



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: B12003903

Building Address: 12000 Scaggsville Road
City: Fulton State: MD Zip Code: 20759
Suite/Apt. #: _____ SDP/WP/BA #: _____
Census Tract: _____ Subdivision: 0000
Section: _____ Area: _____ Lot: _____
Tax Map: 0041 Parcel: 0173 Grid: 0019
Zoning: _____ Map Coordinates: _____ Lot Size: 1 Acre

Existing Use: Single Family
Proposed Use: Single Family with 32x32 Two Story Addition
Estimated Construction Cost: \$ 240,000.00
Description of Work: 32x32' 2 story Addition on slab / 6'x26' Front Porch on slab

Occupant or Tenant: _____
Was tenant space previously occupied? ☒ Yes ☐ No
Contact Name: Chrisy Tribune
Address: 12000 Scaggsville Rd
City: Fulton State: MD Zip Code: 20759
Phone: (301) 807-8223 Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth: _____ Width: _____
Gross area, sq. ft./floor:	1 st floor: <u>28</u> 6'
	2 nd floor: _____
Area of construction (sq. ft.):	Basement:
	<input type="checkbox"/> Finished Basement
Use group:	<input type="checkbox"/> Unfinished Basement
	<input type="checkbox"/> Crawl Space
Construction type:	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:
<input type="checkbox"/> Structural Steel	Multi-family Dwelling
<input type="checkbox"/> Masonry	No. of efficiency units:
<input type="checkbox"/> Wood Frame	No. of 1 BR units:
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:
	No. of 3 BR units: <u>X</u>
	Other Structure:
	Dimensions:
Roadside Tree Project Permit	Footings:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Property Owner's Name: Chrisy Tribune
Address: 12000 Scaggsville Road
City: Fulton State: MD Zip Code: 20759
Phone: (301) 807-8223 Fax: _____
Email: _____

Applicant's Name & Mailing Address, (if other than stated herein)
Applicant's Name: Wade Yates
Address: 6361 Shady Side Rd
City: Shady Side State: MD Zip Code: 20764
Phone: (410) 935-9024 Fax: (410) 967-9256
Email: _____

Contractor Company: Yates Home Improvements Inc.
Contact Person: Wade Yates
Address: 6361 Shady Side Rd
City: Shady Side State: MD Zip Code: 20764
License No.: 37349
Phone: (410) 935-9024 Fax: (410) 967-9256
Email: Wade.Yates@Yahoo.com

Engineer/Architect Company: _____
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Utilities
<u>Water Supply</u>
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
<u>Sewage Disposal</u>
<input type="checkbox"/> Public
<input type="checkbox"/> Private
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No
<u>Heating System</u>
<input type="checkbox"/> Electric <input checked="" type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas
<input type="checkbox"/> Other:
<u>Sprinkler System:</u>
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Grading Permit Number:
Building Shell Permit Number:

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Wade Yates
Email Address: Wade.Yates@Yahoo.com
Title/Company: President Yates Home Improvements

Print Name: Wade Yates
Date: Mar 29, 12

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY

-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health		

Is Sediment Control approval required for issuance? ☐ Yes ☐ No
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$25.00
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# <u>9926</u>

Distribution of Copies: White: Building Officials Green: PSZA, Zoning Yellow: PSZA, Engineering Pink: Health Gold: SHA

Christina Toibero

From: Bernard, Dana <dbernard@howardcountymd.gov>
Sent: Thursday, February 07, 2013 11:35 AM
To: Christina Toibero
Subject: RE: Building PermitB12003903

Follow Up Flag: Follow up
Flag Status: Flagged

Any legible, standard size is fine. Place my name somewhere on the plans and drop the plans off to the secretary at the front counter. Let her know that the plans you are dropping off should be forwarded to me. I will not be in the office on Friday. However, when I return on Monday I will review the plans and give you a call.

From: Christina Toibero [mailto:chris4winwin@gmail.com]
Sent: Thursday, February 07, 2013 11:21 AM
To: Bernard, Dana
Subject: RE: Building PermitB12003903

Ms. Bernard,

I have received the updated plans and the existing home plans for the property. I intend to have them printed today, is there a particular size sheet that you would prefer? I intend to drop these by your office tomorrow, do I need to attach anything or identify in some way for you?

Please let me know and thank you for your continued assistance.

Christina Toibero

From: Bernard, Dana [mailto:dbernard@howardcountymd.gov]
Sent: Monday, February 04, 2013 10:24 AM
To: Christina Toibero
Subject: RE: Building PermitB12003903

Mrs. Toibero,

Before a final decision can be made about your project we must receive the total square footage of your existing house and proposed addition. And the revised proposed floor plans showing the revisions for the offices. The information that you have provided from our web site states "How to Design a Residential Septic System" and does not include the full explanation of our current code. Your system is over 40 years old and clearly passed the normal life of a septic system which is 20-30 years. Which does not necessarily mean that it is not in good condition. So, let's move forward with your percolation testing and evaluate the well on your property and your septic system. So have your septic contractor give me a call and we can schedule your percolation testing.

Thanks
Dana Bernard

From: Christina Toibero [mailto:chris4winwin@gmail.com]
Sent: Monday, February 04, 2013 9:24 AM
To: Bernard, Dana
Subject: RE: Building PermitB12003903



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: B12003903

Building Address: 12000 Scarsville Road
City: Fulton State: MD Zip Code: 20759
Suite/Apt. #: _____ SDP/WP/BA #: _____
Census Tract: _____ Subdivision: 0900
Section: _____ Area: _____ Lot: _____
Tax Map: 0041 Parcel: 0173 Grid: 0019
Zoning: _____ Map Coordinates: _____ Lot Size: 1 Acre

Existing Use: Single Family
Proposed Use: Single Family with 52'x32' Two Story Addition
Estimated Construction Cost: \$440,000.00
Description of Work: 32'x32' 2 story Addition on Blot / 6'x26' Front Bumpout on Blot

Occupant or Tenant: _____
Was tenant space previously occupied? ☒ Yes ☐ No
Contact Name: Chris Taylor
Address: 12000 Scarsville Rd
City: Fulton State: MD Zip Code: 20759
Phone: (301) 807-8223 Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height: _____	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories: _____	Depth: _____ Width: _____
Gross area, sq. ft./floor: _____	1 st floor: <u>28'</u> <u>61'</u>
Area of construction (sq. ft.): _____	2 nd floor: _____
Use group: _____	Basement: _____
Construction type: _____	<input type="checkbox"/> Finished Basement <u>1/2</u>
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Unfinished Basement <u>1/2</u>
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Crawl Space
<input type="checkbox"/> Masonry	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Wood Frame	No. of Bedrooms: _____
<input type="checkbox"/> State Certified Modular	<u>Multi-family Dwelling</u>
	No. of efficiency units: _____
	No. of 1 BR units: _____
	No. of 2 BR units: _____
	No. of 3 BR units: <u>X</u>
	Other Structure: _____
	Dimensions: _____
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings: _____
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof: _____
Roadside Tree Project Permit # _____	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Property Owner's Name: Chris Taylor
Address: 12000 Scarsville Road
City: Fulton State: MD Zip Code: 20759
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Applicant's Name: Wade Yates
Address: 6361 Shady Side Rd
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Phone: (410) 935-9024 Fax: (410) 867-9256
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Contact Person: Wade Yates
Address: 6361 Shady Side Rd
City: Shady Side State: MD Zip Code: 20764
License No.: 37349
Phone: (410) 935-9024 Fax: 410 867-9256
Email: Wade.Yates@yates.com

Engineer/Architect Company: _____
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Utilities
<u>Water Supply</u>
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
<u>Sewage Disposal</u>
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No
<u>Heating System</u>
<input type="checkbox"/> Electric <input checked="" type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas
<input type="checkbox"/> Other: _____
<u>Sprinkler System:</u>
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Grading Permit Number: _____
Building Shell Permit Number: _____

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Wade Yates
Email Address: WADE.YATES@YATES.COM
President Yates Home Improvements
Title/Company

Print Name: Wade Yates
Date: Mar 29, 12

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY

FOR OFFICE USE ONLY

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health		

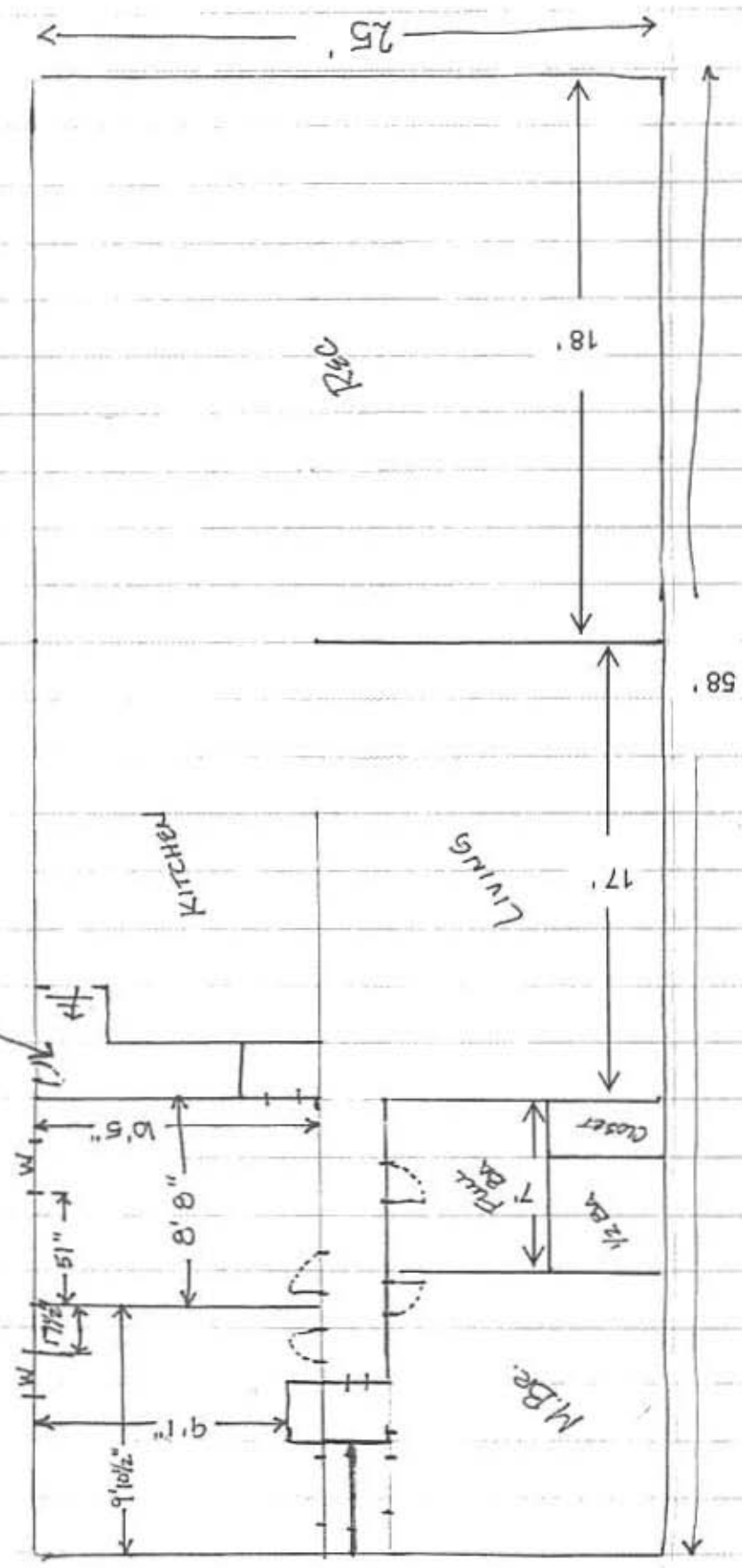
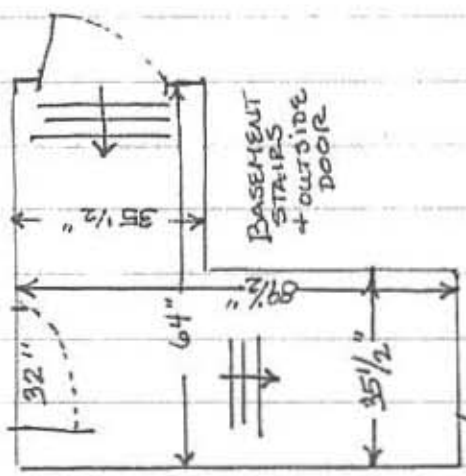
Is Sediment Control approval required for issuance? ☐ Yes ☐ No
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front: _____
Rear: _____
Side: _____
Side St.: _____
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone: _____
SDP/Red-line approval date: _____

Filing Fee	\$25.00
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# <u>9926</u>

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

EXISTING HOUSE



Bernard, Dana

From: Bernard, Dana
Sent: Tuesday, June 18, 2013 11:12 AM
To: 'Christina Toibero'
Subject: RE: Building PermitB12003903 - Toibero
Attachments: 12000 Scaggsville Road - Letter.docx

Good Morning Mrs. Toibero,

I have attached the corrected letter you requested. The development you have completed so far has brought you to the last stage which is the percolation certification stage. I must recommend that you submit a percolation certification plan to record all development you have completed on the property. If you submit a percolation certification plan and it is approved, (**which I am quite sure it will be**) this document will not have an expiration. This document will also be very valuable if you plan to transfer the property. The percolation certification plan will show how much the property can be developed. And if a potential buyer would like to expand, the percolation certification plan will have your buyer at the application stage. Without the percolation certification plan the potential buyer will have to submit a percolation certification plan and could possibly delay any construction from 6 months to a year. This is only a recommendation and not a requirement. I just wanted to let you know what your options are and how completing this stage will greatly increase your house value.

Have a Great Day!

If you have any additional questions don't hesitate to give me a call.

Very Nice Working with you

Dana Bernard

From: Christina Toibero [mailto:chris4winwin@gmail.com]
Sent: Monday, May 13, 2013 12:59 PM
To: Bernard, Dana
Subject: RE: Building PermitB12003903 - Toibero

Ms. Bernard,

I will be withdrawing all permit applications for 12000 Scaggsville Rd however before doing so I would like to have a corrected letter for the certification test for which we paid. I would appreciate your sending an updated letter with the correction as stated below. As I may be transferring the property I would also like to understand how long the certification is good for?

Thank you for your time and assistance with this process.

Christina Toibero
301.807.8223

From: Bernard, Dana [mailto:dbernard@howardcountymd.gov]
Sent: Tuesday, March 19, 2013 9:31 AM
To: Christina Toibero
Subject: RE: Building PermitB12003903 - Toibero

Mrs. Toibero,

We discussed bringing your well up to grade and not drilling a new well. The information in the letter describes the upgrades needed. The report sheet unfortunately has an error on it. Only the dry well will need to be abandoned and not the well. If you have any additional questions don't hesitate to e-mail me or give me a call.

Dana

From: Christina Toibero [<mailto:chris4winwin@gmail.com>]

Sent: Thursday, March 14, 2013 2:57 PM

To: Bernard, Dana

Subject: RE: Building PermitB12003903 - Toibero

Dana,

I wanted to touch base with you to verify whether or not some additional testing is going to be required. I really need to know this now and would appreciate your candor.

I spoke with Jeff and he wanted to know if I was sure all we were going to need to do was install the well pipe because you had mentioned to him the possibility of a new well drilling? I am not sure what this is about but I really need to have my eyes wide open here and would appreciate it if you would let me know now if there is potentially something else that I am going to need to do.

Please feel free to email me or call me on my cell to discuss if something else will be required beyond the well pipe & septic system installation.

Thank you,

Christina Toibero

Cell 301.807.8223

From: Bernard, Dana [<mailto:dbernard@howardcountymd.gov>]

Sent: Tuesday, February 19, 2013 4:44 PM

To: Christina Toibero

Subject: RE: Building PermitB12003903

Mrs. Toibero,

I have received the drawings and I have scheduled with Jeff of Hatfield's to perc on your property on February 26, 2013. If you have any additional questions don't hesitate to send me an e-mail.

Thanks

Dana

From: Christina Toibero [<mailto:chris4winwin@gmail.com>]

Sent: Tuesday, February 19, 2013 1:51 PM

To: Bernard, Dana

Subject: RE: Building PermitB12003903

Ms. Bernard,

I wanted to follow up that you had received the drawings I dropped off in the office on 2/8, the woman that took them stated she was taking them directly to your desk? Could you please let me know about how far out you are scheduled so I can understand when this might be moving forward?

Thank you,
Christina Toibero

From: Bernard, Dana [<mailto:dbernard@howardcountymd.gov>]
Sent: Thursday, February 07, 2013 11:35 AM
To: Christina Toibero
Subject: RE: Building PermitB12003903

Any legible, standard size is fine. Place my name somewhere on the plans and drop the plans off to the secretary at the front counter. Let her know that the plans you are dropping off should be forwarded to me. I will not be in the office on Friday. However, when I return on Monday I will review the plans and give you a call.

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To: Bernard, Dana
Subject: RE: Building PermitB12003903

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Please let me know and thank you for your continued assistance.

Christina Toibero

From: Bernard, Dana [<mailto:dbernard@howardcountymd.gov>]
Sent: Monday, February 04, 2013 10:24 AM
To: Christina Toibero
Subject: RE: Building PermitB12003903

Mrs. Toibero,

Before a final decision can be made about your project we must receive the total square footage of your existing house and proposed addition. And the revised proposed floor plans showing the revisions for the offices. The information that you have provided from our web site states "How to Design a Residential Septic System" and does not include the full explanation of our current code. Your system is over 40 years old and clearly passed the normal life of a septic system which is 20-30 years. Which does not necessarily mean that it is not in good condition. So, let's move forward with your percolation testing and evaluate the well on your property and your septic system. So have your septic contractor give me a call and we can schedule your percolation testing.

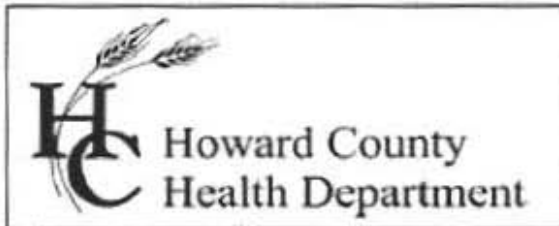
Thanks
Dana Bernard

From: Christina Toibero [<mailto:chris4winwin@gmail.com>]
Sent: Monday, February 04, 2013 9:24 AM
To: Bernard, Dana
Subject: RE: Building PermitB12003903

Ms Bernard,

I pulled this information and if the doors on the rooms are the problem we are prepared to have them removed, as this is home office space we do not require doors on the rooms. We are also prepared to add built-ins into the rooms as necessary to have them qualify as office space. I have contacted my septic company and the current size of the installed tank is 1,250. I did see where the total sq ft of the house is used to determine tank sizing. I would ask the question though if the tank has to be increased does that necessarily mean anything has to be done with the rest of the system or is that what the perc cert is for? Thank you for your time and assistance in this matter.

Christina Toibero



Bureau of Environmental
7178 Columbia Gateway Drive Columbia
(410) 313-2640 Fax (410)
TDD (410) 313-2323 Toll Free
website: www.hchealt

Peter Beilenson, M.D., M.P.H., Health Officer

How to Design a Residential Septic System

The following is a quick summary of the Howard County regulations concerning disposal systems. The regulations are effective as of January 2, 2007. For information consult the Howard County Code, Title 3.807 to 3.823, or call Program at 410-313-1771.

Designing a Drainage Field

First determine the volume of wastewater that will be coming from the home, a rough estimate, and not an exact value. Use the following formula to determine "Flow" volume:

$$150 \text{ gallons} \times \text{Number of Bedrooms}^* = \text{Volume of Wastewater}$$

*A bedroom, as defined in Howard County Code 3.801, is any space in the dwelling unit or accessory structure that is 90 square feet or greater in size, has a private sleeping area, and has at least one window and one interior door.

From: Bernard, Dana [<mailto:dbernard@howardcountymd.gov>]
Sent: Monday, January 28, 2013 11:25 AM
To: Christina Toibero
Subject: RE: Building PermitB12003903

First, I need to know who is handling this project because I have been corresponding with the applicant, Mr. Yates. Mrs. Toibero, I will be glad to send you updates from here on out. Answers to your comments will be in blue.

- Prior to submitting the application we were told to make sure we submitted prior to Jan 1 and if we did the new law would not be a factor either way.

Information for grandfathering is on our website. In order to be grandfathered in, you must have **purchased a septic permit before December 21st, 2012**. Your application was submitted before the end of the year but supporting documents was not submitted until December 21st and those documents were needed to make a decision about your property. And at this time all documents needed to process your application has not been submitted. As stated in my December 19, 2012 I needed floor plans for the existing house and the proposed addition. On December 21st floor plans for the proposed addition was received in our office but we still have not received floor plans for the existing house. Therefore, processing your application cannot occur without these supporting documents.

- Further, we are not adding any additional bedrooms to this structure we are only increasing the size of one bedroom and converting a ½ bath to a full bath in the bedroom section of the home. We are adding an additional bathroom with some office and rec space over the proposed garage, but I don't understand since we are not proposing additional bedrooms or a change to the septic why this would apply.

As I stated before, In order to give you a final review all supporting documents must be submitted. The letter I sent on January 24, 2012 requested supporting documents so I can determine if you need to upgrade your system or not. **It has not been determined.**

Thanks Mrs. Toibero
I hope to hear from you soon.
Dana Bernard
Environmental Specialist II

From: Christina Toibero [<mailto:chris4winwin@gmail.com>]
Sent: Friday, January 25, 2013 4:16 PM
To: Bernard, Dana
Cc: wadeyates69@yahoo.com
Subject: FW: Building PermitB12003903

Ms. Bernard,

I submitted the percolation certification in December 2012. I was unaware that we did not supply all needed information at the time the application was presented. I have attached the documents that are readily available and I need to better understand exactly what additional information is needed if these do not meet your needs.

Also, if you could clarify your statement "...Based on the information you have presented so far it appears as if you will fall into our category of the new laws implemented January 1, 2013. As of January 1, 2013 a person may not install or have installed an on-site sewage disposal system (OSDS) unless the OSDS utilizes Best Available Technology for any of the following: "

- Prior to submitting the application we were told to make sure we submitted prior to Jan 1 and if we did the new law would not be a factor either way.
- Further, we are not adding any additional bedrooms to this structure we are only increasing the size of one bedroom and converting a ½ bath to a full bath in the bedroom section of the home. We are adding an additional bathroom with some office and rec space over the proposed garage, but I don't understand since we are not proposing additional bedrooms or a change to the septic why this would apply.

Thank you for your time.

Christina Toibero

From: Wade Yates [<mailto:wadeyates69@yahoo.com>]
Sent: Thursday, December 20, 2012 4:59 PM
To: chris4winwin@gmail.com
Subject: Fw: Building PermitB12003903

----- Forwarded Message -----

From: "Bernard, Dana" <dbernard@howardcountymd.gov>
To: "WadeYates69@yahoo.COM" <WadeYates69@yahoo.COM>
Sent: Wednesday, December 19, 2012 2:49 PM
Subject: Building PermitB12003903

Mr. Yates, I have attached a letter which contains information needed to process your building permit. If you have any questions, please don't hesitate to give me a call.

Dana Bernard
Howard County Health Department

Bernard, Dana

From: Bernard, Dana
Sent: Monday, January 28, 2013 11:25 AM
To: 'Christina Toibero'
Subject: RE: Building PermitB12003903

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Also, if you could clarify your statement "....Based on the information you have presented so far it appears as if you will fall into our category of the new laws implemented January 1, 2013. As of January 1, 2013 a person may not install or have installed an on-site sewage disposal system (OSDS) unless the OSDS utilizes Best Available Technology for any of the following: "

- Prior to submitting the application we were told to make sure we submitted prior to Jan 1 and if we did the new law would not be a factor either way.
- Further, we are not adding any additional bedrooms to this structure we are only increasing the size of one bedroom and converting a ½ bath to a full bath in the bedroom section of the home. We are adding an additional bathroom with some office and rec space over the proposed garage, but I don't understand since we are not proposing additional bedrooms or a change to the septic why this would apply.

Thank you for your time.

Christina Toibero

From: Wade Yates [mailto:wadeyates69@yahoo.com]

Sent: Thursday, December 20, 2012 4:59 PM

To: chris4winwin@gmail.com

Subject: Fw: Building PermitB12003903

----- Forwarded Message -----

From: "Bernard, Dana" <dbernard@howardcountymd.gov>

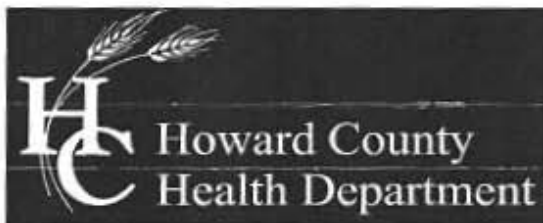
To: "WadeYates69@yahoo.COM" <WadeYates69@yahoo.COM>

Sent: Wednesday, December 19, 2012 2:49 PM

Subject: Building PermitB12003903

Mr. Yates, I have attached a letter which contains information needed to process your building permit. If you have any questions, please don't hesitate to give me a call.

Dana Bernard
Howard County Health Department



Bureau of Environmental Health
7178 Columbia Gateway Drive, Columbia, MD 21046-2147
Main: 410-313-2640 | Fax: 410-313-2648
TDD 410-313-2323 | Toll Free 1-866-313-6300
www.hchealth.org
Facebook: www.facebook.com/hocohealth
Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Acting Health Officer

DATE: December 19, 2012

TO: Yates Home Improvements, Inc.
C/o Wade Yates- Via E-mail: WadeYates69@yahoo.COM

RE: **Building Permit # B12003903**
12000 Scagsville Road
Fulton, Maryland 20759

Mr. Yates,

Our department cannot verify percolation testing has been completed on your property and a septic easement has been established. Percolation testing will be required by the Howard County Health Department. After percolation testing is completed, a percolation certification plan will be required to update your records and process your building permit.

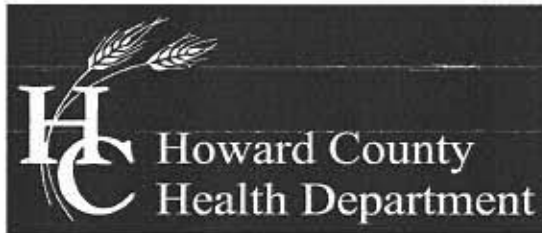
The Howard County Code (sec.3.0808) requires a Percolation Certification Plan for an increase in living space of 250sq.ft. This plan delineates the existing septic reserve area and reflects any proposed changes to the property. Requirements for this plan and percolation testing can be found on our web site: www.hchealth.org. Prior to building permit approval, an approved Percolation Certification Plan is required. Once you have completed percolation testing and submitted your Percolation Certification Plan and it is approved, it can serve as your building plan.

In addition, floor plans for the proposed addition and for the existing house must be submitted for review. A revised building plan showing the exact location of the existing structures such as wells, septic easements, septic reserve areas, and other septic system components such as septic tank, dry wells and distribution boxes must be submitted. Your building permit will be placed "on hold" until all Health Dept. requirements are met. If you have any questions or correspondence, I can be reached at the above address or by telephone at (410) 313-2775.

Respectfully,

Dana Bernard, REHS/RS
Environmental Sanitarian II
Bureau of Environmental Health
Phone (410) 313-2775
E-mail: DBernard@howardcountymd.gov

cc: Well & Septic program file



Bureau of Environmental Health
7178 Columbia Gateway Drive, Columbia, MD 21046-2147
Main: 410-313-2640 | Fax: 410-313-2648
TDD 410-313-2323 | Toll Free 1-866-313-6300
www.hchealth.org
Facebook: www.facebook.com/hocohealth
Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Acting Health Officer

DATE: January 24, 2013

TO: Yates Home Improvements, Inc.
C/o Wade Yates (Applicant)
Via E-mail: WadeYates69@yahoo.com

RE: Building Permit # B12003903

Mr. Yates:

I have received floor plans for the proposed addition and other supporting documents. However, I am still waiting for the floor plans for the existing house to complete my review. All reviews must be completed prior to percolation testing. My final review will help to determine the sizing of the system needed to support your existing house and proposed addition. Based on the information you have presented so far it appears as if you will fall into our category of the new laws implemented January 1, 2013. As of January 1, 2013 a person may not install or have installed an on-site sewage disposal system (OSDS) unless the OSDS utilizes Best Available Technology for any of the following:

1. **New construction in either the Chesapeake Bay Watershed or the Atlantic Coast watershed;**
2. **New construction in any watershed of a nitrogen impaired body of water; or**
3. **A replacement system to serve a property in the Chesapeake Bay critical area or the Atlantic Coastal critical areas.**

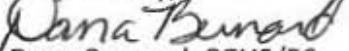
After the final review you may be required to install if your property falls under the category of new construction which includes the construction of an OSDS for a new home or non-residential building. New construction also includes any alteration to an existing home that requires a building permit review by the Health Department and the existing OSDS is not adequate and needs to be upgraded. Additions where the existing OSDS is adequate will not require the installation of Best Available Technology. The review of the existing OSDS includes the following:

1. **Tank adequately sized and of water tight construction;**
2. **Absorption system is adequately sized; and**
3. **System is properly designed and not a public health concern.**

Please see the Howard County Health Department website, Bureau of Environmental Health Well and Septic Program page for a link to the Maryland Department of the Environment list of approved BAT systems. There is also a link to information on the Bay Restoration Fund; however BRF funding is currently not available for new construction. BAT site plan requirements are available on the same page.

Your building permit will be placed "on hold" until all Howard County Health Department requirements are met. If you have any questions or correspondence, I can be reached at the above address or by telephone at (410) 313-2775.

Respectfully,



Dana Bernard, REHS/RS

Environmental Specialist II

Bureau of Environmental Health

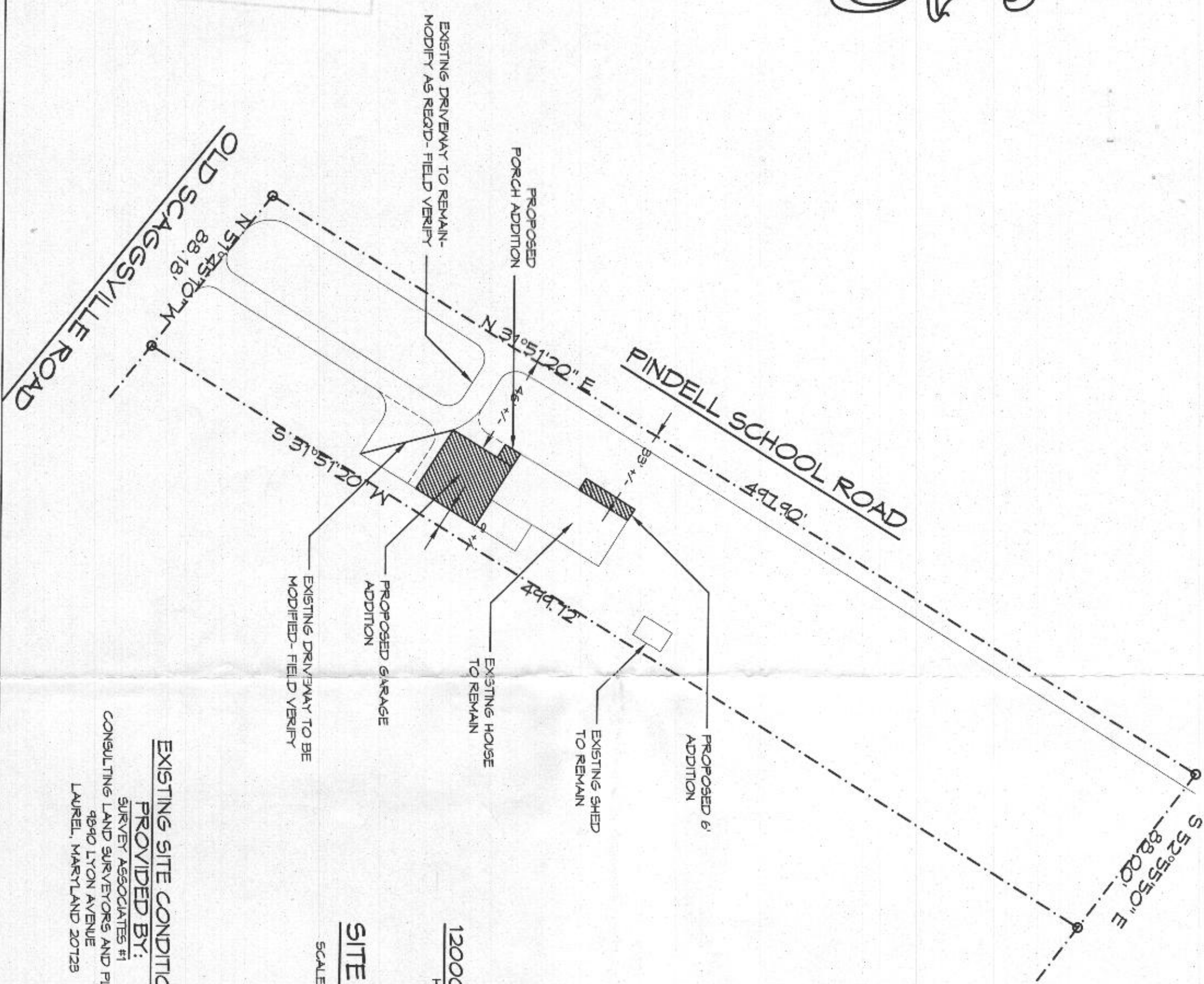
Well and Septic Program

Phone (410) 313-2775

E-mail: DBernard@howardcountymd.gov

cc: Well & Septic program file

RECEIVED
DEC 8 2 58 PM
FORWARD CONSULTING AND PLANNERS
12000 OLD SCAGGSVILLE RD
FULTON, MARYLAND 20728



PARCEL #173
12000 OLD SCAGGSVILLE RD
HOWARD COUNTY, MARYLAND

SITE PLAN

SCALE: 1"=50'-0"

EXISTING SITE CONDITIONS

PROVIDED BY:

SURVEY ASSOCIATES #1
CONSULTING LAND SURVEYORS AND PLANNERS
9840 LYON AVENUE
LAUREL, MARYLAND 20728

FILE: SCHROEN

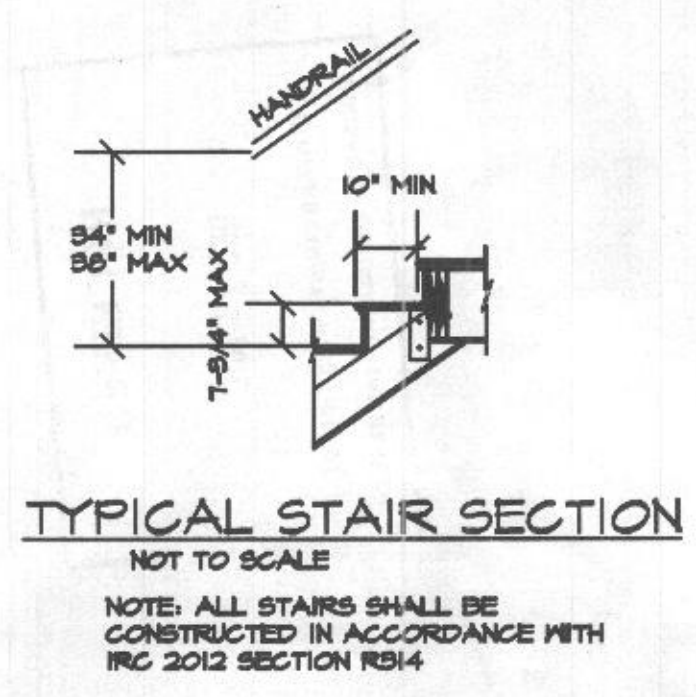
SCALE: 1/4" = 1'-0"
DATE: 9/20/12
SHEET NO.: 1 OF 1

**GBL CUSTOM HOME
DESIGN INC.**
PO BOX 237 FREDERICKSBURG, MD 21048
PHONE 410-833-8320

REVISION 10/24/2012
REVISION 10/11/2012

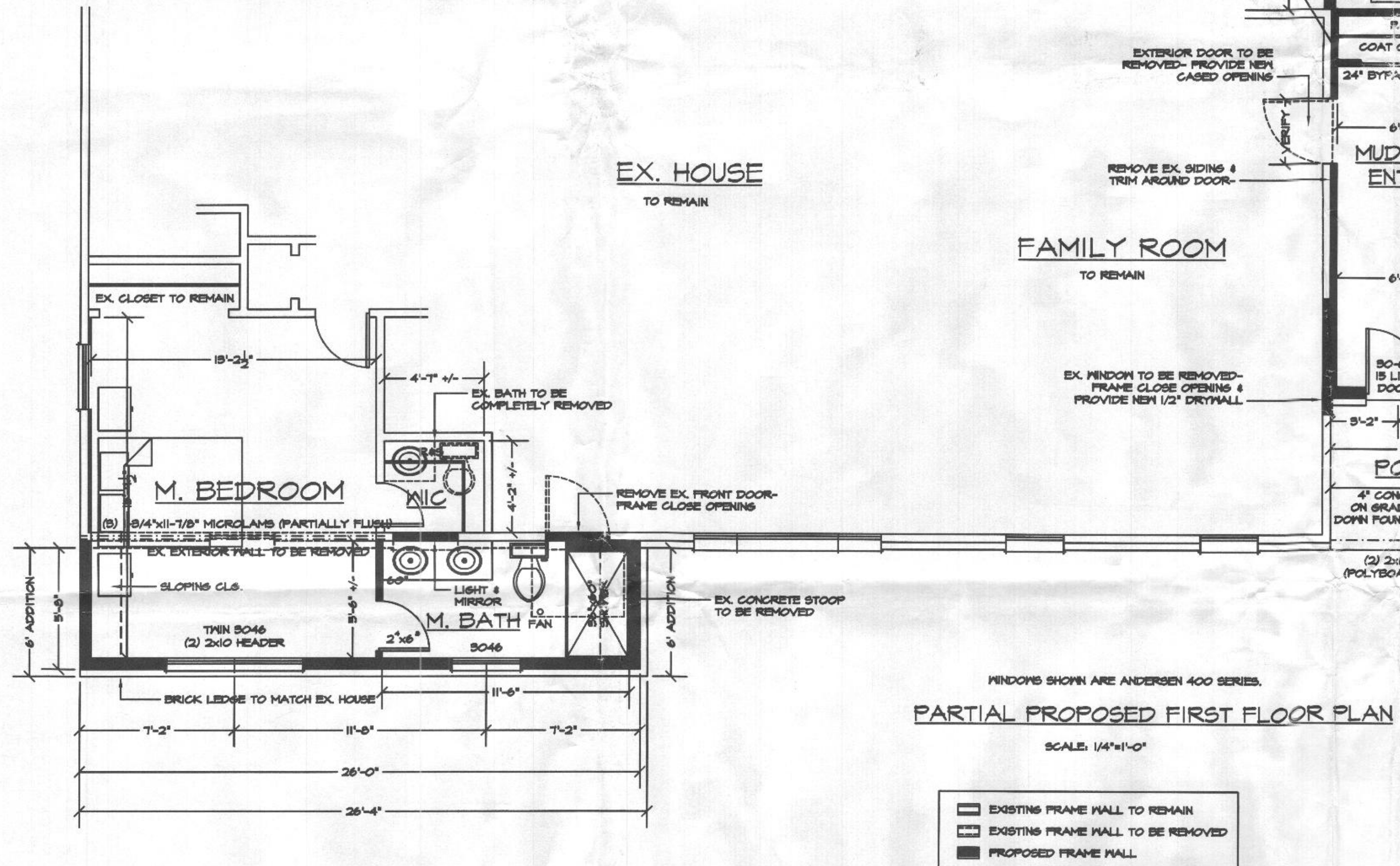
PROJECT ADDRESS:
12000 SCAGGSVILLE ROAD
FULTON, MARYLAND 20728

**ADDITIONS & REMODELING TO
THE SCHROEN RESIDENCE**



R615.2 WINDOW SILLS
ALL WINDOWS WHERE THE OPERABLE OPENING IS LOCATED MORE THAN 12\"/>

EXCEPTIONS:
1. WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4\"/>

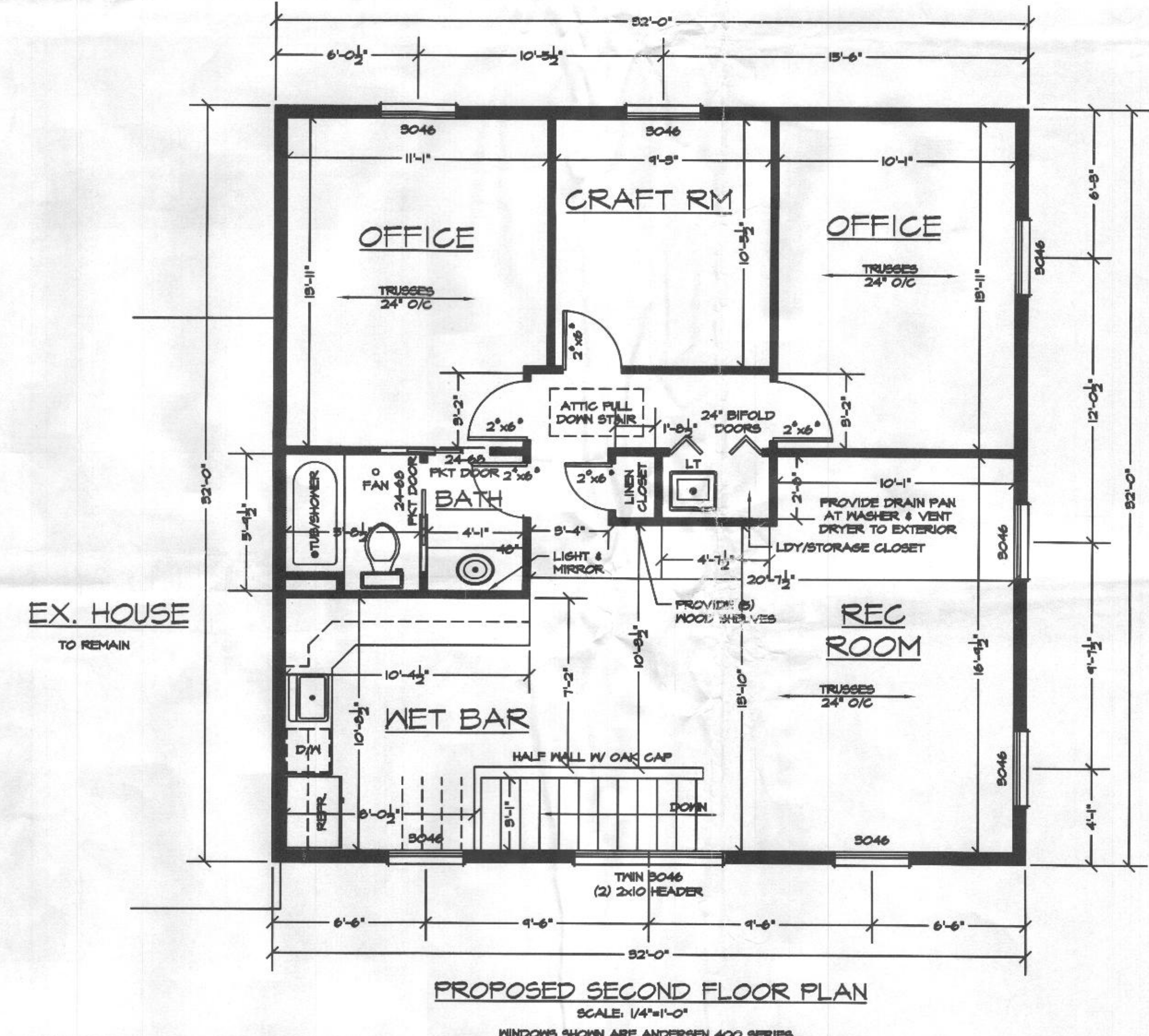


WINDOWS SHOWN ARE ANDERSEN 400 SERIES.
PARTIAL PROPOSED FIRST FLOOR PLAN
SCALE: 1/4\"/>

- EXISTING FRAME WALL TO REMAIN
- EXISTING FRAME WALL TO BE REMOVED
- PROPOSED FRAME WALL

2012 IECC CODE COMPLIANCE

R301.1	CLIMATE ZONE 4	R402.2.4	ATTIC ACCESS: ATTIC ACCESS SCUTTLE SHALL BE WEATHERSTRIPPED AND INSULATED R-44.	R403.1.1	THERMOSTAT: ALL DWELLING UNITS SHALL HAVE AT LEAST (1) PROGRAMMABLE THERMOSTAT FOR EACH SEPARATE HEATING AND COOLING SYSTEM PER 2012 IECC SECTION 403.1.
R401.2	COMPLIANCE METHOD: MANDATORY AND PRESCRIPTIVE PROVISIONS	R402.4	BUILDING THERMAL ENVELOPE (AIR LEAKAGE): EXTERIOR WALLS AND PENETRATIONS SHALL BE SEALED PER THIS SECTION OF THE 2012 IECC WITH CAULK, GASKETS, WEATHERSTRIPPING OR AN AIR BARRIER OF SUITABLE MATERIAL.	R403.2.1	MECHANICAL DUCT INSULATION: SUPPLY DUCTS IN ATTIC R-6 MINIMUM. SUPPLY DUCTS OUTSIDE OF CONDITIONED SPACES R-6 MINIMUM. ALL OTHER DUCTS EXCEPT THOSE LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE R-6 MINIMUM. DUCTS LOCATED UNDER CONCRETE SLABS MUST BE R-6 MINIMUM.
R402.1.1	ATTIC INSULATION: R-49	R402.4.1	BUILDING ENVELOPE TIGHTNESS TEST: BUILDING ENVELOPE TIGHTNESS AND INSULATION INSTALLATION MUST MEET THE INSPECTION CRITERIA LISTED IN TABLE 402.4.1.2. A "BLOWER DOOR AIR INFILTRATION TEST" SHALL BE PERFORMED IN ALL UNITS. SEE ALSO SECTION R509.4 OF THE 2012 IECC.	R403.2.2	DUCT SEALING: ALL DUCTS, AIR HANDLERS, FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH SECTION M601.4.1 OF THE IECC.
R402.1.1	WOOD FRAME WALL: R-20 OR RISERS CONTINUOUS INSULATION	R402.4.2	FIREPLACES: ALL WOOD BURNING MASONRY FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS AND OUTDOOR COMBUSTION AIR. FIREPLACES SHALL HAVE GASKETED DOORS.	R403.5	MECHANICAL VENTILATION: OUTDOOR (MAKE-UP) AIR SHALL BE BROUGHT INTO THE HOME THRU A DUCT WITH AN AUTOMATIC OR GRAVITY DAMPER.
R402.1.1	BASEMENT WALL INSULATION: R-15/R-10 FOIL FACED CONTINUOUS, UNINTERRUPTED BATTS FULL HEIGHT.	R402.4.3	FIREPLACES: ALL WOOD BURNING MASONRY FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS AND OUTDOOR COMBUSTION AIR. FIREPLACES SHALL HAVE GASKETED DOORS.	R403.6	EQUIPMENT SIZING SHALL COMPLY WITH R403.6.
R402.1.1	CRAWL SPACE WALL INSULATION: R-15/R-10 FOIL FACED CONTINUOUS BATTS FULL HEIGHT EXTENDING FROM FLOOR ABOVE TO FINISH GRADE LEVEL AND THEN VERTICALLY OR HORIZONTALLY AN ADDITIONAL 2'-0\"/>	R402.4.4	RECESSED LIGHTING: RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE.	R404.1	LIGHTING EQUIPMENT: A MINIMUM OF 75% OF ALL LAMPS (LIGHTS) MUST BE HIGH-EFFICIENCY LAMPS.
R402.1.1	CRAWL SPACE WALL INSULATION: R-15/R-10 FOIL FACED CONTINUOUS BATTS FULL HEIGHT EXTENDING FROM FLOOR ABOVE TO FINISH GRADE LEVEL AND THEN VERTICALLY OR HORIZONTALLY AN ADDITIONAL 2'-0\"/>	R403.1.1	THERMOSTAT: ALL DWELLING UNITS SHALL HAVE AT LEAST (1) PROGRAMMABLE THERMOSTAT FOR EACH SEPARATE HEATING AND COOLING SYSTEM PER 2012 IECC SECTION 403.1.		
R402.1.1	FLOOR INSULATION OVER UNCONDITIONED SPACE: R-14 BATT INSULATION				
R402.1.1	WINDOW U-VALUE / SHGC 35 (U-VALUE) 40 (SHGC)				
R402.2.4	SLAB ON GRADE FLOORS LESS THAN 12\"/>				



PROPOSED SECOND FLOOR PLAN
SCALE: 1/4\"/>

**ADDITIONS & REMODELING TO
THE SCHROEN RESIDENCE**

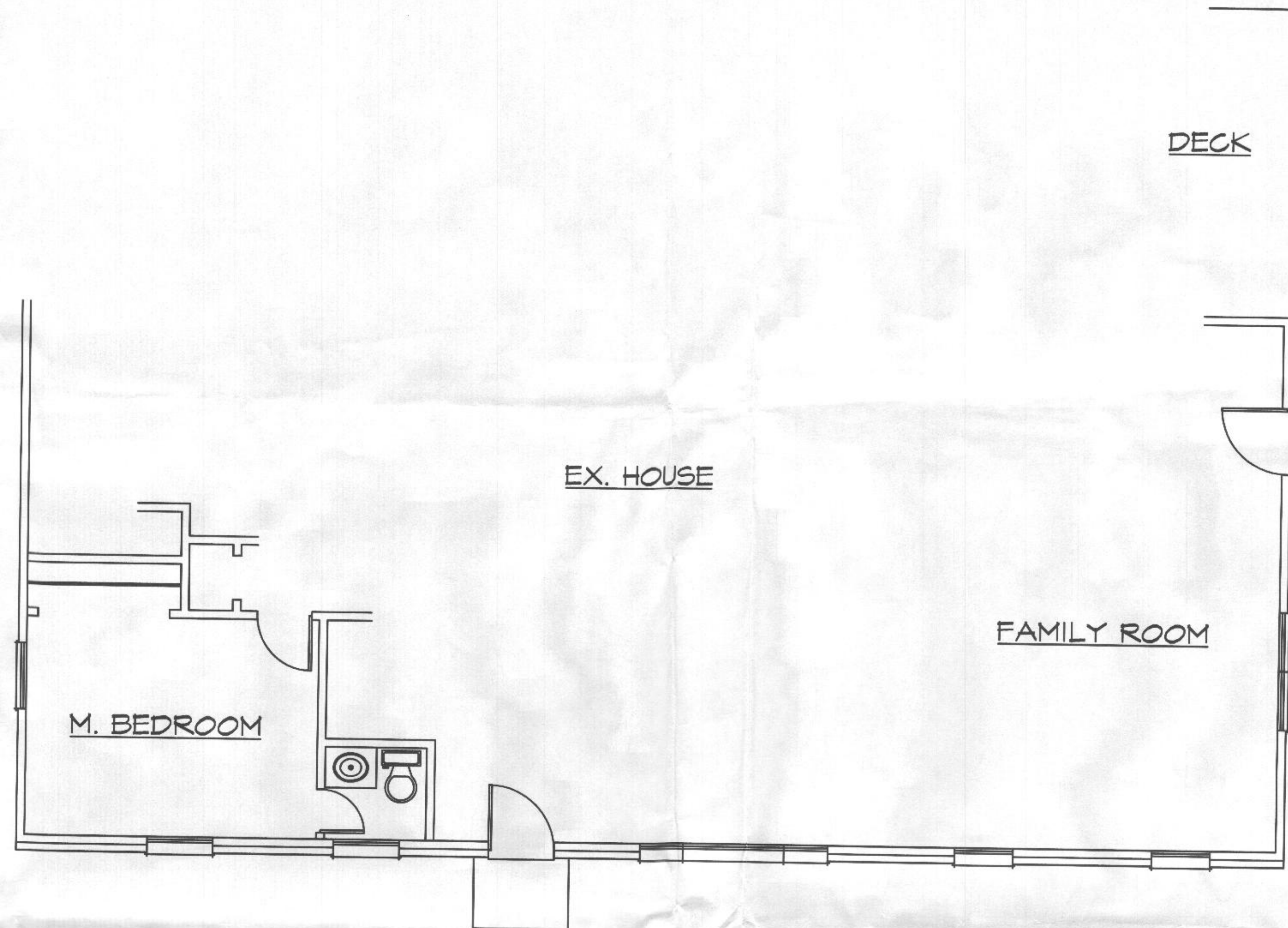
PROJECT ADDRESS:
12000 SCAGGSVILLE ROAD
FULTON, MARYLAND 20714
HOWARD COUNTY

REVISED 11/26/2012
REVISED 11/18/2012
REVISED 11/6/2012
REVISED 10/31/2012
REVISED 10/24/2012
REVISED 10/11/2012

**GBL CUSTOM HOME
DESIGN INC.**
PO BOX 237 FINKSBURG, MD 21048
PHONE 410-833-8320

SCALE: 1/4\"/>

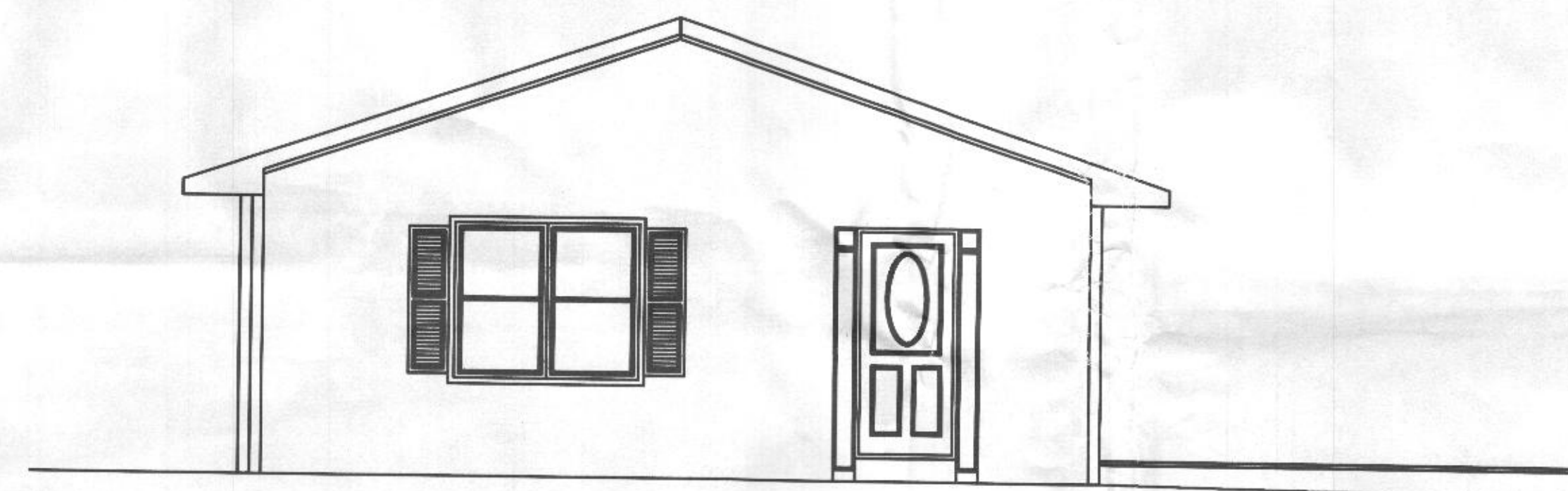
FILE: SCHROEN



PARTIAL EXISTING FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



EXISTING FRONT ELEVATION
SCALE: 1/4"=1'-0"



EXISTING RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"

ADDITIONS & REMODELING TO THE SCHROEN RESIDENCE

PROJECT ADDRESS:
12000 SCAGGSVILLE ROAD
FULTON, MARYLAND 20784
HOWARD COUNTY

REVISED 11/26/2012
REVISED 11/18/2012
REVISED 11/6/2012
REVISED 10/31/2012
REVISED 10/29/2012
REVISED 10/11/2012

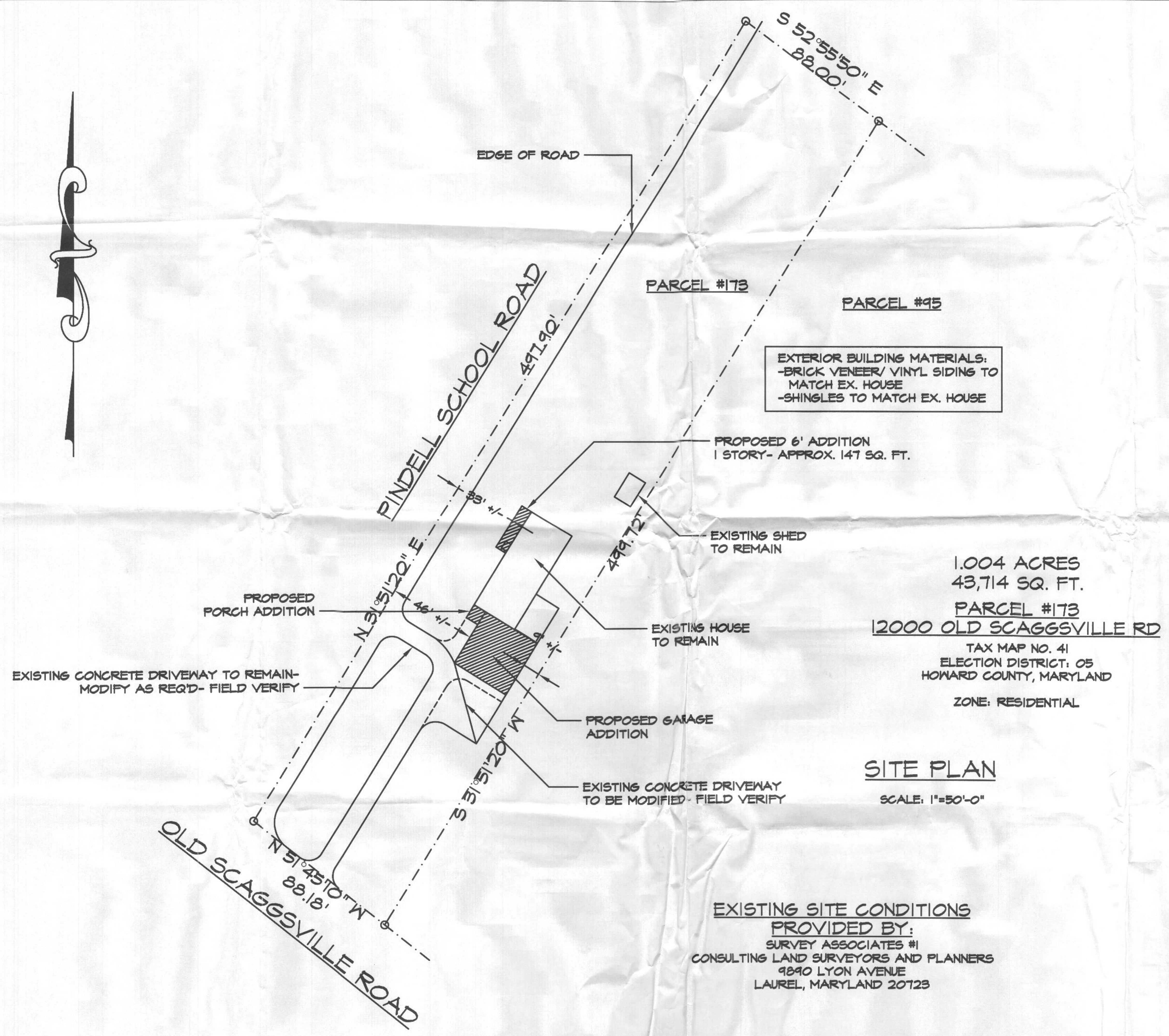
FILE: SCHROEN

SCALE: 1/4" = 1'-0"

DATE: 9/20/12

SHEET NO.: 1 OF 6

GBL CUSTOM HOME
DESIGN INC.
PO BOX 237 FINKSBURG, MD 21048
PHONE 410-833-8320



SITE PLAN

SCALE: 1"=50'-0"

**EXISTING SITE CONDITIONS
PROVIDED BY:**
SURVEY ASSOCIATES #1
CONSULTING LAND SURVEYORS AND PLANNERS
9890 LYON AVENUE
LAUREL, MARYLAND 20723

**ADDITIONS & REMODELING TO
THE SCHROEN RESIDENCE**

12000 Scaggsville Road

PROJECT ADDRESS:
12000 SCAGGSVILLE ROAD
FULTON, MARYLAND 20784

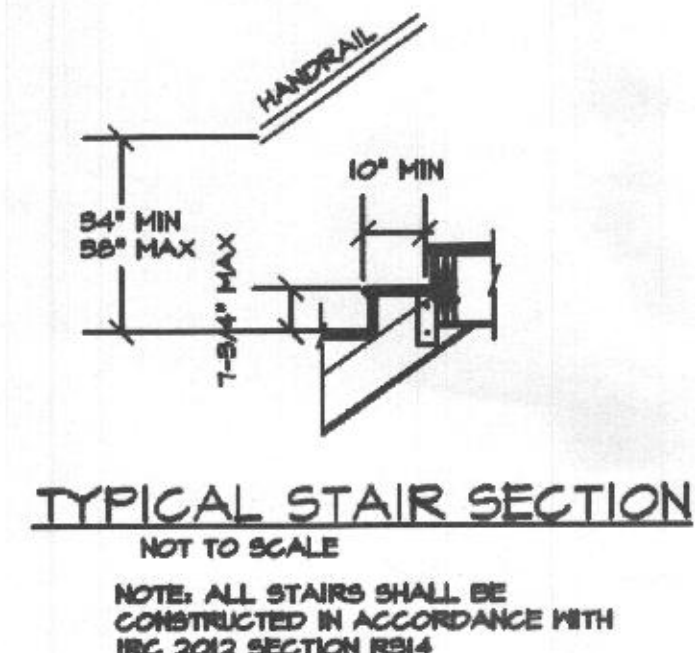
REVISED 12/20/2012
REVISED 10/24/2012
REVISED 10/11/2012

FILE: SCHROEN

SCALE: 1/4" = 1'-0"
DATE: 9/20/12

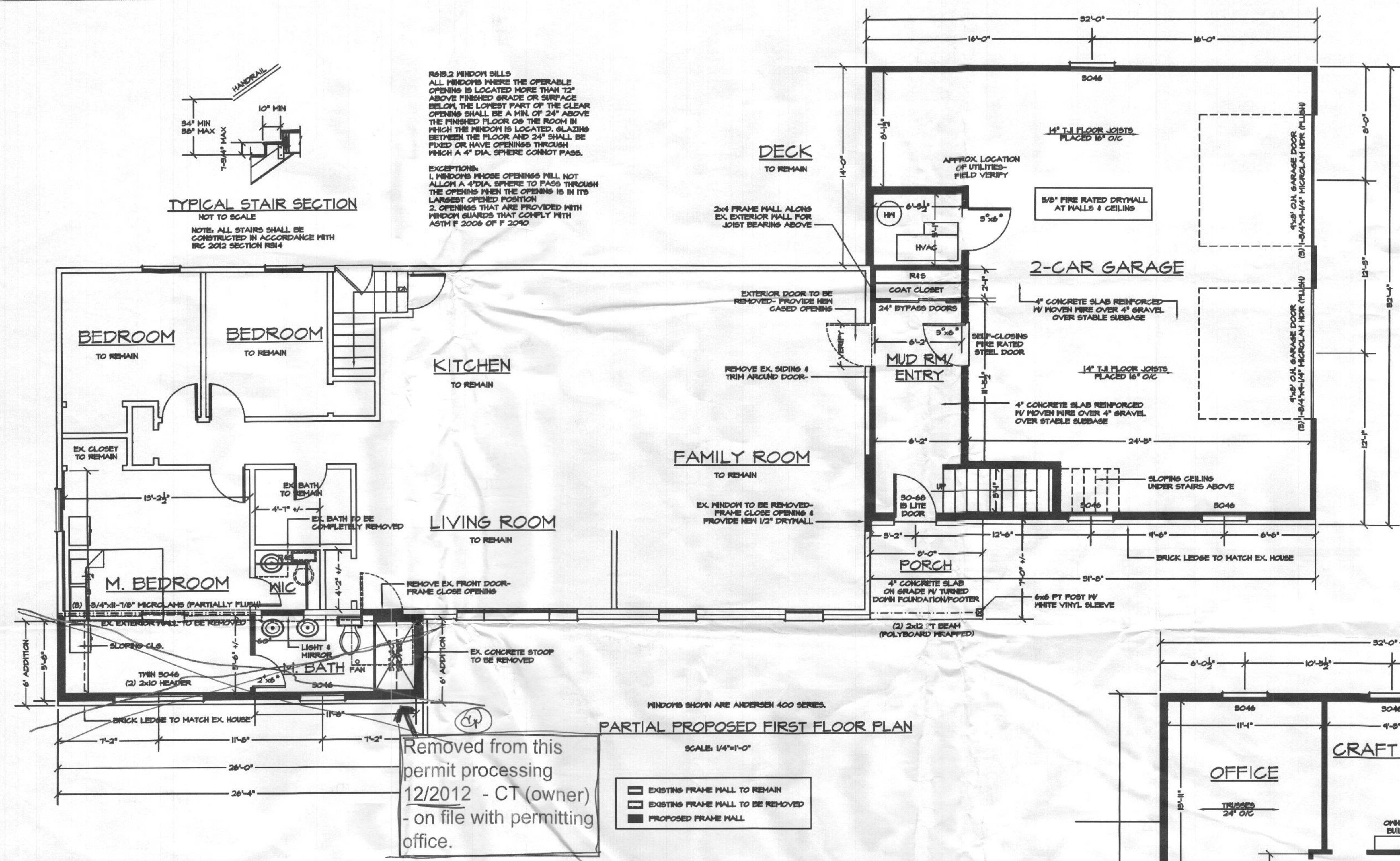
SHEET NO.: 1 OF 1

GEL CUSTOM HOME
DESIGN INC.
PO BOX 237 FINEBURG, MD 21048
PHONE 410-833-8320



R619.2 WINDOW SILLS
ALL WINDOWS WHERE THE OPERABLE OPENING IS LOCATED MORE THAN 12\"/>

EXCEPTIONS:
1. WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4\"/>

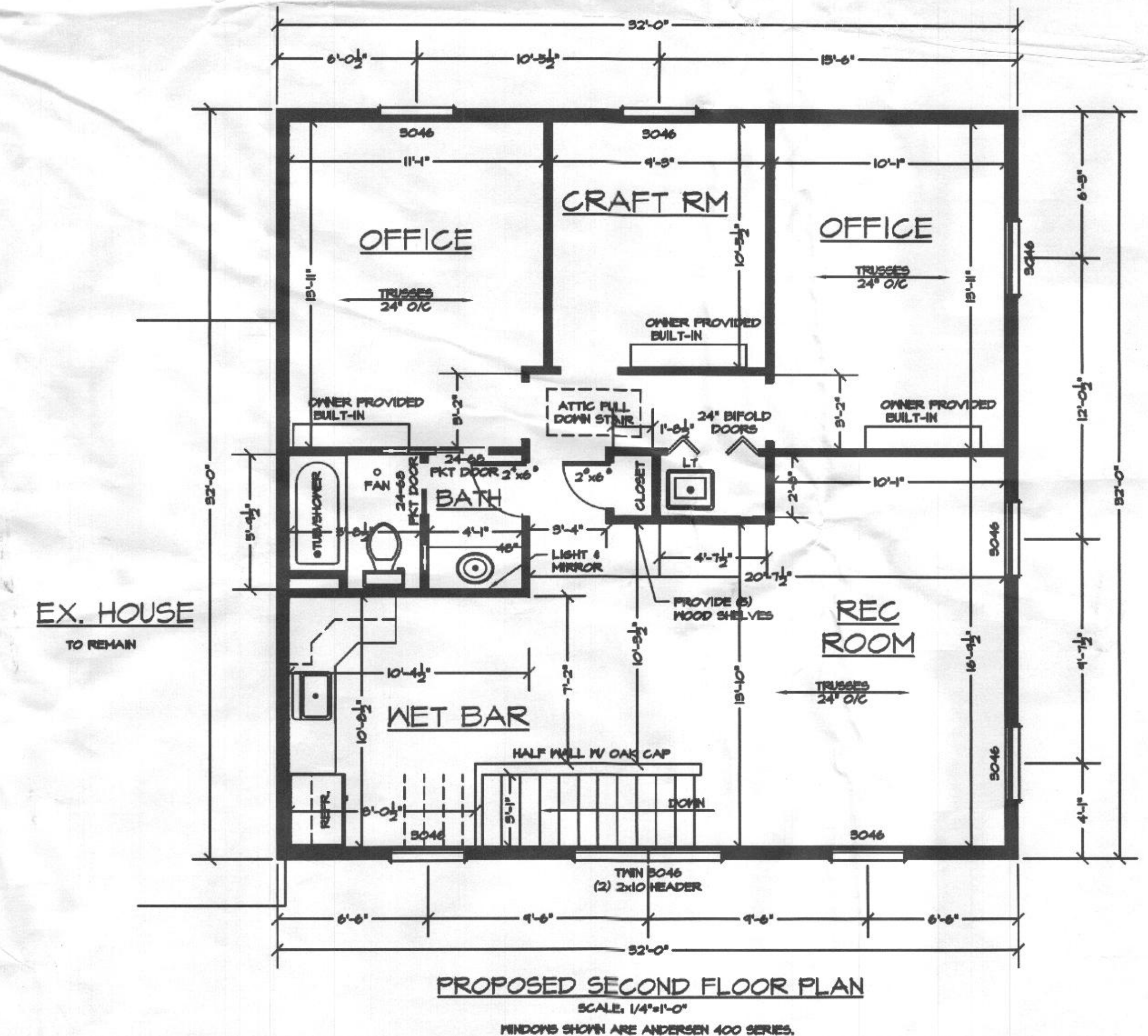


Removed from this permit processing 12/2012 - CT (owner) - on file with permitting office.

2012 IECC CODE COMPLIANCE

- | | |
|--|---|
| <p>R401.1 CLIMATE ZONE 4</p> <p>R401.2 COMPLIANCE METHOD: MANDATORY AND PRESCRIPTIVE PROVISIONS</p> <p>R402.1 ATTIC INSULATION: RAISED HEEL TRUSSES, R-44</p> <p>R402.1 WOOD FRAME WALL: R-20 OR RISKS CONTINUOUS INSULATION</p> <p>R402.1 BASEMENT WALL INSULATION: R-15/R-10 FOIL FACED CONTINUOUS, UNINTERRUPTED BATTS FULL HEIGHT.</p> <p>R402.1 CRANK SPACE WALL INSULATION: R-15/R-10 FOIL FACED CONTINUOUS BATTS FULL HEIGHT EXTENDING FROM FLOOR ABOVE TO FINISH GRADE LEVEL AND THEN VERTICALLY OR HORIZONTALLY AN ADDITIONAL 2'-0".</p> <p>R402.1 CRANK SPACE WALL INSULATION: R-15/R-10 FOIL FACED CONTINUOUS BATTS FULL HEIGHT EXTENDING FROM FLOOR ABOVE TO FINISH GRADE LEVEL AND THEN VERTICALLY OR HORIZONTALLY AN ADDITIONAL 2'-0".</p> <p>R402.1 FLOOR INSULATION OVER UNCONDITIONED SPACE: R-14 BATT INSULATION</p> <p>R402.1 WINDOW U-VALUE / SHGC: 55 (U-VALUE) / 40 (SHGC)</p> <p>R402.2.4 SLAB ON GRADE FLOORS LESS THAN 12" BELOW GRADE: R-10 RIGID FOAM BOARD UNDER SLAB EXTENDING EITHER 2'-0" HORIZONTALLY OR 2'-0" VERTICALLY.</p> | <p>R402.2.4 ATTIC ACCESS: ATTIC ACCESS SCUTTLE SHALL BE HEATHERSTRIPPED AND INSULATED R-44.</p> <p>R402.4 BUILDING THERMAL ENVELOPE (AIR LEAKAGE): EXTERIOR WALLS AND PENETRATIONS WILL BE SEALED PER THIS SECTION OF THE 2012 IECC WITH CAULK, GASKETS, HEATHERSTRIPPING OR AN AIR BARRIER OF SUITABLE MATERIAL.</p> <p>R402.4.1 BUILDING ENVELOPE TIGHTNESS TEST: BUILDING ENVELOPE TIGHTNESS AND INSULATION INSTALLATION MUST MEET THE INSULATION CRITERIA LISTED IN TABLE 402.4.1.2. A "BLOWER DOOR AIR INFILTRATION TEST" SHALL BE PERFORMED IN ALL UNITS. SEE ALSO SECTION R308.4 OF THE 2012 IECC.</p> <p>R402.4.2 FIREPLACES: ALL WOOD BURNING MASONRY FIREPLACES WILL HAVE TIGHT-FITTING FLUE DAMPERS AND OUTDOOR COMBUSTION AIR. FIREPLACES SHALL HAVE GASKETED DOORS.</p> <p>R402.4.2 FIREPLACES: ALL WOOD BURNING MASONRY FIREPLACES WILL HAVE TIGHT-FITTING FLUE DAMPERS AND OUTDOOR COMBUSTION AIR. FIREPLACES SHALL HAVE GASKETED DOORS.</p> <p>R402.4.4 RECESSED LIGHTING: RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE.</p> <p>R405.1.1 THERMOSTAT: ALL DWELLING UNITS WILL HAVE AT LEAST (1) PROGRAMMABLE THERMOSTAT FOR EACH SEPARATE HEATING AND COOLING SYSTEM PER 2012 IECC SECTION 405.1.</p> |
|--|---|

- | | |
|--|--|
| <p>R405.1.1 THERMOSTAT: ALL DWELLING UNITS WILL HAVE AT LEAST (1) PROGRAMMABLE THERMOSTAT FOR EACH SEPARATE HEATING AND COOLING SYSTEM PER 2012 IECC SECTION 405.1.</p> <p>R405.2.1 MECHANICAL DUCT INSULATION: SUPPLY DUCTS IN ATTIC R-8 MINIMUM. SUPPLY DUCTS OUTSIDE OF CONDITIONED SPACES R-6 MINIMUM. ALL OTHER DUCTS EXCEPT THOSE LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE R-6 MINIMUM. DUCTS LOCATED UNDER CONCRETE SLABS MUST BE R-6 MINIMUM.</p> <p>R405.2.2 DUCT SEALING: ALL DUCTS, AIR HANDLERS, FILTER BOXES WILL BE SEALED, JOINTS AND SEAMS WILL COMPLY WITH SECTION M601.4J OF THE IRC.</p> <p>R405.3 MECHANICAL VENTILATION: OUTDOOR (MAKE-UP) AIR WILL BE BROUGHT INTO THE HOME THRU A DUCT WITH AN AUTOMATIC OR GRAVITY DAMPER.</p> <p>R405.6 EQUIPMENT SIZING SHALL COMPLY WITH R405.6.</p> <p>R404.1 LIGHTING EQUIPMENT: A MINIMUM OF 75 OF ALL LAMPS (LIGHTS) MUST BE HIGH-EFFICACY LAMPS.</p> <p>WATER HEATER: MINIMUM EFFICIENCY ESTABLISHED BY NAESCA</p> <p>MECHANICAL TESTING: ALL MECHANICAL TESTING TO BE PERFORMED BY CONTRACTOR. THIS CONTRACTOR ALSO RESPONSIBLE FOR GENERATING CERTIFICATE OF COMPLIANCE AND AFFIXING TO ELECTRICAL PANEL.</p> | <p>WHERE A HEAT PUMP SYSTEM HAVING SUPPLEMENTARY ELECTRIC RESISTANCE HEAT IS USED THE THERMOSTAT SHALL PREVENT THE SUPPLEMENTARY HEAT FROM COMING ON WHEN HEAT PUMP CAN MEET HEATING LOAD.</p> <p>A DUCT TIGHTNESS TEST ("DUCT BLASTER" DUCT TOTAL LEAKAGE TEST) WILL BE PERFORMED ON ALL HOMES AND SHALL BE VERIFIED BY EITHER A POST CONSTRUCTION TEST OR A TIGHTEN-UP TEST. DUCT TIGHTNESS IS NOT REQUIRED IF THE AIR HANDLER AND ALL DUCTS ARE LOCATED WITHIN THE CONDITIONED SPACE.</p> |
|--|--|



**ADDITIONS & REMODELING TO
THE SCHROEN RESIDENCE**

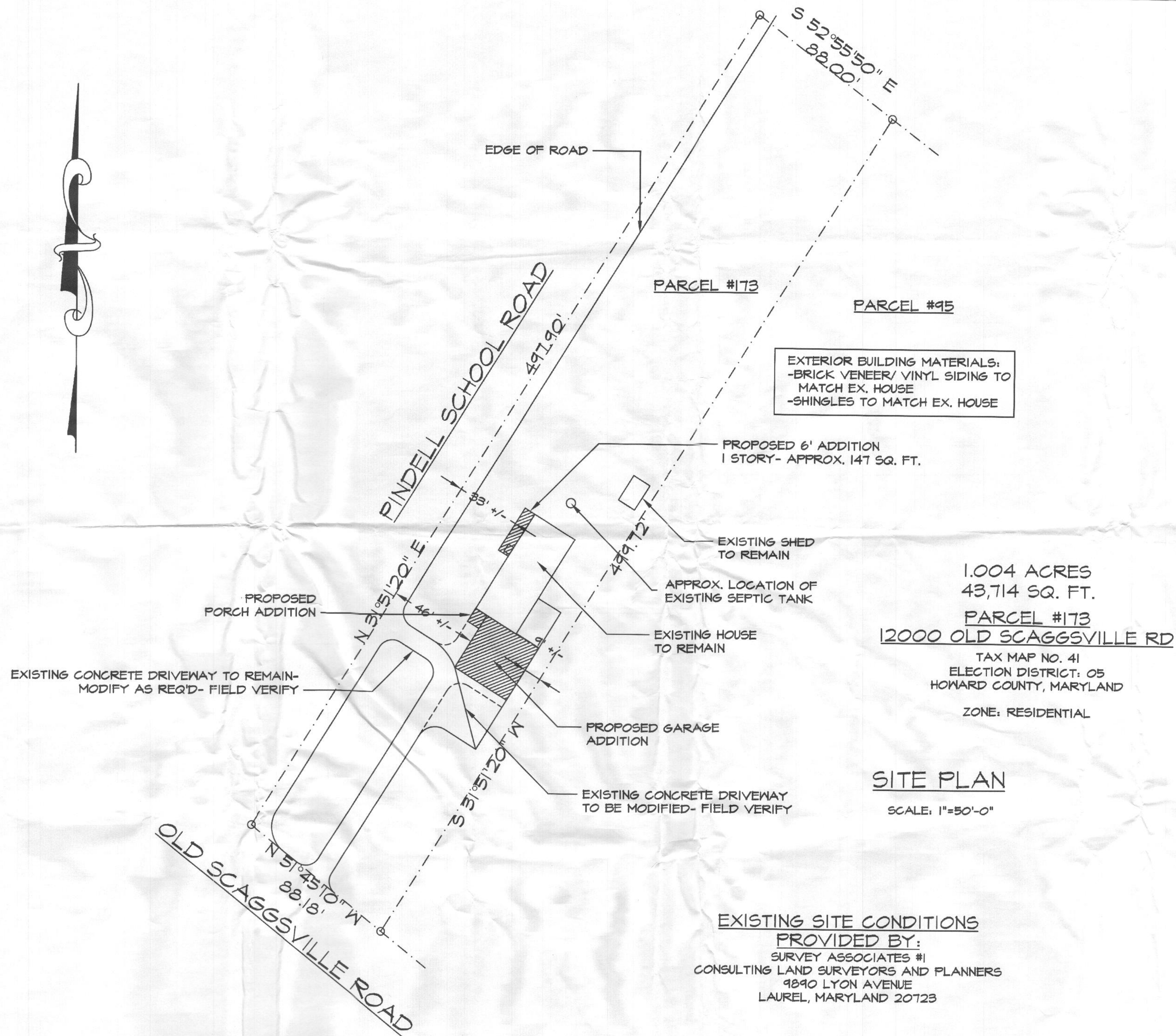
PROJECT ADDRESS:
12000 SCARBOROUGH ROAD
FELTON, MARYLAND 20751
HOWARD COUNTY

REVISED 11/26/2012
REVISED 11/18/2012
REVISED 10/6/2012
REVISED 10/18/2012
REVISED 10/24/2012
REVISED 10/11/2012

FILE: SCHROEN

SCALE: 1/4" = 1'-0"
DATE: 9/2012
SHEET NO.: 2 OF 6

**GBL CUSTOM HOME
DESIGN INC.**
PO BOX 237 FINKSBURG, MD 21048
PHONE 410-833-8320



ADDITIONS & REMODELING TO THE SCHROEN RESIDENCE

PROJECT ADDRESS:
12000 SCAGGSVILLE ROAD
FULTON, MARYLAND 20754

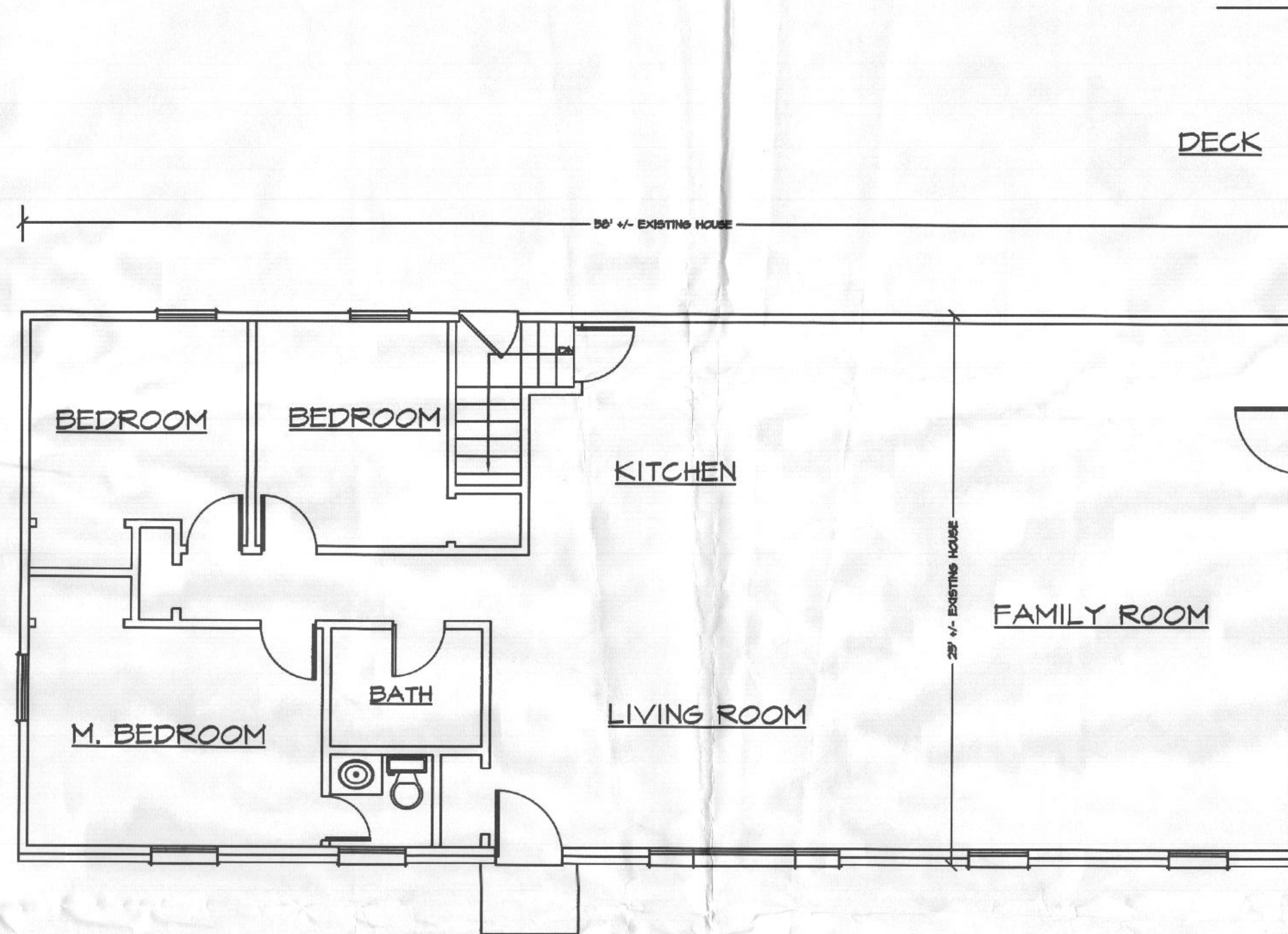
REVISED 12/20/2012
REVISED 10/24/2012
REVISED 10/11/2012

FILE: SCHROEN

DATE: 9/20/12

SHEET NO.: 1 OF 1

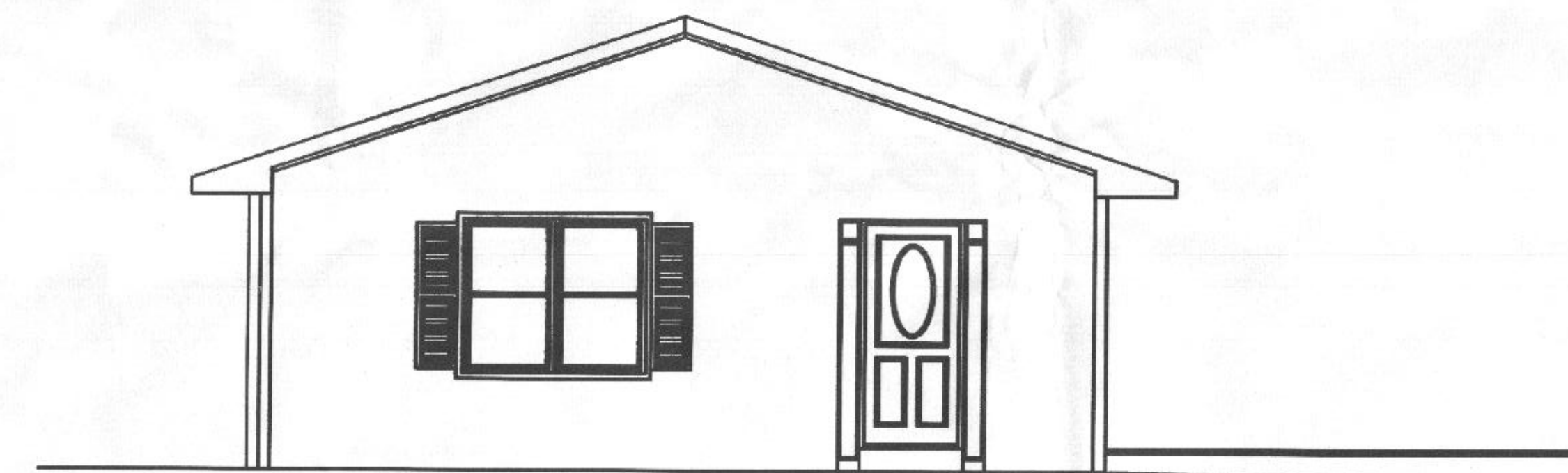
GBL CUSTOM HOME
DESIGN INC.
PO BOX 237 FINKSBURG, MD 21048
PHONE 410-833-8320



PARTIAL EXISTING FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



EXISTING FRONT ELEVATION
SCALE: 1/4"=1'-0"



EXISTING RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"

ADDITIONS & REMODELING TO THE SCHROEN RESIDENCE

PROJECT ADDRESS:
12000 SCASSVILLE ROAD
FULTON, MARYLAND 20784
HOWARD COUNTY

REVISED 11/26/2012
REVISED 11/18/2012
REVISED 11/16/2012
REVISED 10/31/2012
REVISED 10/24/2012
REVISED 10/11/2012

FILE: SCHROEN

SCALE: 1/4" = 1'-0"

DATE: 9/20/12

SHEET NO.: 1 OF 6

GBL CUSTOM HOME
DESIGN INC.
PO BOX 237 FINKSBURG, MD 21048
PHONE 410-833-8320