TA		H Department o	loward County of Inspections,	Ligenses and Permits	Date Received	
Æ	uk		3430 Court Ho Permits: 410- ww.howardco	313-2455	Permit No.:	312003903
Building Address:	6 Securitte	ant		Property Owner's Name:	Chrisme -	Tribur
	and the second se		759	Address:	CORSY lix	Lovel
City: Fullan			141	City:	State:	Zip Code: Zip T39
Suite/Apt. #				Email:	ra	×
Census Tract:				Applicant's Name & Mai	line Address (If of	has then stated herein)
Section: Tax Map:0041	Area:	Lot:	19	Applicant's Mamor	ALLE MARKS	
Zoning: Map (			and a second	Address: City: Phone:	State: M	Zip Code: 02769 Hol \$67-9256
Existing Use: Single	Family			Email:		
Proposed Use:	with with 32 x.	32. 万和马北	iry Aldelia			ie days increases.
Estimated Construction Cost:	+ Lint July	Bung out	1	Contact Person:	la Vates	0. 0.1
Description of Work: 3014		Addition		Address: 6361	State MO	Zip Code: 20 764
on the 16's				License No.: 37	349	
um Shat				Phone: (410) 935	- 90,24 Fax:	412 867-9256
Occupant or Tenant:	10.000			Email: Wade	Yortes 690	Tahor, com
			17341-	Providence Parallelande Paralle	Asses	
Was tenant space previously of	SPECIES STREET, MARKEN ST	162	□No	Engineer/Architect Comp		
Contact Name: Chries		1		Responsible Design Prof.		
Address: 120004 8ca	Princets per	ANTE NO.	2.252	Address:	- 31 C	
City: _ Fulter		Zip Code:	<u>59171</u>	City:		
Phone: (301 807- 8				Phone:	Fax:	
Email:				Email:		
Commercial Building Charac	terístics Residentia	i Building Cha	racteristics	Utilitie	5	
Height		ng SF Town		Water Su	oply	
No. of stories: Gross area, sg. ft./floor:	1 <sup>st</sup> floor:		Width	D Public		
Cross died, surrey noor	2 <sup>nd</sup> floor:			E Private		
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Use group:	Finished	Basement .	3	Private	-	
ose group.	Crawl Spi			Electric: A Yes	D No	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
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## **Christina Toibero**

From:	Bernard, Dana <dbernard@howardcountymd.gov></dbernard@howardcountymd.gov>
Sent:	Thursday, February 07, 2013 11:35 AM
To:	Christina Toibero
Subject:	RE: Building PermitB12003903
Follow Up Flag:	Follow up

Any legible, standard size is fine. Place my name somewhere on the plans and drop the plans off to the secretary at the front counter. Let her know that the plans you are dropping off should be forwarded to me. I will not be in the office on Friday. However, when I return on Monday I will review the plans and give you a call.

From: Christina Toibero [mailto:chris4winwin@gmail.com] Sent: Thursday, February 07, 2013 11:21 AM To: Bernard, Dana Subject: RE: Building PermitB12003903

Flagged

Ms. Bernard,

Flag Status:

I have received the updated plans and the existing home plans for the property. I intend to have them printed today, is there a particular size sheet that you would prefer? I intend to drop these by your office tomorrow, do I need to attach anything or identify in some way for you?

Please let me know and thank you for your continued assistance.

From: Bernard, Dana [mailto:dbernard@howardcountymd.gov]
 Sent: Monday, February 04, 2013 10:24 AM
 To: Christina Toibero
 Subject: RE: Building PermitB12003903

Mrs. Toibero,

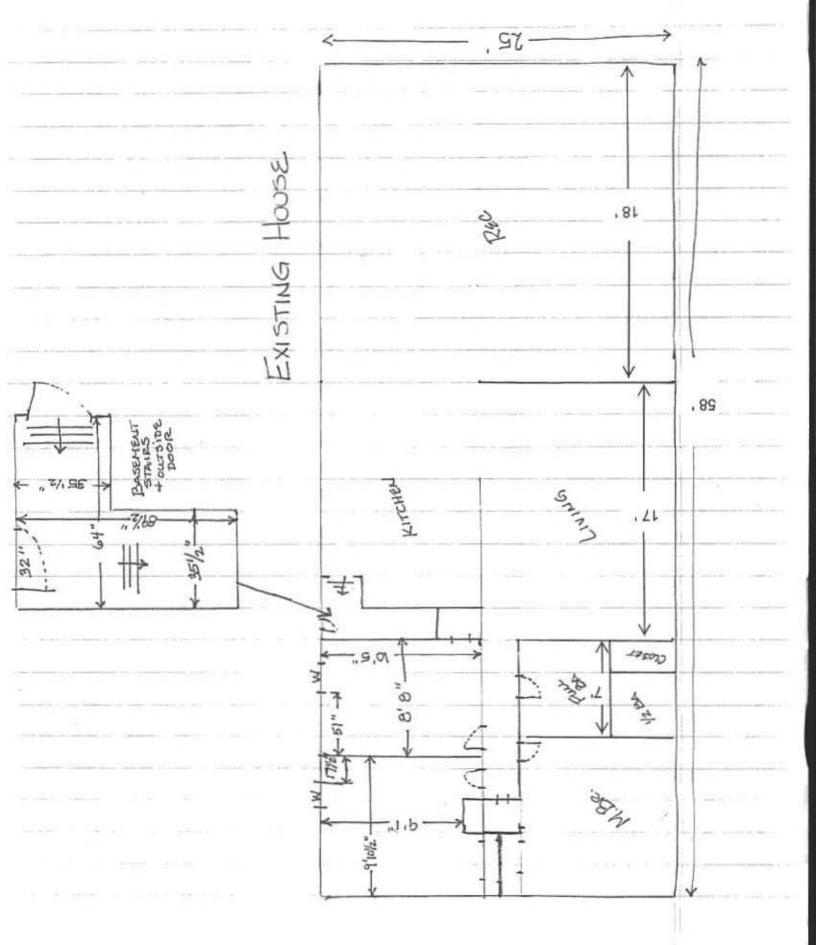
Christina Toibero

Before a final decision can be made about your project we must receive the total square footage of your existing house and proposed addition. And the revised proposed floor plans showing the revisions for the offices. The information that you have provided from our web site states "How to Design a Residential Septic System" and does not include the full explanation of our current code. Your system is over 40 years old and clearly passed the normal life of a septic system which is 20-30 years. Which does not necessarily mean that it is not in good condition. So, let's move forward with your percolation testing and evaluate the well on your property and your septic system. So have your septic contractor give me a call and we can schedule your percolation testing.

Thanks Dana Bernard From: Christina Toibero [mailto:chris4winwin@gmail.com] Sent: Monday, February 04, 2013 9:24 AM To: Bernard, Dana Subject: RE: Building PermitB12003903

Building Address:       12000 Secanse of the Armol.         Orr.       Follows       Store MD.       Sport Construction Construste Construction Construction Construst Const	HE	tote	1	Howard Count t of Inspections 3430 Court Hi Permits: 410- www.howardco	313-2455 untymd.gov	Date Receive	BIZ		
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## Bernard, Dana

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 From:
 Bernard, Dana

 Sent:
 Tuesday, June 18, 2013 11:12 AM

 To:
 'Christina Toibero'

 Subject:
 RE: Building PermitB12003903 - Toibero

 Attachments:
 12000 Scaggsville Road - Letter.docx

Good Morning Mrs. Toibero,

I have attached the corrected letter you requested. The development you have completed so far has brought you to the last stage which is the percolation certification stage. I must recommend that you submit a percolation certification plan to record all development you have completed on the property. If you submit a percolation certification plan and it is approved, (which I am quite sure it will be) this document will not have an expiration. This document will also be very valuable if you plan to transfer the property. The percolation certification plan will show how much the property can be developed. And if a potential buyer would like to expand, the percolation certification plan will have your buyer at the application stage. Without the percolation certification plan the potential buyer will have to submit a percolation certification and not a requirement. I just wanted to let you know what your options are and how completing this stage will greatly increase your house value.

Have a Great Day! If you have any additional questions don't hesitate to give me a call. Very Nice Working with you

Dana Bernard

From: Christina Toibero [mailto:chris4winwin@gmail.com] Sent: Monday, May 13, 2013 12:59 PM To: Bernard, Dana Subject: RE: Building PermitB12003903 - Toibero

Ms. Bernard,

I will be withdrawing all permit applications for 12000 Scaggsville Rd however before doing so I would like to have a corrected letter for the certification test for which we paid. I would appreciate your sending an updated letter with the correction as stated below. As I may be transferring the property I would also like to understand how long the certification is good for?

Thank you for your time and assistance with this process.

Christina Toibero 301.807.8223

From: Bernard, Dana [mailto:dbernard@howardcountymd.gov] Sent: Tuesday, March 19, 2013 9:31 AM To: Christina Toibero Subject: RE: Building PermitB12003903 - Toibero

Mrs. Toibero,

We discussed bringing your well up to grade and not drilling a new well. The information in the letter describes the upgrades needed. The report sheet unfortunately has an error on it. Only the dry well will need to be abandoned and not the well. If you have any additional questions don't hesitate to e-mail me or give me a call. Dana

From: Christina Toibero [mailto:chris4winwin@gmail.com] Sent: Thursday, March 14, 2013 2:57 PM To: Bernard, Dana Subject: RE: Building PermitB12003903 - Toibero

Dana,

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I wanted to touch base with you to verify whether or not some additional testing is going to be required. I really need to know this now and would appreciate your candor.

I spoke with Jeff and he wanted to know if I was sure all we were going to need to do was install the well pipe because you had mentioned to him the possibility of a new well drilling? I am not sure what this is about but I really need to have my eyes wide open here and would appreciate it if you would let me know now if there is potentially something else that I am going to need to do.

Please feel free to email me or call me on my cell to discuss if something else will be required beyond the well pipe & septic system installation.

Thank you,

Christina Toibero Cell 301.807.8223

From: Bernard, Dana [mailto:dbernard@howardcountymd.gov] Sent: Tuesday, February 19, 2013 4:44 PM To: Christina Toibero Subject: RE: Building PermitB12003903

Mrs. Toibero,

I have received the drawings and I have scheduled with Jeff of Hatfield's to perc on your property on February 26, 2013. If you have any additional questions don't hesitate to send me an e-mail.

Thanks Dana

From: Christina Toibero [mailto:chris4winwin@gmail.com] Sent: Tuesday, February 19, 2013 1:51 PM To: Bernard, Dana Subject: RE: Building PermitB12003903

Ms. Bernard,

I wanted to follow up that you had received the drawings I dropped off in the office on 2/8, the woman that took them stated she was taking them directly to your desk? Could you please let me know about how far out you are scheduled so I can understand when this might be moving forward? Thank you, Christina Toibero

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From: Bernard, Dana [mailto:dbernard@howardcountymd.gov] Sent: Thursday, February 07, 2013 11:35 AM To: Christina Toibero Subject: RE: Building PermitB12003903

Any legible, standard size is fine. Place my name somewhere on the plans and drop the plans off to the secretary at the front counter. Let her know that the plans you are dropping off should be forwarded to me. I will not be in the office on Friday. However, when I return on Monday I will review the plans and give you a call.

From: Christina Toibero [mailto:chris4winwin@gmail.com] Sent: Thursday, February 07, 2013 11:21 AM To: Bernard, Dana Subject: RE: Building PermitB12003903

Ms. Bernard,

I have received the updated plans and the existing home plans for the property. I intend to have them printed today, is there a particular size sheet that you would prefer? I intend to drop these by your office tomorrow, do I need to attach anything or identify in some way for you?

Please let me know and thank you for your continued assistance.

Christina Toibero

From: Bernard, Dana [mailto:dbernard@howardcountymd.gov] Sent: Monday, February 04, 2013 10:24 AM To: Christina Toibero Subject: RE: Building PermitB12003903

Mrs. Toibero,

Before a final decision can be made about your project we must receive the total square footage of your existing house and proposed addition. And the revised proposed floor plans showing the revisions for the offices. The information that you have provided from our web site states "How to Design a Residential Septic System" and does not include the full explanation of our current code. Your system is over 40 years old and clearly passed the normal life of a septic system which is 20-30 years. Which does not necessarily mean that it is not in good condition. So, let's move forward with your percolation testing and evaluate the well on your property and your septic system. So have your septic contractor give me a call and we can schedule your percolation testing.

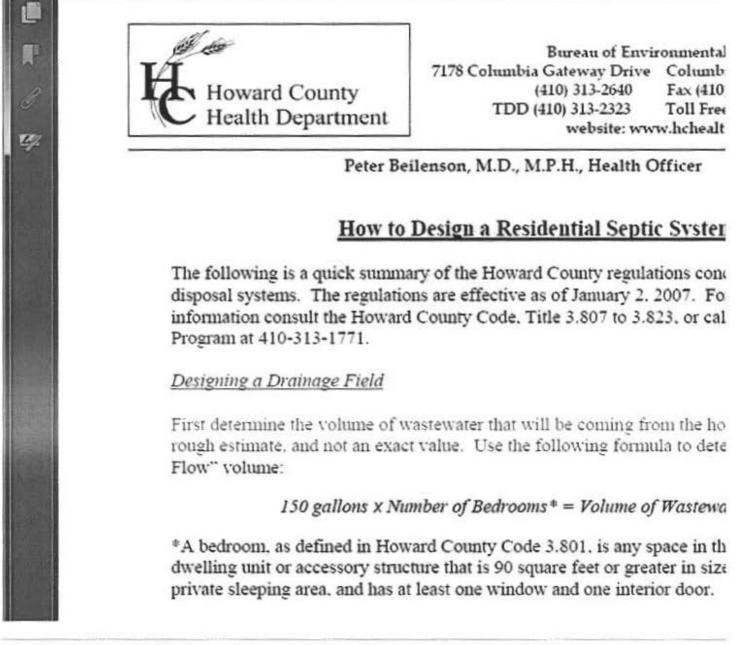
Thanks Dana Bernard

From: Christina Toibero [mailto:chris4winwin@gmail.com] Sent: Monday, February 04, 2013 9:24 AM To: Bernard, Dana Subject: RE: Building PermitB12003903

Ms Bernard,

I pulled this information and if the doors on the rooms are the problem we are prepared to have them removed, as this is home office space we do not require doors on the rooms. We are also prepared to add built-ins into the rooms as necessary to have them qualify as office space. I have contacted my septic company and the current size of the installed tank is 1,250. I did see where the total sq ft of the house is used to determine tank sizing. I would ask the question though if the tank has to be increased does that necessarily mean anything has to be done with the rest of the system or is that what the perc cert is for? Thank you for your time and assistance in this matter.

Christina Toibero



From: Bernard, Dana [mailto:dbernard@howardcountymd.gov] Sent: Monday, January 28, 2013 11:25 AM To: Christina Toibero Subject: RE: Building PermitB12003903 First, I need to know who is handling this project because I have been corresponding with the applicant, Mr. Yates. Mrs. Toibero, I will be glad to send you updates from here on out. Answers to your comments will be in blue.

 Prior to submitting the application we were told to make sure we submitted prior to Jan 1 and if we did the new law would not be a factor either way.

Information for grandfathering is on our website. In order to be grandfathered in, you must have **purchased** a septic permit before December 21<sup>st</sup>, 2012. Your application was submitted before the end of the year but supporting documents was not submitted until December 21<sup>st</sup> and those documents were needed to make a decision about your property. And at this time all documents needed to process your application has not been submitted. As stated in my December 19, 2012 I needed floor plans for the existing house and the proposed addition. On December 21<sup>st</sup> floor plans for the proposed addition was received in our office but we still have not received floor plans for the existing house. Therefore, processing your application cannot occur without these supporting documents.

Further, we are not adding any additional bedrooms to this structure we are only increasing the size of
one bedroom and converting a ½ bath to a full bath in the bedroom section of the home. We are
adding an additional bathroom with some office and rec space over the proposed garage, but I don't
understand since we are not proposing additional bedrooms or a change to the septic why this would
apply.

As I stated before, In order to give you a final review all supporting documents must be submitted. The letter I sent on January 24, 2012 requested supporting documents so I can determine if you need to upgrade your system or not. It has not been determined.

Thanks Mrs. Toibero I hope to hear from you soon. Dana Bernard Environmental Specialist II

From: Christina Toibero [mailto:chris4winwin@gmail.com] Sent: Friday, January 25, 2013 4:16 PM To: Bernard, Dana Cc: wadeyates69@yahoo.com Subject: FW: Building PermitB12003903

Ms. Bernard,

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I submitted the percolation certification in December 2012. I was unaware that we did not supply all needed information at the time the application was presented. I have attached the documents that are readily available and I need to better understand exactly what additional information is needed if these do not meet your needs.

Also, if you could clarify your statement "....Based on the information you have presented so far it appears as if you will fall into our category of the new laws implemented January 1, 2013. As of January 1, 2013 a person may not install or have installed an on-site sewage disposal system (OSDS) unless the OSDS utilizes Best Available Technology for any of the following: "

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  understand since we are not proposing additional bedrooms or a change to the septic why this would
  apply.

Thank you for your time.

Christina Toibero

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From: Wade Yates [mailto:wadeyates69@yahoo.com] Sent: Thursday, December 20, 2012 4:59 PM To: chris4winwin@gmail.com Subject: Fw: Building PermitB12003903

----- Forwarded Message -----From: "Bernard, Dana" <<u>dbernard@howardcountymd.gov</u>> To: "<u>WadeYates69@yahoo.COM</u>" <<u>WadeYates69@yahoo.COM</u>> Sent: Wednesday, December 19, 2012 2:49 PM Subject: Building PermitB12003903

Mr. Yates, I have attached a letter which contains information needed to process your building permit. If you have any questions, please don't hesitate to give me a call.

Dana Bernard Howard County Health Department



# Bernard, Dana

 From:
 Bernard, Dana

 Sent:
 Monday, January 28, 2013 11:25 AM

 To:
 'Christina Toibero'

 Subject:
 RE: Building PermitB12003903

First, I need to know who is handling this project because I have been corresponding with the applicant, Mr. Yates. Mrs. Toibero, I will be glad to send you updates from here on out. Answers to your comments will be in blue.

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understand since we are not proposing additional bedrooms or a change to the septic why this would
apply.

As I stated before, In order to give you a final review all supporting documents must be submitted. The letter I sent on January 24, 2012 requested supporting documents so I can determine if you need to upgrade your system or not. It has not been determined.

Thanks Mrs. Toibero I hope to hear from you soon. Dana Bernard Environmental Specialist II

From: Christina Toibero [mailto:chris4winwin@gmail.com] Sent: Friday, January 25, 2013 4:16 PM To: Bernard, Dana Cc: wadeyates69@yahoo.com Subject: FW: Building PermitB12003903

Ms. Bernard,

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Also, if you could clarify your statement "....Based on the information you have presented so far it appears as if you will fall into our category of the new laws implemented January 1, 2013. As of January 1, 2013 a person may not install or have installed an on-site sewage disposal system (OSDS) unless the OSDS utilizes Best Available Technology for any of the following: "

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  understand since we are not proposing additional bedrooms or a change to the septic why this would
  apply.

Thank you for your time.

Christina Toibero

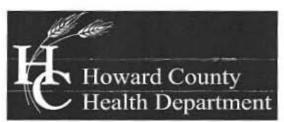
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From: Wade Yates [mailto:wadeyates69@yahoo.com] Sent: Thursday, December 20, 2012 4:59 PM To: chris4winwin@gmail.com Subject: Fw: Building PermitB12003903

----- Forwarded Message -----From: "Bernard, Dana" <<u>dbernard@howardcountymd.gov</u>> To: "<u>WadeYates69@yahoo.COM</u>" <<u>WadeYates69@yahoo.COM</u>> Sent: Wednesday, December 19, 2012 2:49 PM Subject: Building PermitB12003903

Mr. Yates, I have attached a letter which contains information needed to process your building permit. If you have any questions, please don't hesitate to give me a call.

Dana Bernard Howard County Health Department



Bureau of Environmental Health 7178 Columbia Gateway Drive, Columbia, MD 21046-2147 Main: 410-313-2640 | Fax: 410-313-2648 TDD 410-313-2323 | Toll Free 1-866-313-6300 www.hchealth.org Facebook: www.facebook.com/hocohealth

Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Acting Health Officer

### DATE: December 19, 2012

- TO: Yates Home Improvements, Inc. C/o Wade Yates- Via E-mail: WadeYates69@yahoo.COM
- RE: Building Permit # B12003903 12000 Scagsville Road Fulton, Maryland 20759

#### Mr. Yates,

Our department cannot verify percolation testing has been completed on your property and a septic easement has been established. Percolation testing will be required by the Howard County Health Department. After percolation testing is completed, a percolation certification plan will be required to update your records and process your building permit.

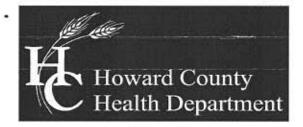
The Howard County Code (sec.3.0808) requires a Percolation Certification Plan for an increase in living space of 250sq.ft. This plan delineates the existing septic reserve area and reflects any proposed changes to the property. Requirements for this plan and percolation testing can be found on our web site: <u>www.hchealth.org</u>. Prior to building permit approval, an approved Percolation Certification Plan is required. Once you have completed percolation testing and submitted your Percolation Certification Plan and it is approved, it can serve as your building plan.

In addition, floor plans for the proposed addition and for the existing house must be submitted for review. A revised building plan showing the exact location of the existing structures such as wells, septic easements, septic reserve areas, and other septic system components such as septic tank, dry wells and distribution boxes must be submitted. Your building permit will be placed "on hold" until all Health Dept. requirements are met. If you have any questions or correspondence, I can be reached at the above address or by telephone at (410) 313-2775.

Respectfully

Dana Bernard, REHS/RS Environmental Sanitarian II Bureau of Environmental Health Phone (410) 313-2775 E-mail: <u>DBernard@howardcountymd.gov</u>

cc: Well & Septic program file



Bureau of Environmental Health

7178 Columbia Gatewat Drive, Columbia, MD 21046-2147 Main: 410-313-2640 | Fax: 410-313-2648 TDD 410-313-2323 | Toll Free 1-866-313-6300 www.hchealth.org Facebook: www.facebook.com/hocohealth Twitter: HowardCoHealthDep

#### Maura J. Rossman, M.D., Acting Health Officer

DATE: January 24, 2013

TO: Yates Home Improvements, Inc. C/o Wade Yates (Applicant) Via E-mail: WadeYates69@yahoo.com

RE: Building Permit # B12003903

Mr. Yates:

I have received floor plans for the proposed addition and other supporting documents. However, I am still waiting for the floor plans for the existing house to complete my review. All reviews must be completed prior to percolation testing. My final review will help to determine the sizing of the system needed to support your existing house and proposed addition. Based on the information you have presented so far it appears as if you will fall into our category of the new laws implemented January 1, 2013. As of January 1, 2013 a person may not install or have installed an on-site sewage disposal system (OSDS) unless the OSDS utilizes Best Available Technology for any of the following:

1. New construction in either the Chesapeake Bay Watershed or the Atlantic Coast watershed;

2. New construction in any watershed of a nitrogen impaired body of water; or

3. A replacement system to serve a property in the Chesapeake Bay critical area or the Atlantic Coastal critical areas.

After the final review you may be required to install if your property falls under the category of new construction which includes the construction of an OSDS for a new home or non-residential building. New construction also includes any alteration to an existing home that requires a building permit review by the Health Department and the existing OSDS is not adequate and needs to be upgraded. Additions where the existing OSDS is adequate will not require the installation of Best Available Technology. The review of the existing OSDS includes the following:

- 1. Tank adequately sized and of water tight construction;
- 2. Absorption system is adequately sized; and
- 3. System is properly designed and not a public health concern.

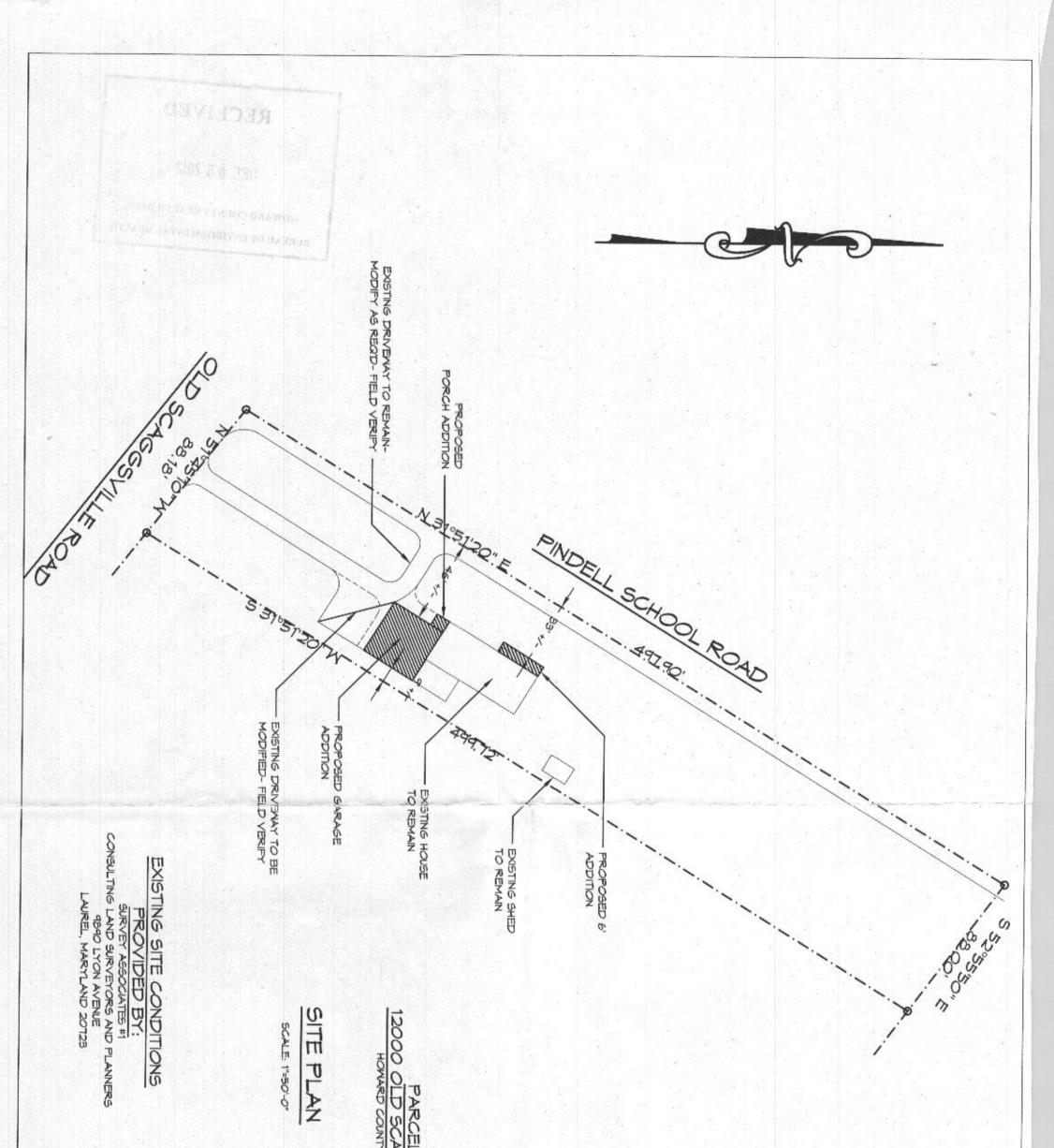
Please see the Howard County Health Department website, Bureau of Environmental Health Well and Septic Program page for a link to the Maryland Department of the Environment list of approved BAT systems. There is also a link to information on the Bay Restoration Fund; however BRF funding is currently not available for new construction. BAT site plan requirements are available on the same page.

Your building permit will be placed "on hold" until all Howard County Health Department requirements are met. If you have any questions or correspondence, I can be reached at the above address or by telephone at (410) 313-2775.

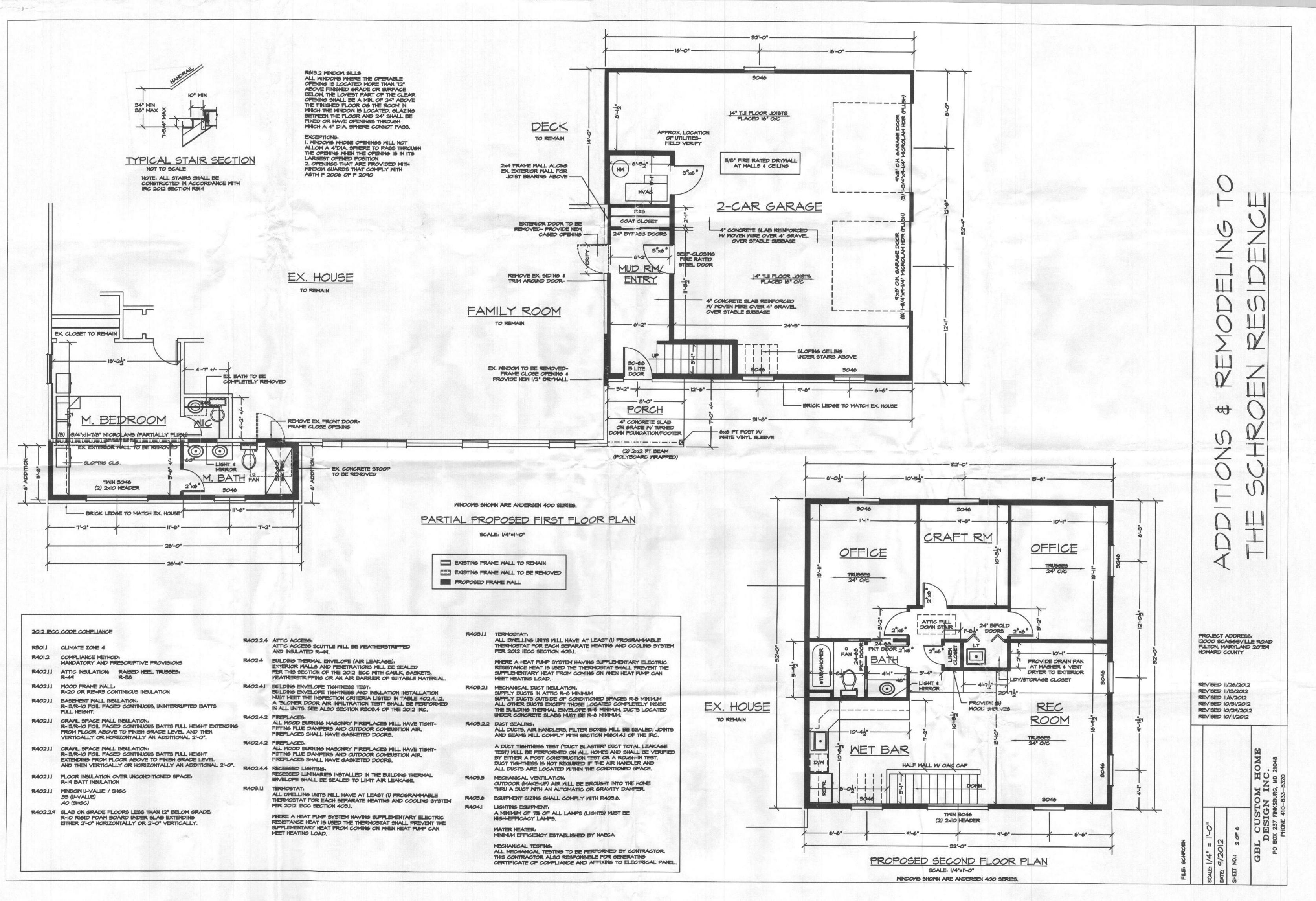
**Bespectfully**, ana Temar

Dana Bernard, REHS/RS Environmental Specialist II Bureau of Environmental Health Well and Septic Program Phone (410) 313-2775 E-mail: DBernard@howardcountymd.gov

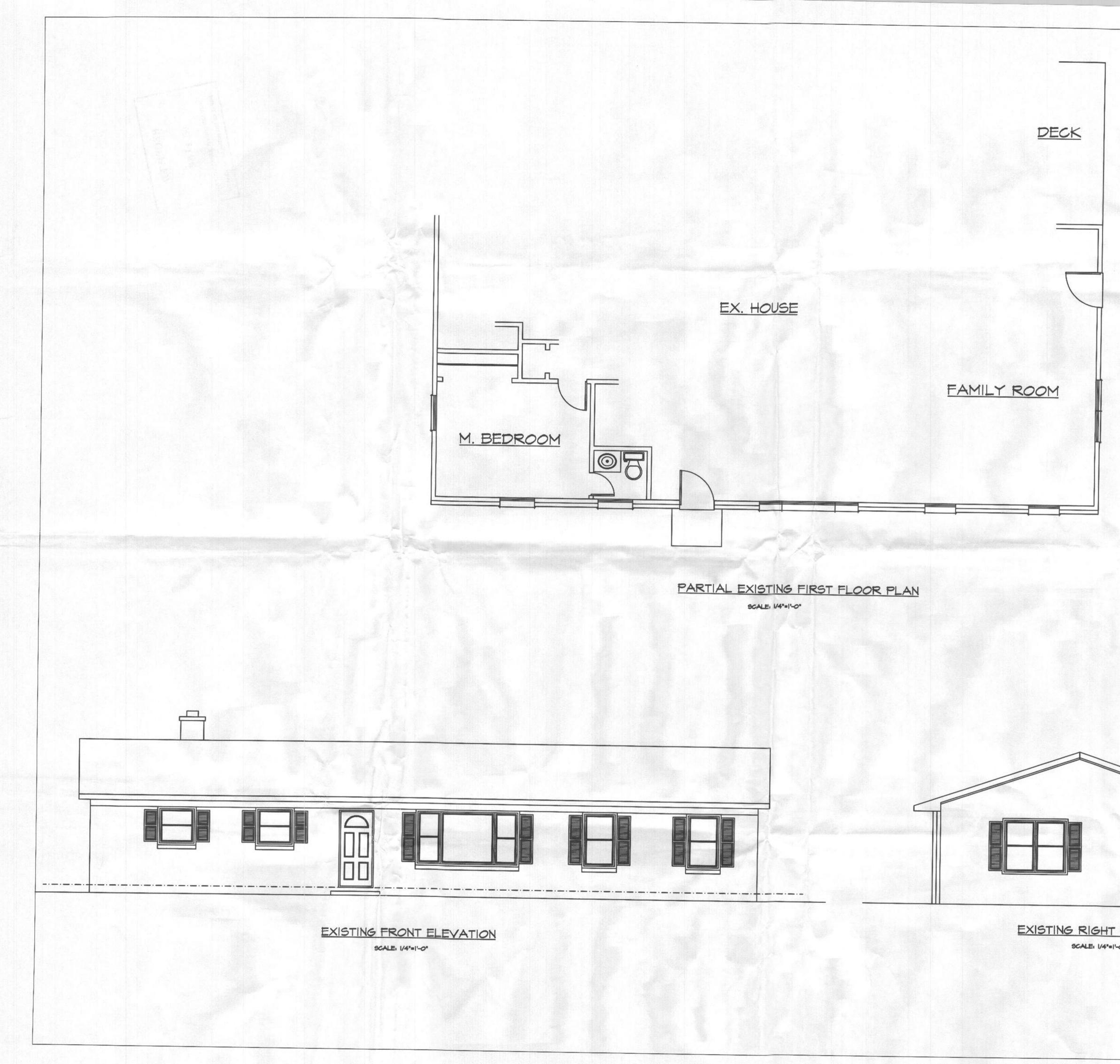
cc: Well & Septic program file



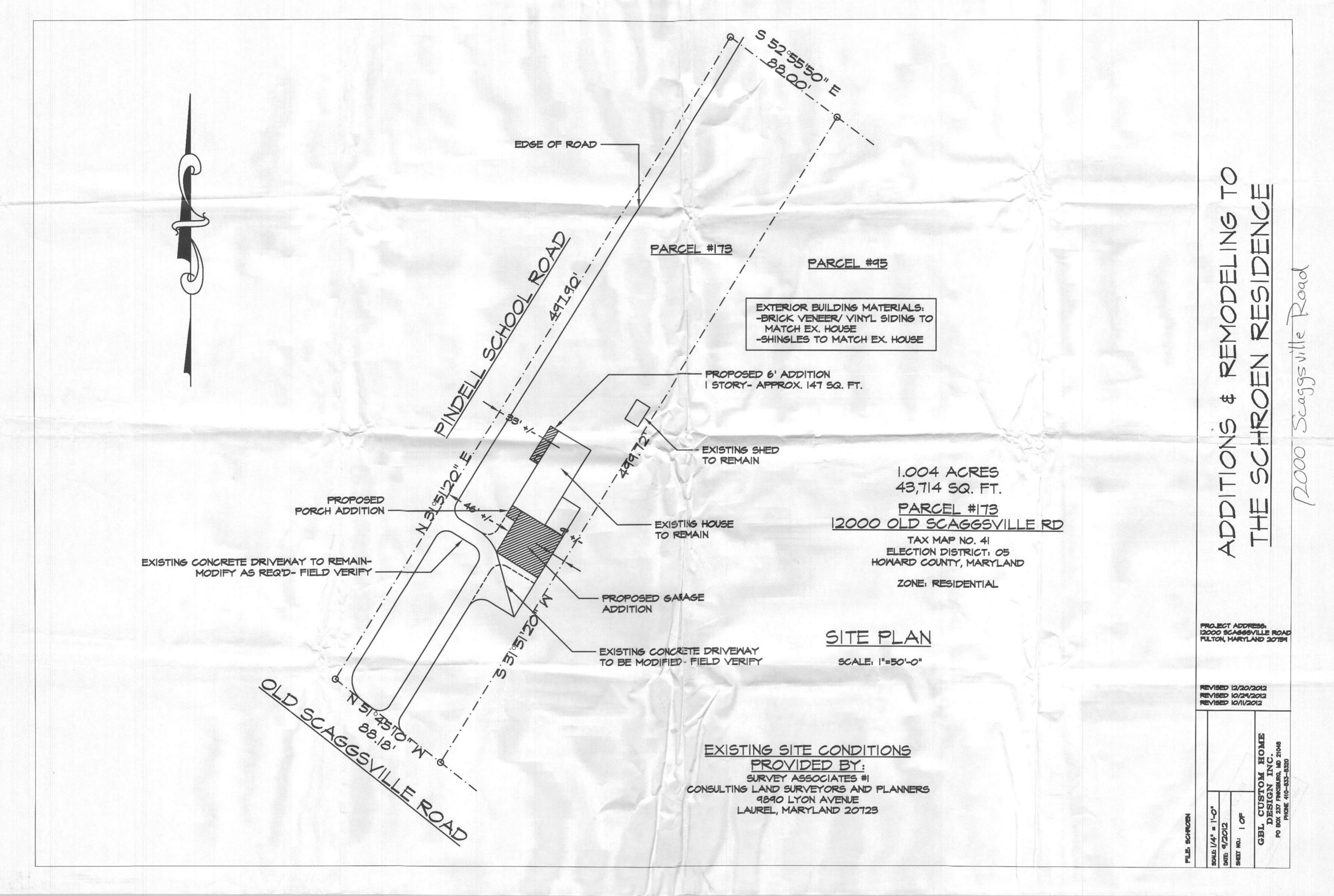
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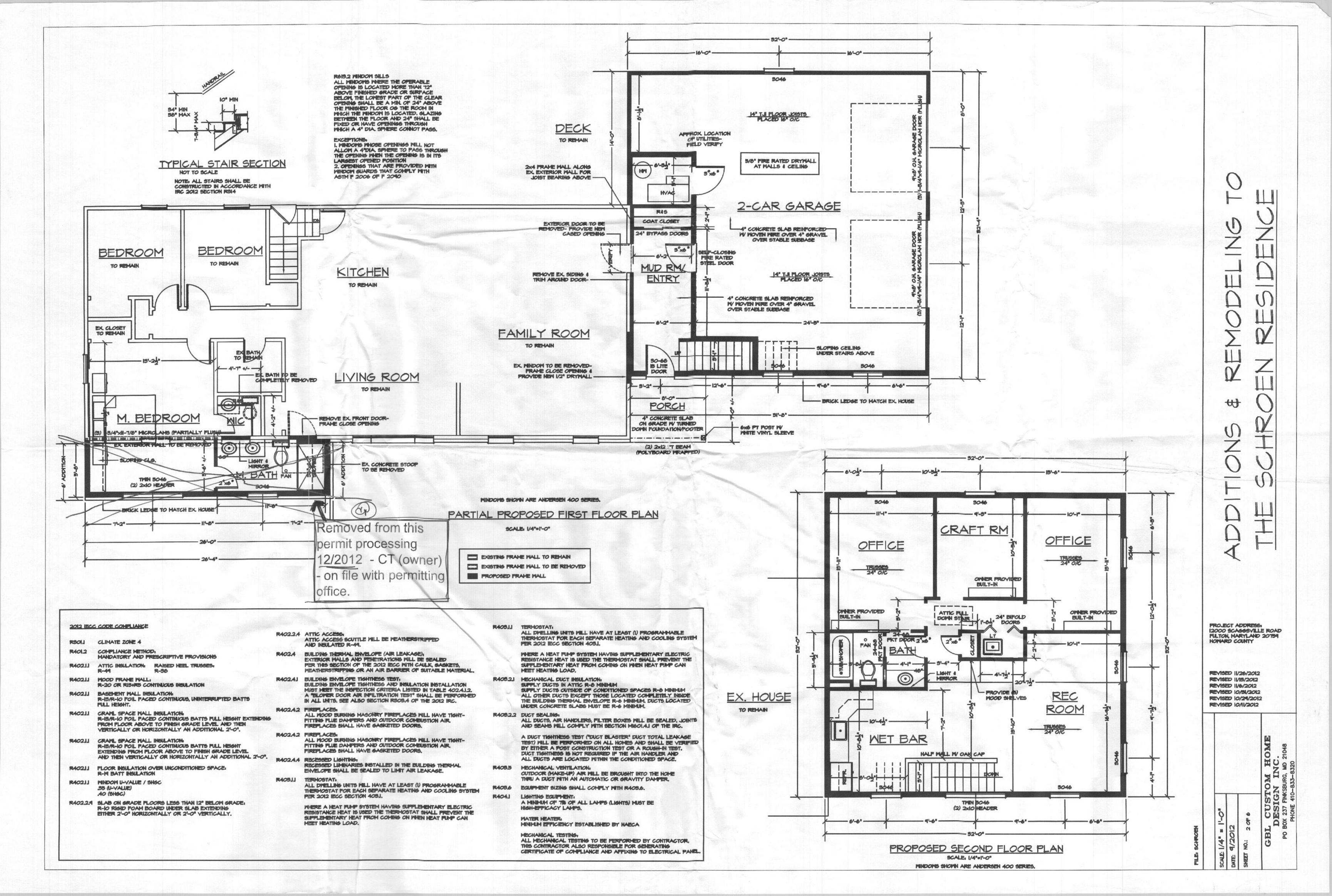


2012 IECC	CODE COMPLIANCE			
<b>RSOI.</b>	CLIMATE ZONE 4		R402.2.4	ATTIC ACCESS ATTIC ACCESS SCUTTLE WILL BE MEATHERSTRIPPED AND INSULATED R-49.
R4012	COMPLIANCE METHON MANDATORY AND PR	Di RESCRIPTIVE PROVISIONS	R402.4	EVILDING THERMAL ENVELOPE (AIR LEAKAGE), EXTERIOR WALLS AND PENETRATIONS WILL BE SEALED
R402.1.1	ATTIC INSULATION: R-44	RAISED HEEL TRUSSES		PER THIS SECTION OF THE 2012 IECC WITH CAULK, GASKETS, WEATHERSTRIPPING OR AN AIR BARRIER OF SUITABLE MATERI.
R402.1.1	HOOD FRAME HALL: R-20 OR RISHRS CO	NTINUOUS INSULATION	R402.4.1	BUILDING ENVELOPE TIGHTNESS AND INSULATION INSTALLATION
R402.1.1	BASEMENT MALL INS R-IS/R-IO FOIL FACE FULL HEIGHT.	ULATION: 20 CONTINUOUS, UNINTERRUPTED ISATTS		MUST MEET THE INSPECTION CRITERIA LISTED IN TABLE 402.4.1 A "SLOWER DOOR AIR INFILTRATION TEST" SHALL BE PERFORI IN ALL UNITS. SEE ALSO SECTION REOS.4 OF THE 2012 IRC.
R402.1.1	CRAME SPACE MALL R-IS/R-IO FOIL FACE FROM FLOOR ABOVE	NOULATION: CONTINUOUS BATTS FULL HEIGHT EXTENDING TO FINISH GRADE LEVEL AND THEN RIZONTALLY AN ADDITIONAL 2'-0".	a de la compansión de la c	FIREPLACES: ALL WOOD BURNING MASONRY FIREPLACES WILL HAVE TIGHT- FITTING FLUE DAMPERS AND OUTDOOR COMBUSTION AIR. FIREPLACES SHALL HAVE GASKETED DOORS.
R402.1.1	CRAML SPACE MALL R-13/R-10 FOIL FACE EXTENDING FROM FL	D CONTINUOUS BATTS FULL HEIGHT COR ABOVE TO FINISH GRADE LEVEL	R402.4.2	FIREPLACES: ALL WOOD BURNING MASONRY FIREPLACES WILL HAVE TIGHT- FITTING FLUE DAMPERS AND OUTDOOR COMBUSTION AIR. FIREPLACES SHALL HAVE GASKETED DOORS.
R402.1.1		Ly or horizontally an additional 2'-0". Wer unconditioned space:	R402.4.4	RECESSED LIGHTING. RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE.
R402.1.1	MINDOW U-VALUE / S .95 (U-VALUE) .40 (SHSC)		R408.1.1	TERMOSTAT. ALL DWELLING UNITS WILL HAVE AT LEAST (I) PROGRAMMABLE THERMOSTAT FOR EACH SEPARATE HEATING AND COOLING SYS FER 2012 IECC SECTION 403.1.
R402.2.9	R-IO RIGID FOAM BO	DORS LESS THAN 12" BELOW GRADE. DARD UNDER SLAB EXTENDING NTALLY OR 2'-0" VERTICALLY.		WHERE A HEAT FUMP SYSTEM HAVING SUPPLEMENTARY ELECTR RESISTANCE HEAT IS USED THE THERMOSTAT SHALL PREVENT T SUPPLEMENTARY HEAT FROM COMING ON WHEN HEAT FUMP CAN MEET HEATING LOAD.



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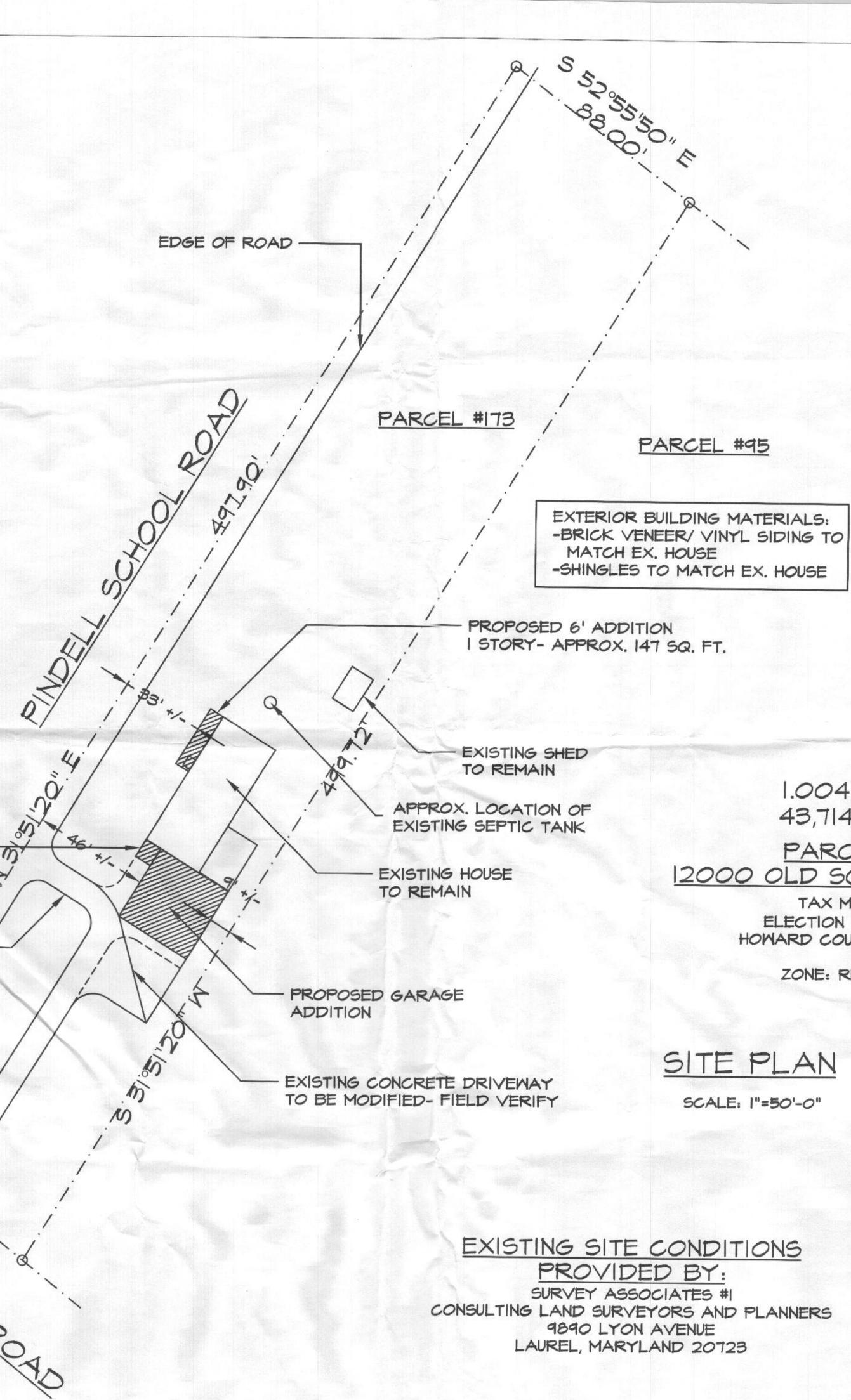
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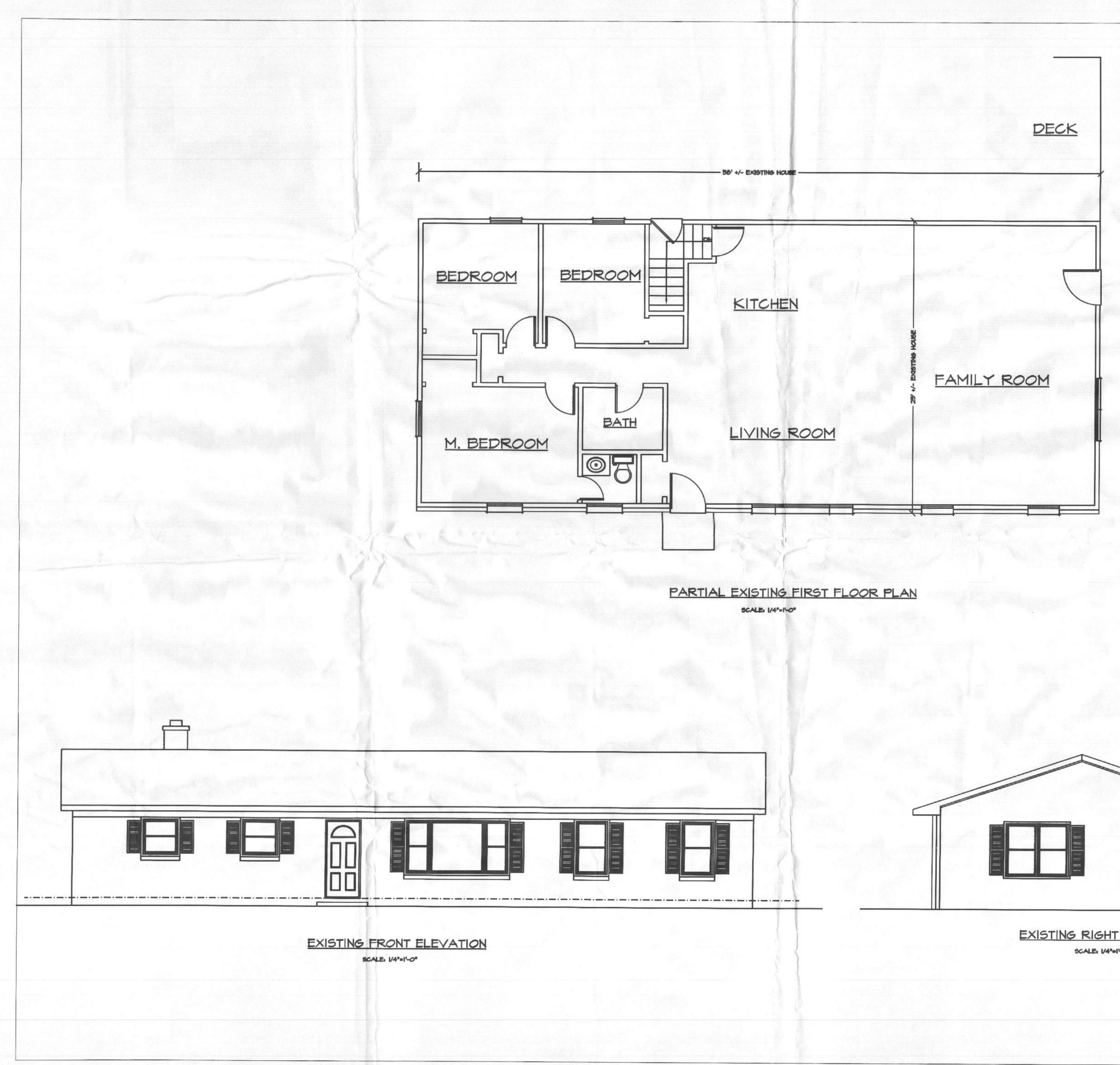
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EXISTING CONCRETE DRIVEWAY TO REMAIN-MODIFY AS REQ'D- FIELD VERIFY -

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		ONS & REMODELING TO	CHROEN RESIDENCE	
CRES Q. FT. <u>#173</u> <u>SGSVILLE R</u> 0. 41 RICT: 05 MARYLAND ENTIAL	PROJ	ECT ADDR		
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