

HOWARD COUNTY PERMIT APPLICATION

PERMIT NUMBER

B00156986

Building Address 1720 Saint Michaels Rd
Woodbine MD 21797
Suite/Apt. # _____ SDP/WP/Petition # _____
Census Tract 604001 Subdivision _____
Section _____ Area _____ Lot _____
Tax Map 7 Parcel 255 Grid 19
Zoning CDEP Map Coordinates 2512 Lot size 317

Property Owner's Name Chris Tiede
Address 1720 Saint Michaels Rd
City Woodbine State MD Zip Code 21797
Home Phone 410-489-2210 Work Phone 410-277-2977
Applicant's Name & Mailing Address, (if other than stated hereon):
Phone _____ Fax _____

Existing Use Single Family Dwelling
Proposed Use Detached Garage
Estimated Construction Cost \$ 50,000
Description of Work Build Detached 10/10 Single car
Garage within in original Building
Restructuring Lines + Wash room
300 sq ft

Contractor Company CT Contracting Inc
Contact Person Chris Tiede
Address 1720 Saint Michaels Rd
City Woodbine State MD Zip Code 21797
License No. 132360
Phone 410-277-2672 Fax 410-489-5207

Occupant or Tenant Chris Tiede
Contact Name Chris Tiede
Address 1720 Saint Michaels Rd
City Woodbine State MD Zip Code 21797
Phone 410-277-2672 Fax 410-489-5207

Engineer or Architect Company T.R.A.
Contact Person Tim Riveren
Address 247 Mason Station Rd
City Woodbine State MD Zip Code 21797
Phone 410-226-5741 Fax _____

BUILDING DESCRIPTION - COMMERCIAL

Building Characteristics	Utilities
Height: _____	Water Supply: _____ ☐ Public ☐ Private
No. of stories: _____	Sewage Disposal: _____ ☐ Public ☐ Private
Gross area, sq. ft. per floor: _____	Electric Yes ☐ No ☐ Gas Yes ☐ No ☐
Use group: _____	Heating System: _____ Electric ☐ Oil ☐ Natural Gas ☐ Propane Gas ☐
Construction type: _____ ☐ Reinforced Concrete ☐ Structural Steel ☐ Masonry ☐ Wood Frame	Sprinkler system: <u>N/A</u> ☐ ☐ Full ☐ Partial ☐ Other Suppression # of Heads: _____
☐ State Certified Modular	

BUILDING DESCRIPTION - RESIDENTIAL

Building Characteristics	Utilities
SF Dwelling ☐ SF Townhouse ☐ Depth: <u>32</u> Width: <u>50</u> 1st floor: _____ 2nd floor: _____ Basement: _____ Finished Basement ☐ Unfinished Basement ☐ Crawl space ☐ Slab on Grade ☐ No. of Bedrooms: _____ Height: _____ Multi-family dwellings: No. of efficiency units: _____ No. of 1 BR units: _____ No. of 2 BR units: _____ No. of 3 BR units: _____ Other Structure: <u>Garage</u> Dimensions: <u>20' x 10'</u> Footings: <u>Concrete</u> Roof Height: <u>20'</u> ☐ State Certified Modular ☐ Manufactured Home	Water Supply: _____ ☒ Public ☐ Private Sewage Disposal: _____ ☒ Public ☐ Private Electric Yes ☒ No ☐ Gas Yes ☐ No ☐ Heating System: _____ Electric ☐ Oil ☐ Natural Gas ☐ Propane Gas ☐ Sprinkler system: <u>N/A</u> ☒ <u>NEPA #13D</u> <u>NEPA #13R</u> Other: _____

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature Chris Tiede
Title/Company President CT Contracting

Print Name Chris P. Tiede
Date Nov 14, 2005

Checks payable to: **DIRECTOR OF FINANCE OF HOWARD COUNTY**
** PLEASE WRITE NEATLY AND LEGIBLY **
- FOR OFFICE USE ONLY -

AGENCY	DATE	SIGNATURE APPROVAL
Land Development, DPZ		
State Highway		
Building Official		
Div. Engineering, DPZ		
Health	<u>11-30-05</u>	
Fire Protection		
Is Sediment Control approval required prior to issuance?		
YES ☐ NO ☐		

DPZ SETBACK INFORMATION	PROPERTY INFO
Front: _____	Filing fee \$ <u>25</u>
Rear: _____	Permit fee \$ _____
Side: _____	Excise tax \$ _____
Side St: _____	Add'l per. fee \$ _____
All minimum setbacks met? YES ☐ NO ☐	TOTAL FEES \$ _____
Is Entrance Permit required? YES ☐ NO ☐	Sub-total paid \$ _____
Historic District? YES ☐ NO ☐	Balance due \$ _____
Lot Coverage for New Town Zone _____	Check \$ <u>5017</u>
SDP/Rec-line approval date _____	Validation \$ _____

CONTINGENCY CONSTRUCTION START: ☐
ONE STOP SHOP: ☐
Distribution of Copies: _____
T:\permits\PERMIT.PRM

Accepted by [Signature]

Rev. 11/14/04

CALL IN INSP. FOR SANITARY LINE HOOK-UP

DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS 3430 COURT HOUSE DRIVE ELICOTT CITY, MD 21043 PERMITS (410)313-2455 INSPECTIONS (410)313-1810 AUTOMATED INFORMATION (410) 313-3800	HOWARD COUNTY PERMIT APPLICATION	PERMIT NUMBER <u>130041203</u> <u>JAB</u>
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Building Address 1720 Saint Michaels Road
Woodlawn MD 21797

Suite/Apt. #: _____ SDP/WP/Petition #: _____

Census Tract 1404001 Subdivision _____

Section _____ Area _____ Lot _____

Tax Map 7 Parcel 255 Grid 19

Zoning RCDD Map Coordinates 2512 Lot size 3.2

Existing Use vacant lot

Proposed Use SPD

Estimated Construction Cost \$ 225,000.00

Description of Work Build New Home According

to Plan 4 BR unfinished Basement

w/RI 4 Bath attached 3 car garage

Occupant or Tenant Speculation House

Contact Name _____

Address _____

City _____ State _____ Zip Code _____

Phone _____ Fax _____

Property Owner's Name Southern Kraft Builders

Address 8899 Frederick Rd

City Ellicott City State MD Zip Code 21043

Home Phone 410-203-1717 Work Phone 443-277-2970

Applicant's Name & Mailing Address, (if other than stated hereon):

Phone _____ Fax _____

Contractor Company Southern Kraft Builders

Contact Person Chris Tiede

Address 8899 Frederick Road

City Ellicott City State MD Zip Code 21043

License No. #2900

Phone 410-203-1747 Fax 410-750-1477

Engineer or Architect Company FSH

Contact Person Zach Phish

Address _____

City _____ State _____ Zip Code _____

Phone 410-750-2251 Fax _____

BUILDING DESCRIPTION - COMMERCIAL

BUILDING DESCRIPTION - RESIDENTIAL

Building Characteristics	Utilities	Building Characteristics	Utilities
Height: <u>25' ±</u>	Water Supply: ☐ Public ☒ Private	SF Dwelling ☒ SF Townhouse ☐	Water Supply: ☐ Public ☒ Private
No. of stories: <u>2</u>	Sewage Disposal: ☐ Public ☒ Private	Depth Width 1st floor: <u>33</u> <u>80</u>	Sewage Disposal: ☐ Public ☒ Private
Gross area, sq. ft. per floor: <u>1500</u>	Electric Yes ☒ No ☐	2nd floor: <u>33</u> <u>56</u>	Electric Yes ☒ No ☐
Use group: _____	Gas Yes ☐ No ☐	Basement: <u>33</u> <u>56</u>	Gas Yes ☐ No ☐
Construction type: ☐ Reinforced Concrete ☐ Structural Steel ☒ Masonry ☒ Wood Frame	Heating System: ☒ Electric ☐ Oil ☐ ☐ Natural Gas ☐ ☐ Propane Gas ☐	Finished Basement ☐ Unfinished Basement ☒	Heating System: ☒ Electric ☐ Oil ☐ ☐ Natural Gas ☐ ☐ Propane Gas ☐
State Certified Modular ☐	Sprinkler system: <u>N/A</u> ☒	Crawl space ☐ Slab on Grade ☐	Sprinkler system: <u>N/A</u> ☒
	Full ☐	No. of Bedrooms <u>4</u>	_____ NFPA #13D
	Partial ☐	Other Structure: _____	_____ NFPA #13R
	Other Suppression ☐	Dimensions: _____	Other: _____
	# of Heads _____	Footings: _____	
		Roof: _____	
		State Certified Modular ☐	
		Manufactured Home ☐	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THEREIN; (4) THAT HE/SHE WILL PERFORM WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

[Signature]
Applicant's Signature
President Southern Kraft Builders
Title/Company

Christian Philip Tiede
Print Name
April 10, 2003
Date

Checks payable to: **DIRECTOR OF FINANCE OF HOWARD COUNTY**
** PLEASE WRITE NEATLY AND LEGIBLY. **

- FOR OFFICE USE ONLY -

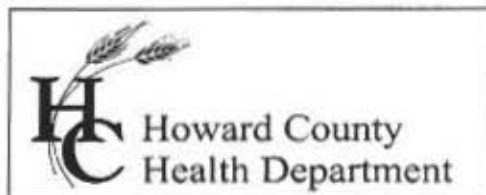
AGENCY	DATE	SIGNATURE APPROVAL	DPZ SETBACK INFORMATION	PROPERTY ID#
Land Development, DPZ			Front: _____	56215
State Highways			Rear: _____	Filing fee: \$ <u>1100</u>
Building Official			Side: _____	Permit fee: \$ _____
Dev. Engineering, DPZ			Side St: _____	Excise tax: \$ _____
Health	<u>5/29/03</u>	<u>[Signature]</u>	All minimum setbacks met?	Add'l per. fee: \$ _____
Fire Protection			YES ☐ NO ☐	TOTAL FEES: \$ _____
Is Sediment Control approval required prior to issuance?			Is Entrance Permit required?	Sub-total paid: \$ _____
YES ☐ NO ☐			YES ☐ NO ☐	Balance due: \$ _____
CONTINGENCY CONSTRUCTION START: ☐			Historic District?	Check: \$ <u>10.33</u>
ONE STOP SHOP: ☐			YES ☐ NO ☐	Validation: \$ <u>22500</u>
			Lot Coverage for New Town Zone _____	
			SDP/Red-line approval date _____	Accepted by _____

Distribution of Copies: White: Building Official Green: LDD, DPZ Yellow: DED, DPZ Pink: Health Gold: SHA

Steph
Approve permit
but return
everything to me.
Thanks

A stylized handwritten signature, possibly reading 'JZ' or 'J3', consisting of a large loop followed by a few strokes.

5/28/03



7178 Columbia Gateway Drive, Columbia MD 21046
(410) 313-2640 Fax (410) 313-2648
TDD (410) 313-2323 Toll Free 1-866-313-6300
website: www.hchealth.org

Penny E. Borenstein, M.D., M.P.H., Health Officer

November 28, 2005

Mr. Chris Tiede
1720 Saint Michaels Road
Woodbine, MD 21797

Re: Proposed Garage Permit
BP# 00156986

Dear Mr. Tiede,

Our office has received the above mentioned permit for a garage with a wash room in the design. It appears approval shall not be an issue if our office has a plan showing the sanitary line from the garage connecting to the existing septic system. Please submit a plan showing sanitary line location and the elevations of the line coming out of the garage and entering the septic tank. Due to the location of the proposed garage to the existing system, connection to the first septic tank shall be sufficient.

If you have any questions, do not hesitate to contact me at 410-313-1775. Thank you for your time in this important matter.

Sincerely,

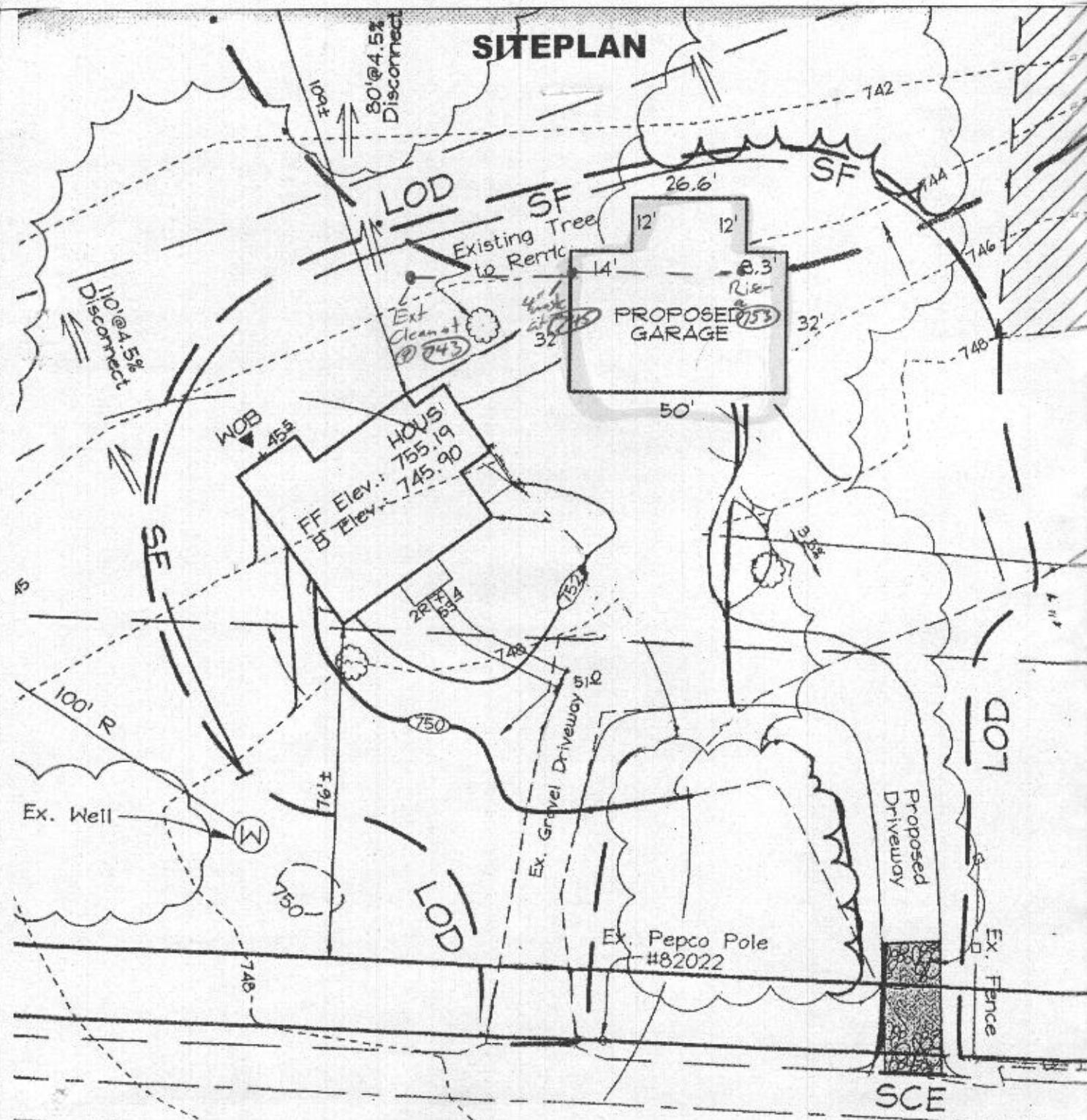
A handwritten signature in cursive script that reads 'Kacie Noonan'.

Kacie Noonan, R. S.
Well & Septic Program

KN

Cc: file

SITEPLAN



SAINT MICHAELS ROAD

(Public County Road)

APPROVED

WALK-THRU BUILDING PERMIT

BP# 156984 A# 517436

APP. SAN KACZAR DATE: 11/30/05

DESC. OF WORK:

GIB2

279,050 Garage w/ bathroom

PLOT PLAN 1720 SAINT MICHAELS ROAD

TAX MAP 7 GRID 19
4TH ELECTION DISTRICT

PARCEL 255
HOWARD COUNTY, MARYLAND



FSH Associates
Engineers Planners Surveyors
8218 Fennell Street, Ellicott City, MD 21040
Tel: 410-750-2261 Fax: 410-750-7300
E-mail: FSHAssociates@fsa.com

DESIGN BY: PB
DRAWN BY: KO
CHECKED BY: JYF
SCALE: 1"=30'
DATE: May 19, 2005
W.O. No.: 8189
SHEET No.: 1 OF 1

DETACHED GARAGE 1720 ST. MICHAELS ROAD WOODBINE, MARYLAND



NOTES

DOUBLE ALL FLOOR JOISTS UNDER WALLS ABOVE, THAT ARE FRAMED PARALLEL TO FLOOR FRAMING UNLESS NOTED OTHERWISE ON THE PLANS.

ALL FLOOR JOISTS, CEILING JOISTS & RAFTERS ARE TO BE S.P.F.

ALL BEAMS, GIRDERS AND HEADERS ARE TO BE DOUG. FIR LARCH #2 OR BETTER WITH A FB RATING OF 875 AND MODULUS OF ELASTICITY OF 1,600,000 MIN. UNLESS OTHERWISE NOTED.

ALL HEADERS TO BE 2x12'S UNLESS NOTED OTHERWISE

ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDERS AND HEADERS LABELED ON THE PLANS, TO HAVE A FB RATING OF 2,950 AND MODULUS OF ELASTICITY OF 2,000,000 MIN. UNLESS OTHERWISE NOTED. STRUCTURAL LAMINATED BEAMS TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

PROVIDE SOLID 2x12 BLOCKING TO BE LOCATED BETWEEN FLOOR JOISTS WHERE POSTS, FROM ABOVE, CARRYING STRUCTURAL HEADERS LAND BETWEEN FLOOR JOIST BELOW. BLOCKING TO BE BUILT UP TO THE SAME WIDTH AS POST IT IS CARRYING ABOVE.

ALL DIMENSIONS MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR BEFORE START OF CONSTRUCTION. ANY DISCREPANCIES ON THE PLANS, OR SPECIFICATIONS, MUST BE REPORTED TO THE ARCHITECT OR ENGINEER PRIOR TO THE START OF CONSTRUCTION.

DESIGN CRITERIA - MARYLAND

CLIMATE AND GEOGRAPHIC DESIGN CRITERIA - table 301.2 (1)

ROOF SNOW LOAD (pounds per square foot)		25
WIND PRESSURE (pounds per square foot)		17 +/- (90 m.p.h.)
SEISMIC CONDITION BY ZONE		B
SUBJECT TO DAMAGE	WEATHERING	SEVERE
	FROST LINE DEPTH	30
	TERMITE	MODERATE
	DECAY	MODERATE
WINTER DESIGN TEMP. FOR HEAT. FACILITIES		13°
RADON RESISTANT CONSTRUCTION REQ.		
FLOOD ZONE		

ALL WORK SHALL COMPLY WITH 2003 INTERNATIONAL RESIDENTIAL CODE W/ AMENDMENTS

JRA
ARCHITECTURE

This is a license agreement you accept by using these plans to build a (1) house. Notice:

These drawings are protected by federal copyright as secured by Jonathan Rivers AIA, Inc. and are not for use in creating copies or derivative drawings. They are also not released for photocopy or any dissemination that is not approved by JRA, Inc. The associated working drawings are for use in building a (one) house.

BY USING THESE PLANS - YOU ARE ACCEPTING THIS AGREEMENT.

REVISIONS

11-08-05	PERMIT SET

DRAWING LIST

0.01	COVER SHEET
0.02	GENERAL NOTES
1.01	GARAGE ELEVATIONS
2.01	FOUNDATION PLAN
3.01	FIRST FLOOR PLAN
4.01	GAR. STORAGE PLAN
5.01	SECTION A-A
5.02	SECTION B-B
5.03	WALL SECTIONS

LEVEL	AREA
GROUND STORAGE	280 s.f.
GARAGE	1,715 s.f.
SUBTOTAL	1,995 s.f.

PRINT DATE

November 11, 2005

