cc. Laurent Lafleur  
Larry Frank  
Attach.



Approved  
 1317000858  
 RAE 9/19/17



Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 25427, Expiration Date: 7/1/18.

# Typical Deck Post to Footing Detail @ Septic Tank

Scale: 1/2" = 1'-0"



2110 Seminary Road  
 Silver Spring, MD 20910  
 301-565-0543  
 301-563-9477 (f)

## Deck Post Detail

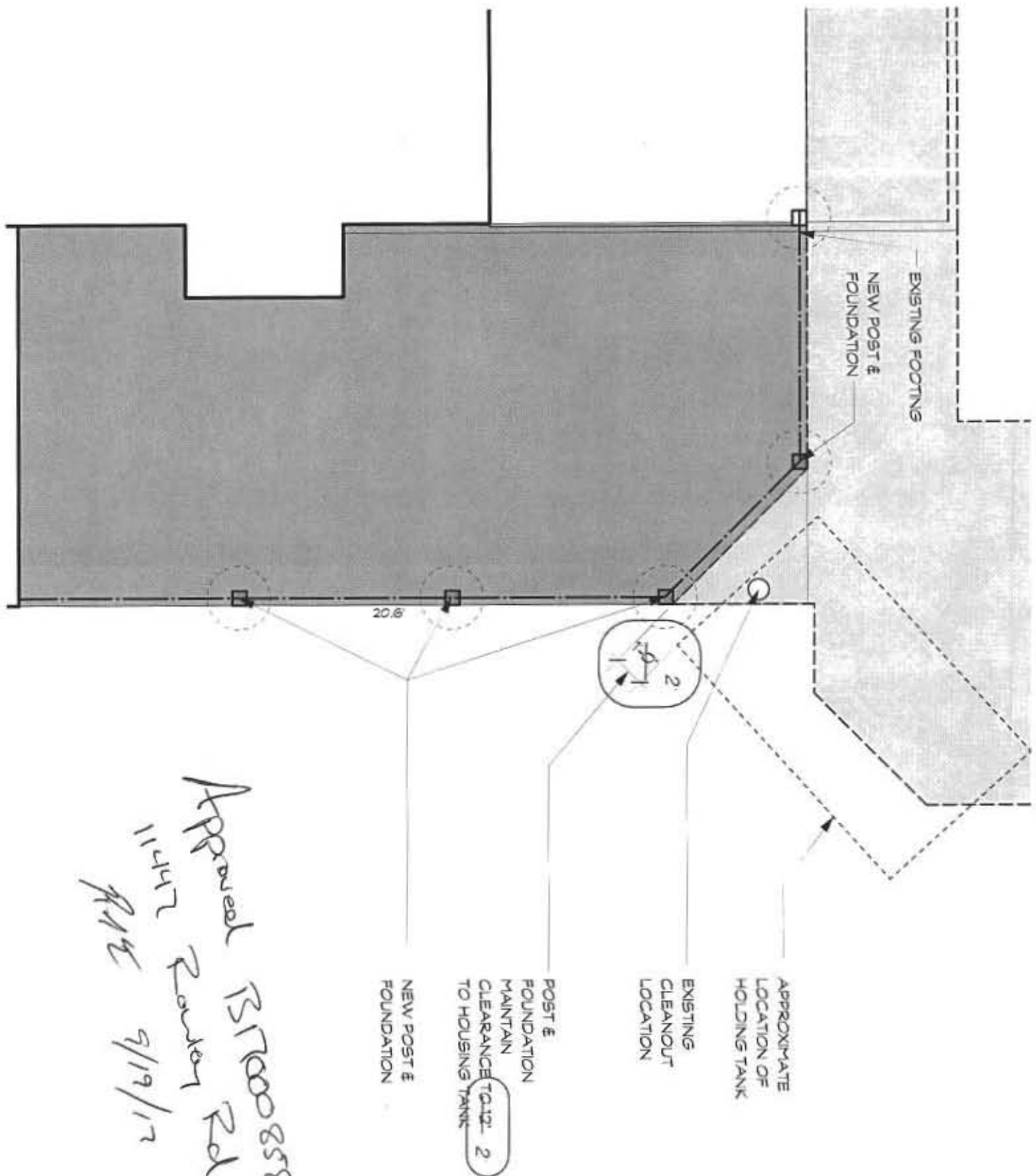
Location: 11417 Rowley Road - Clarksville, MD

By: RAW

Date: 9-15-17

Sheet: BK1

Rev:



English Brown Renovation  
1147 Rowley Road, Clarksville, MD 21020

**BENNETT FRANK McCARTHY**  
architects, inc.

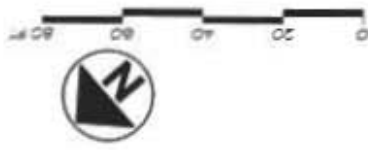
1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755  
(301) 585-2222 www.bfmarch.com fax (301) 585-8917

DETAIL

PL-2

#1136  
1" = 30'-0"  
9.12.2017

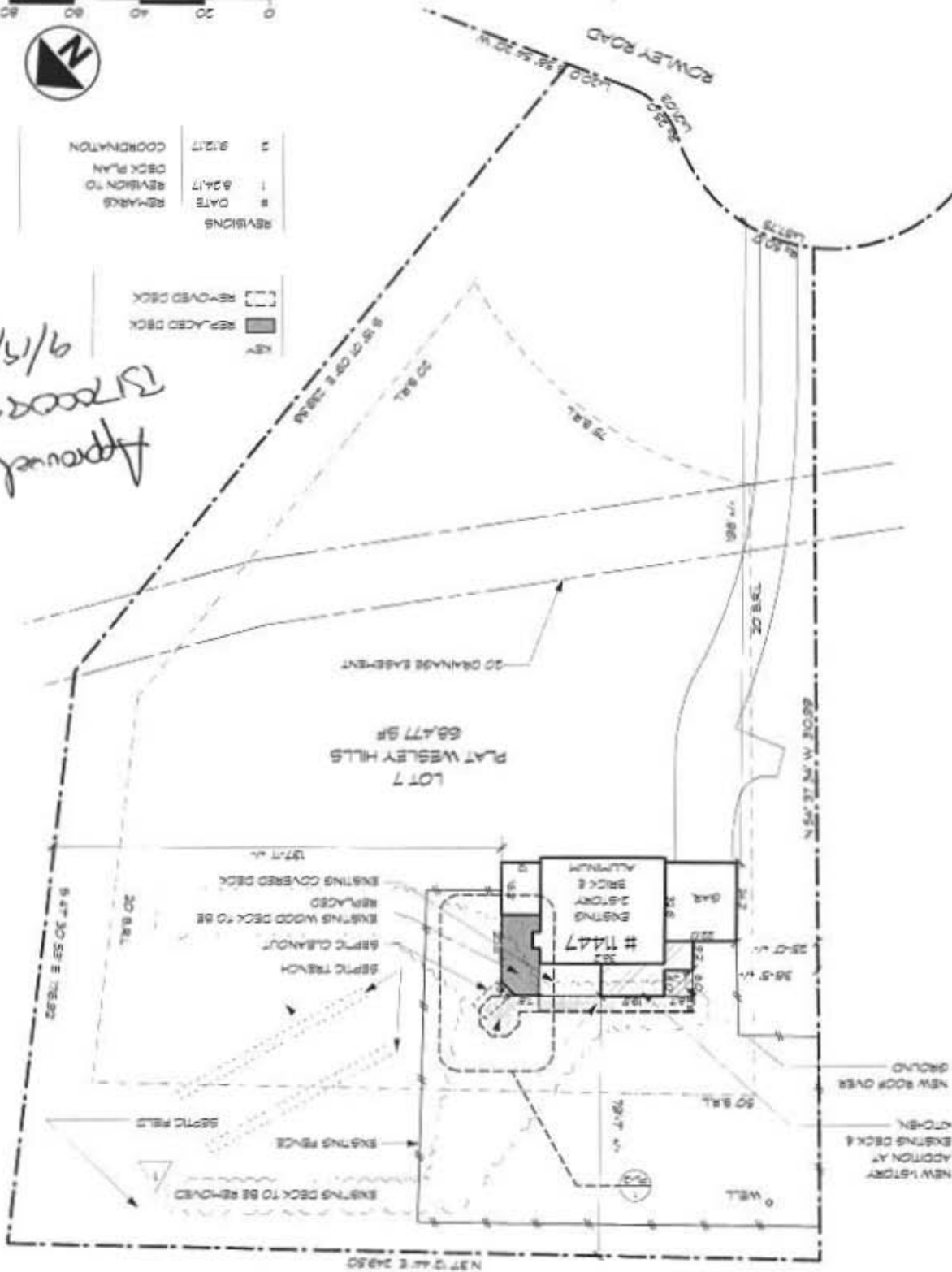
9.17.17



REVISIONS	DATE	REMARKS
1	8.24.17	REVISION TO
2	9.12.17	COORDINATION

KEY  
 [Hatched Box] REPLACED DECK  
 [Empty Box] REMOVED DECK

*Approved*  
 1312000058  
 9/15/17  
 R/M



HORIZONTAL / SITE BOUNDARY AND GENERAL HOUSE LOCATION INFORMATION BASED ON SITE LOCATION DRAWING PREPARED BY LDB BENNETT FRANK MCCARTHY ARCHITECTS WELL & SEPTIC SYSTEM INFORMATION PROVIDED BY HOWARD COUNTY HEALTH DEPARTMENT.

## Freemon, Robert

---

**From:** Larry Frank <larry@bfmarch.com>  
**Sent:** Sunday, September 17, 2017 8:29 AM  
**To:** Freemon, Robert; Williams, Jeffrey; Swinder, Dan  
**Cc:** Susan Darcey  
**Subject:** Re: 11447 Rowley Rd. - Deck Replacement  
**Attachments:** Deck Post Detail.pdf; 1136 English Amended Plot Rev. 9.17.17.pdf; Waiver Request English.pdf

Mr. Freemon, Mr. Williams, Mr. Swinder,

Mr. Freemon - thanks for visiting the site and your follow-up below. Mr. Williams, thanks for clarifying the waiver request and requirements for the cleanout and footings closer than 5' to the existing tank.

Please see attached homeowner waiver request and structural detail for deck footings placed as close as 2' to the tank.

I understand that the Health Dept/W&S needs to understand that we have communicated this update to our permit amendment request.

Mr. Swinder has recently reviewed the amendment. I left a phone message inquiring as to process requirements, asking if we should visit the office to update paperwork, answer questions. Please let me know what information is required.

I have attached the drawings we forwarded to Mr. Freemon via Mr. Oswald last week. I have annotated them to note footings held 2' to the tank.

Please let us know what we can do to continue to process this request.

Thanks, Larry

Laurence A. Frank  
Bennett Frank McCarthy Architects, Inc.  
1400 Spring Street, Suite 320  
Silver Spring, MD 20910

V 301.585.2222  
F 301.585.8917

[www.bfmarch.com](http://www.bfmarch.com)

On Sep 14, 2017, at 9:55 AM, Freemon, Robert <[rfreemon@howardcountymd.gov](mailto:rfreemon@howardcountymd.gov)> wrote:

Hey Larry,

I forwarded all the information the contractor gave me yesterday during the site visit to Jeff Williams and Mike Davis for review. The feedback I received from them was if the footers are not 5' from the septic tank then a waiver request letter to the setback would need to be written along with the certification from a structural engineer explaining the footers would not damage the tank. The waiver

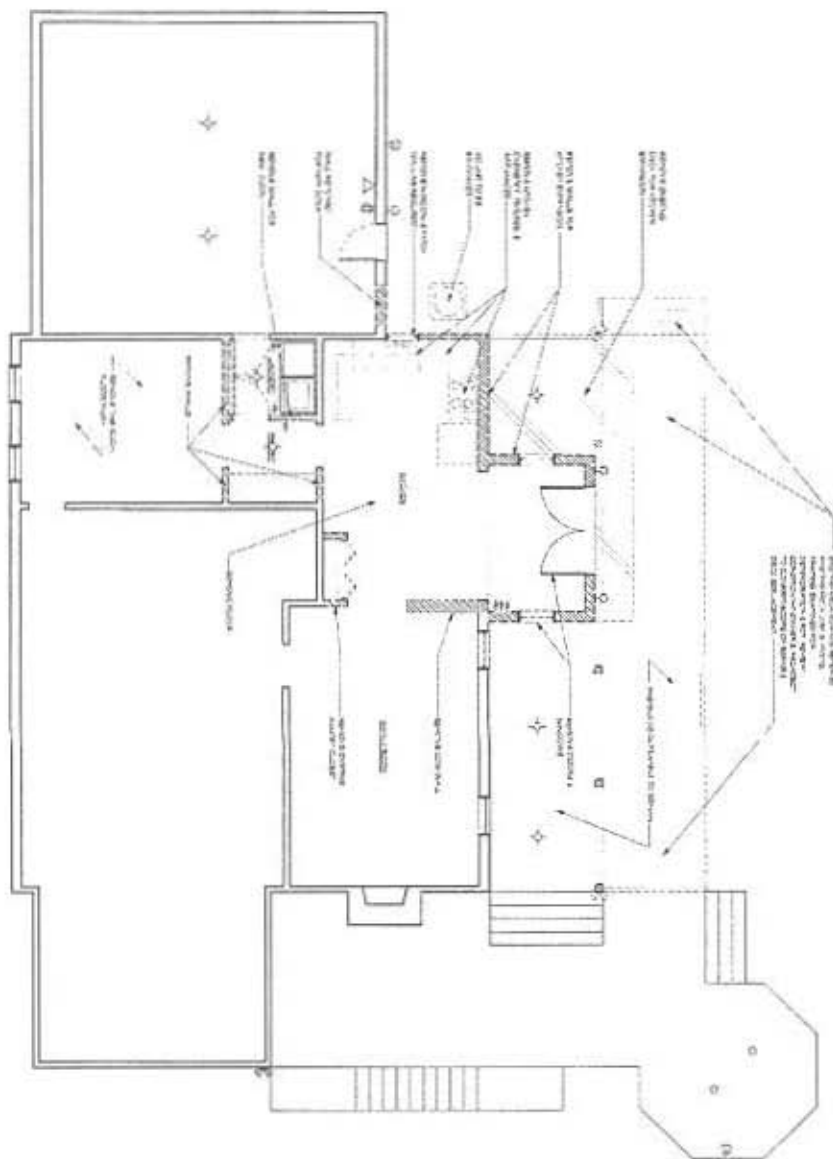
request letter would need to include why the home owners should be allowed to rebuild the proposed deck along with their signature and the address of the property in question. This letter can be hand written. In most cases a structural engineer will suggest extending the depth of the footer past the tank to keep from damaging it. This was something I had mentioned to the contractor while on site. If you would like to discuss the requirements above I would suggest talking to Jeff and/or Mike (info below) since I was not involved with the discussion that took place. Mike is out today but Jeff is in the office.

Mike Davis (Deputy Director)  
410-313-2651  
[mjdavis@howardcountymd.gov](mailto:mjdavis@howardcountymd.gov)

Jeff Williams (W & S Supervisor)  
410-313-4261  
[jewilliams@howardcountymd.gov](mailto:jewilliams@howardcountymd.gov)

**Robert Freemon**  
**Howard County Health Department**  
**8930 Stanford Blvd. Columbia, MD 21045**  
**Well and Septic Program**  
**Bureau of Environmental Health**  
**Phone: 410-313-6357**  
**Email: [rfreemon@howardcountymd.gov](mailto:rfreemon@howardcountymd.gov)**  
**<https://www.howardcountymd.gov/Departments/Health/Environmental-Health/Well-and-Septic>**

Approved B170008558  
3/19/17  
CARTHY



① FIRST FLOOR DEMOLITION PLAN  
Scale: 1/8" = 1'-0"

100% Satisfaction  
Guaranteed  
or Your Money Back

Drawing title  
DEMOLITION PLAN

$$1/4^k = 1 - \alpha^k$$

1 March 2017

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**ENGLISH-BROWN RENOVATION**  
11447 Rowley Road, Clarksville, Maryland 21029

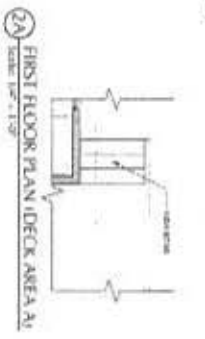
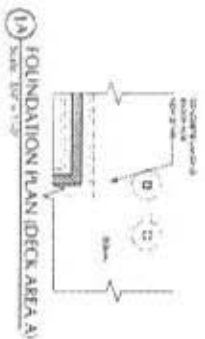
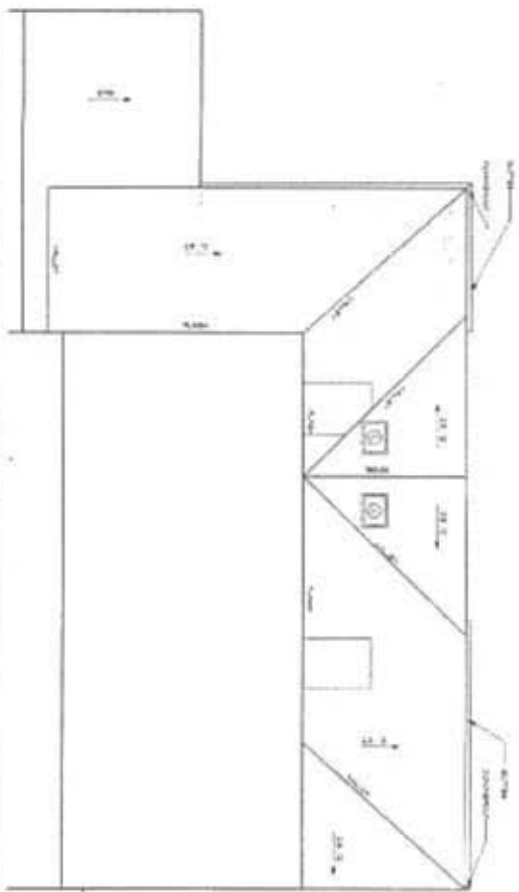
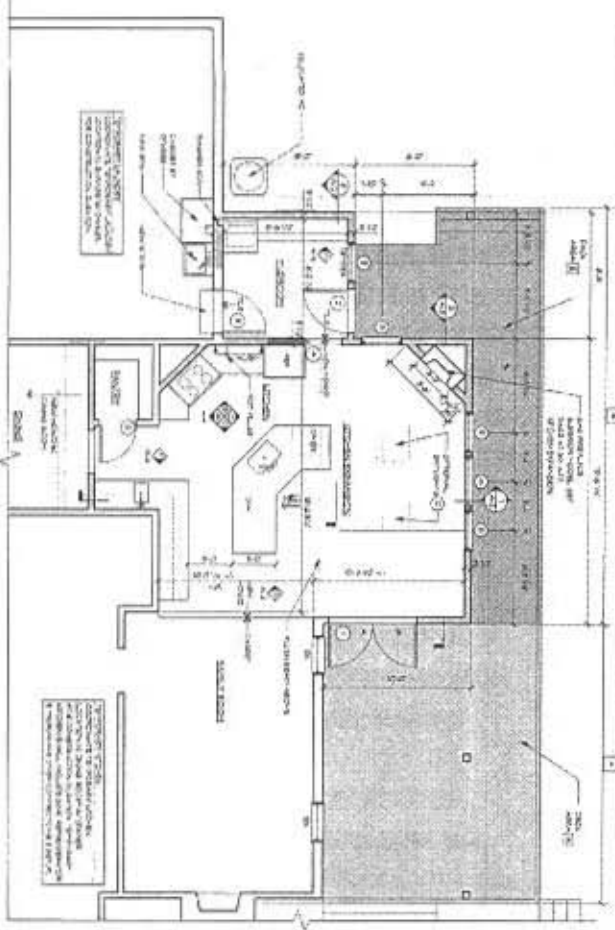
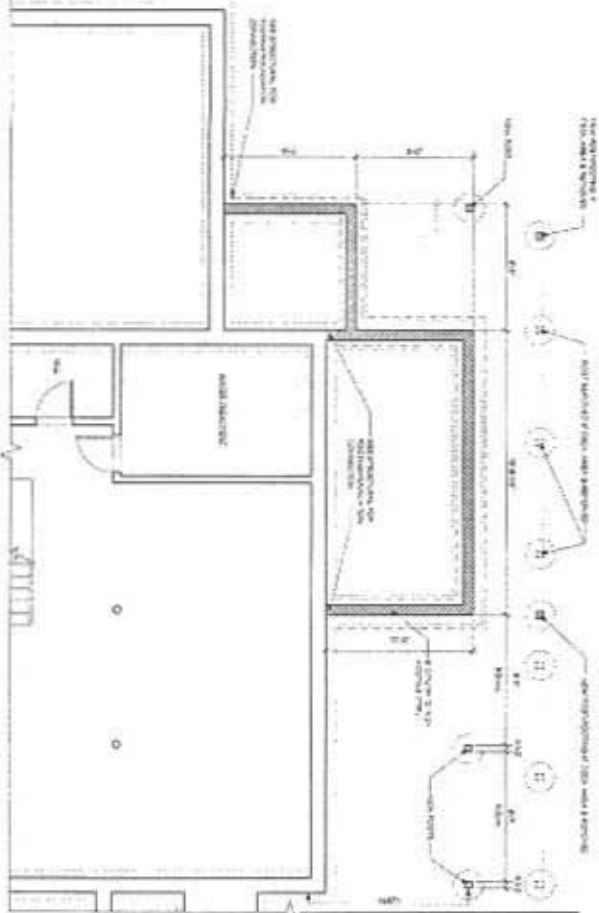
Project # 1136

BENNETT FRANK MCCARTHY  
architects, inc.

1433 Spang Street, Suite 320, Silver Spring, Maryland 20910-2716  
(301) 585-2022      www.kbranch.com      fax (301) 585-0817



Approved  
R114  
9/19/17  
BS17000858



ROOM SCHEDULE		ROOM SCHEDULE		ROOM SCHEDULE		ROOM SCHEDULE		ROOM SCHEDULE		ROOM SCHEDULE		ROOM SCHEDULE		ROOM SCHEDULE	
NO.	ROOM	NO.	ROOM	NO.	ROOM	NO.	ROOM	NO.	ROOM	NO.	ROOM	NO.	ROOM	NO.	ROOM
1	Living Room	11	Bedroom	21	Bathroom	31	Kitchen	41	Breakfast Room	51	Dining Room	61	Living Room	71	Bedroom
2	Dining Room	12	Bedroom	22	Bathroom	32	Kitchen	42	Breakfast Room	52	Dining Room	62	Living Room	72	Bedroom
3	Living Room	13	Bedroom	23	Bathroom	33	Kitchen	43	Breakfast Room	53	Dining Room	63	Living Room	73	Bedroom
4	Dining Room	14	Bedroom	24	Bathroom	34	Kitchen	44	Breakfast Room	54	Dining Room	64	Living Room	74	Bedroom
5	Living Room	15	Bedroom	25	Bathroom	35	Kitchen	45	Breakfast Room	55	Dining Room	65	Living Room	75	Bedroom
6	Dining Room	16	Bedroom	26	Bathroom	36	Kitchen	46	Breakfast Room	56	Dining Room	66	Living Room	76	Bedroom
7	Living Room	17	Bedroom	27	Bathroom	37	Kitchen	47	Breakfast Room	57	Dining Room	67	Living Room	77	Bedroom
8	Dining Room	18	Bedroom	28	Bathroom	38	Kitchen	48	Breakfast Room	58	Dining Room	68	Living Room	78	Bedroom
9	Living Room	19	Bedroom	29	Bathroom	39	Kitchen	49	Breakfast Room	59	Dining Room	69	Living Room	79	Bedroom
10	Dining Room	20	Bedroom	30	Bathroom	40	Kitchen	50	Breakfast Room	60	Dining Room	70	Living Room	80	Bedroom

Showing: 1st  
FIRST FLOOR PLAN & SCHEDULES  
FOUNDATION & ROOF PLANS  
Scale:  
AS NOTED

1 March 2017  
English-Brown Renovation  
11447 Rowley Road, Clarksville, Maryland 21029  
Project # 1156

**ENGLISH-BROWN RENOVATION**  
11447 Rowley Road, Clarksville, Maryland 21029  
Project # 1156

**BENNETT FRANK MCCARTHY**  
architects, inc.  
1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2700  
(301) 585-0222 www.bfmarch.com fax (301) 585-0917

RECEIVED

AUG 28 2017

LICENSES & PERMITS  
DIVISION

## BENNETT FRANK McCARTHY

a r c h i t e c t s , i n c .

1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755

24 August 2017

Howard County Inspections, Licenses and Permits  
3430 Court House Dr  
Ellicott City, MD 21043

INV # 503287

CK# 9003

Re: Building Permit B17000858  
English Brown Residence  
11447 Rowley Road  
Clarksville, MD 21029

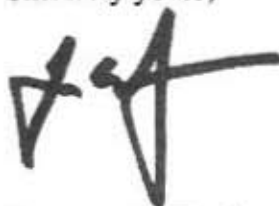
To Whom It May Concern:

We are hereby submitting an amendment to the Building Permit B17000858 for the above referenced project, which is currently in construction. We propose to replace an existing residential deck, a revision from what was shown in the approved permit.

The deck shall be built in accordance with the design details as described in the Howard County manual "Typical Deck Details."

Attached please find (4) copies of the revised site plan (plot plan) which include the proposed deck.

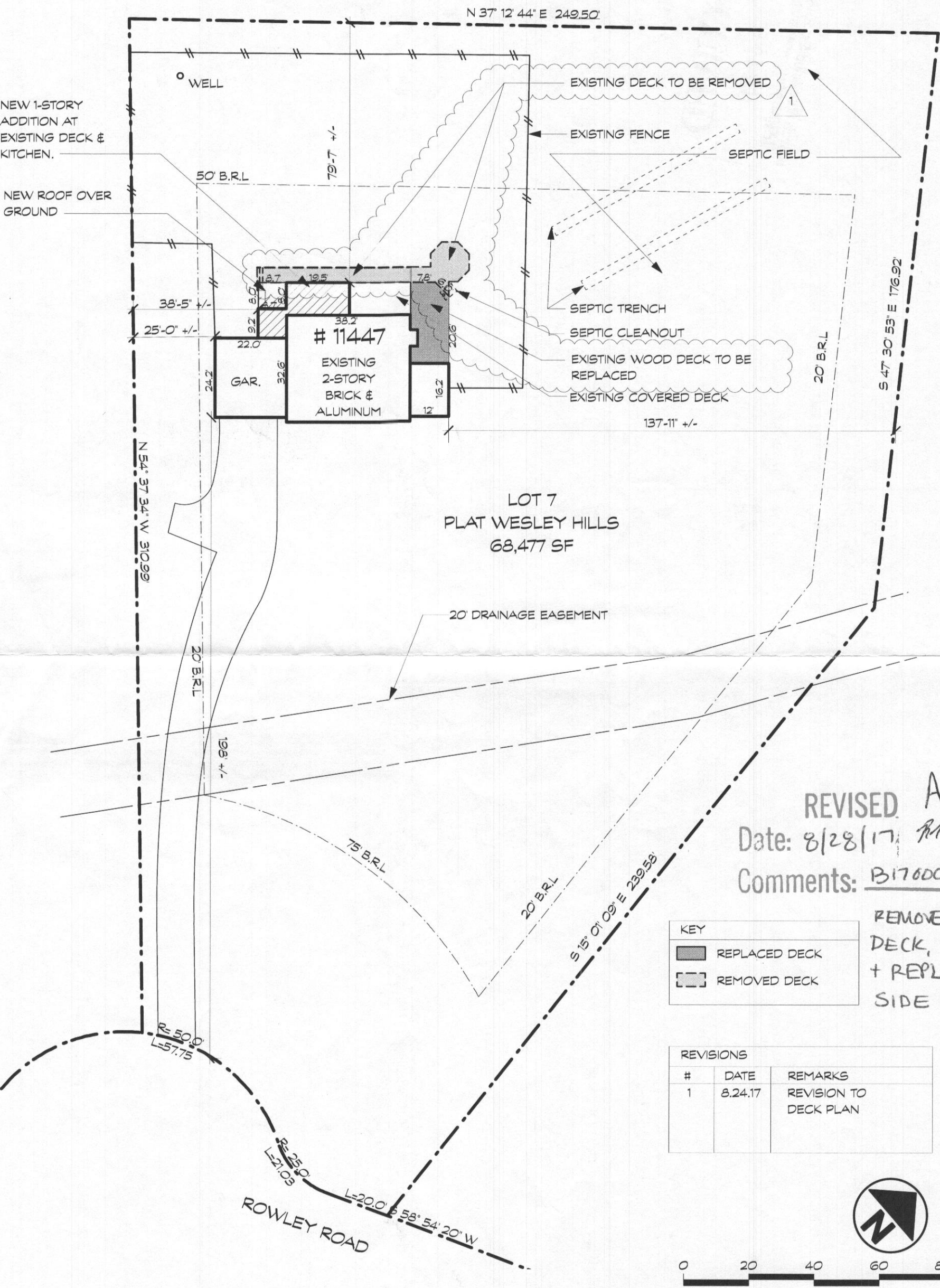
Sincerely yours,



Laurence A. Frank

cc. Steve English and Abby Brown  
Laurent LafleurCC: DPZ  
Heather

HORIZONTAL / SITE BOUNDARY AND GENERAL HOUSE LOCATION  
INFORMATION BASED ON SITE LOCATION DRAWING PREPARED BY LDE  
INC, DATED 22 JANUARY 1998, AND ON FIELD OBSERVATIONS BY  
BENNETT FRANK MCCARTHY ARCHITECTS. WELL & SEPTIC SYSTEM  
INFORMATION PROVIDED BY HOWARD COUNTY HEALTH DEPARTMENT.



REVISED  
Date: 8/28/17  
Comments: B17000858  
Approved  
RAC 9/9/17  
REMOVE REAR  
DECK, REMOVE  
+ REPLACE  
SIDE DECK

KEY	
	REPLACED DECK
	REMOVED DECK

REVISIONS		
#	DATE	REMARKS
1	8.24.17	REVISION TO DECK PLAN

PL-1

English-Brown Renovation  
1147 Rowley Road, Clarksville, MD 21020  
Amended Zoning Plot Plan  
Scale: 1" = 30'-0"

24 Aug. 2017

#1136

**BENNETT FRANK MCCARTHY**  
architects, inc.  
1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755  
(301) 585-2222 www.bfmarch.com fax (301) 585-8917





Erosion  
guard to  
protect  
clean out

ST c/o

Corner  
of tank  
closest to  
the house

Corner  
of Tank

Gutter drain c/o

Any footers  
less than 5' to  
tank - need  
certification from  
structural engineer  
that it won't damage  
tank





- Will be at least 5' above the tank.  
(From bottom of deck to tank lid)
- If he is going over the tank it will only be over it to the edge of the clean out.  
(Nearest to house)
- If footer is 1' away above grade of the tank it will meet a depth equal to the bottom of the lid.





Gutter drain c/o