



Building Permit Application
 Howard County Maryland
 Department of Inspections, Licenses and Permits
 3430 Court House Drive
 Permits: 410-313-2455
 www.howardcountymd.gov

Date Received: DILP 2016 AUG 2 AM 9:14

Permit No.: B16003407

Building Address: 1266 Sugar Maple Drive
 City: Mariottsville State: MD Zip Code: 21104
 Suite/Apt. # _____ SDP/WP/BA #: _____
 Census Tract: _____ Subdivision: 0000
 Section: _____ Area: _____ Lot: 8
 Tax Map: 0010 Parcel: 0226 Grid: 0010
 Zoning: _____ Map Coordinates: _____ Lot Size: 1.01 AC

Property Owner's Name: Edward & Jessica Fitter
 Address: 1266 Sugar Maple Drive
 City: Mariottsville State: MD Zip Code: 21104
 Phone: 443-865-3307 Fax: _____
 Email: jessica.fitter@yahoo.com
 Applicant's Name & Mailing Address, (if other than stated herein)
 Applicant's Name: SAME AS ABOVE
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Existing Use: driveway
 Proposed Use: garage
 Estimated Construction Cost: \$ 30,000
 Description of Work: attached garage addition
24'8" x 32'0"

Contractor Company: D & D Haines
 Contact Person: Dave Haines
 Address: 3810 Black Rock Road
 City: Upperco State: MD Zip Code: 21155
 License No.: 23000
 Phone: 410-239-6073 Fax: _____
 Email: _____

Occupant or Tenant: _____
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Engineer/Architect Company: Carballo Architecture
 Responsible Design Prof.: Adam Carballo
 Address: 1818 Aliceanna Street
 City: Baltimore State: MD Zip Code: 21231
 Phone: 443-745-1100 Fax: _____
 Email: adamcarballo@yahoo.com

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 st floor:	
	2 nd floor:	
Area of construction (sq. ft.):	Basement:	
	<input type="checkbox"/> Finished Basement	
Use group:	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
Construction type:	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:	
<input type="checkbox"/> Structural Steel	Multi-family Dwelling	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No	
Heating System	
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: _____ Print Name: Edward Fitter
 Email Address: EMFitter@gmail.com Date: July 31, 2016
 Title/Company: _____

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 FOR OFFICE USE ONLY

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health		

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side SL:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ <u>25.00</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check #	<u>3354</u>

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

**COMPLETE THIS FORM WHEN DROPPING OFF ANY
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 8/25/16

To: Robert Freeman - Health Dept
(Person's Name and Division)

From: Edward F. Hurr (443) 865-3307
(Your Name, Company Name and Telephone Number)

Subject: Project name _____
Project site address 1266 Sugar Maple Dr
Permit # B16003407 SDP # _____
Other information pertinent to this project _____

- Please check the attachments below that you are submitting with this transmittal:
- Letter of response to address plan review comment letter
 - Revised plans and/or revised details: When submitting for a complete re-review, **duplicate sets shall be submitted.**
 - Letter Summarizing Changes
 - Energy conservation calculations
 - Copies of REVISED PLOT PLAN (be specific).
 - Health Department Request DPZ/ DED Request Applicant's Request
 - Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # _____
 - Other _____

Contact Person Information: (Required)

Edward F. Hurr Telephone No: 443-865-3307
Please Print Name E-Mail Address: EMF.hurr@gmail.com

PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

Received by E. Hurr

CC: PLAN REVIEW **RECEIVED**

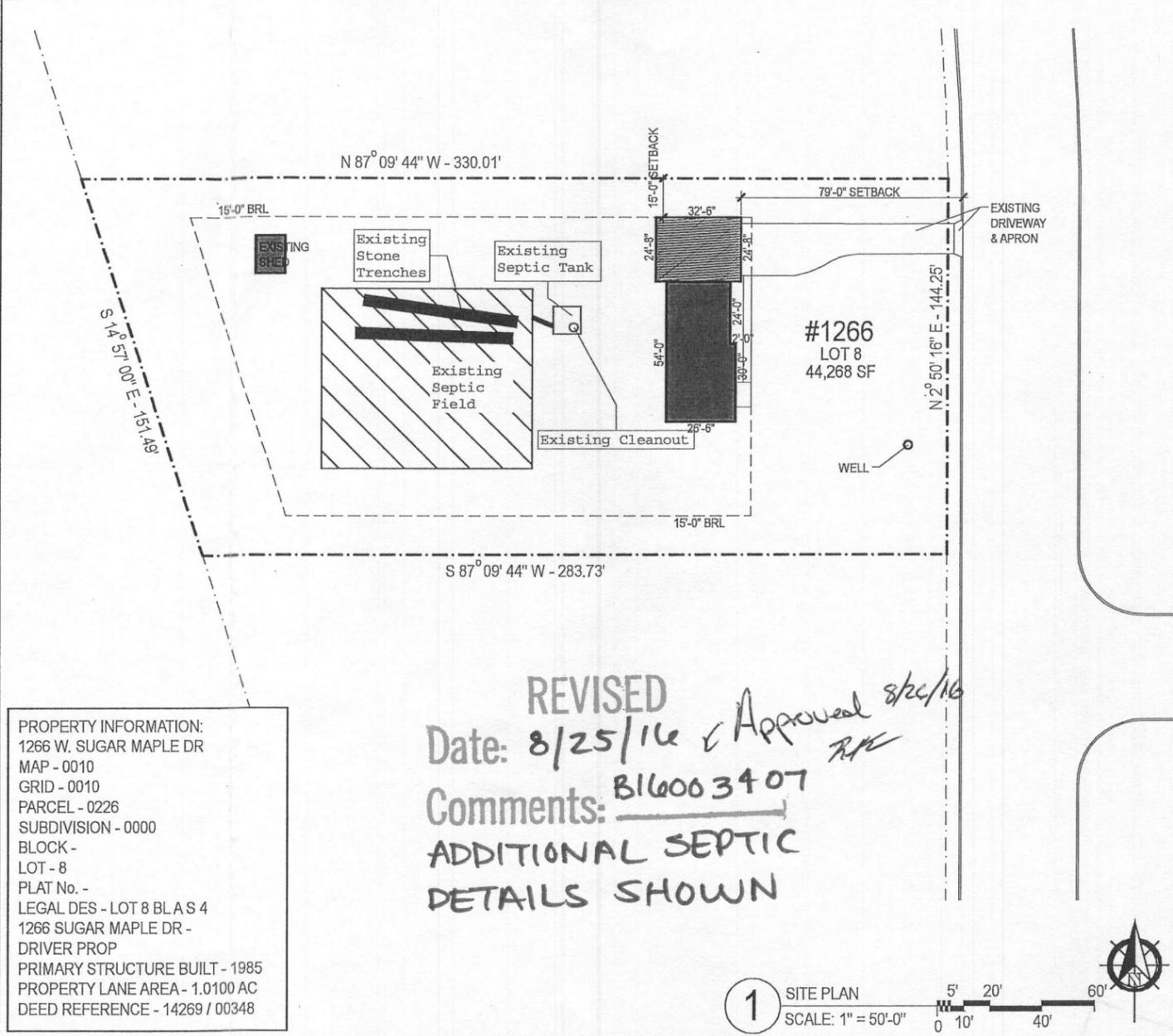
AUG 25 2016

LICENSES & PERMITS
DIVISION

2015 IECC CODE COMPLIANCE

R301.1	CLIMATE ZONE 4	R403.1.1	THERMOSTAT ALL DWELLING UNITS WILL HAVE AT LEAST ONE (1) PROGRAMMABLE THERMOSTAT FOR EACH SEPARATE HEATING AND COOLING SYSTEM AS PER 2012 IECC SECTION 403.1.1. WHERE A HEAT PUMP SYSTEM HAVING SUPPLEMENTARY ELECTRIC RESISTANCE HEAT IS USED THE THERMOSTAT SHALL PREVENT THE SUPPLEMENTARY HEAT FROM COMING ON WHEN HEAT PUMP CAN MEET HEATING LOAD.
R401.2	COMPLIANCE METHOD: MANDATORY AND PRESCRIPTIVE PROVISIONS	R403.2.1	MECHANICAL DUCT INSUL SUPPLY DUCTS IN ATTIC = R-8 MIN SUPPLY DUCTS OUTSIDE CONDITIONED SPACES = R-8 MIN ALL OTHER DUCTS EXCEPT THOSE LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE = R-8 MIN. DUCTS LOCATED UNDER CONCRETE SLABS = R-8 MIN
R402.1.1	ATTIC INSULATION = R-49 RAISED HEEL TRUSSES = R-38	R403.2.2	DUCT SEALING ALL DUCT, AIR HANDLERS, FILTER BOXES WILL BE SEALED. JOINTS AND SEAMS WILL COMPLY WITH SECTION M1501.41 OR THE IRC. A DUCT TIGHTNESS TEST (DUCT BLASTER - DUCT TOTAL LEAKAGE TEST) WILL BE PERFORMED ON ALL HOMES AND SHALL BE VERIFIED BY EITHER A POST CONSTRUCTION TEST OR A ROUGH IN TEST. DUCT TIGHTNESS TEST IS NOT REQUIRED IF THE AIR HANDLER AND ALL DUCTS ARE LOCATED WITHIN CONDITIONED SPACE
R402.1.1	WOOD FRAME WALL: R-20 OR R-13 PLUS R5 CONT INSUL	R403.5	MECHANICAL VENTILATION OUTDOOR, MAKE UP, AIR WILL BE BROUGHT INTO THE HOME THRU A DUCT WITH AN AUTOMATIC OR GRAVITY DAMPER
R402.1.1	BASEMENT WALL INSULATION: R-13 / R-10 FOIL FACED CONT., UNINTERRUPTED BATTS FULL HEIGHT	R403.6	EQUIPMENT SIZING SHALL COMPLY WITH R403.6
R402.1.1	CRAWL SPACE WALL INSUL: R-13/R-10 FOIL FACED CONT. BATTS FULL HEIGHT EXTENDING FROM FLOOR ABOVE TO FINISH GRADE LEVEL AND THEN VERT OR HORT AN ADDITIONAL 2'-0"	R404.1	LIGHTING EQUIPMENT A MINIMUM OF 75% OF ALL LAMPS (LIGHTS) MUST BE HIGH-EFFICIENCY LAMPS. WATER HEATER: MIN EFFICIENCY ESTABLISHED BY NAECA. MECHANICAL TESTS: ALL MECHANICAL TESTING TO BE PERFORMED BY LICENSED TESTING AS PER IRC & IMC.
R402.1.1	FLOOR INSULATION OVER UNCONDITIONED SPACE = R-19 BATT INSUL		
R402.1.1	WINDOW U-VALUE / SHGC .35 (U-VALUE), .40 (SHGC)		
R402.2.9	SLAB ON GRADE FLOORS LESS THAN 12" BELOW GRADE: R-10 RIGID FOAM BOARD UNDER SLAB EXTENDING EITHER 2'-0" HORT / VERT. ATTIC ACCESS:		
R402.2.4	ATTIC ACCESS SCUTTLE WILL BE WEATHERSTRIPPED AND INSULATED R-49		
R402.4	BUILDING THERMAL ENVELOPE (AIR LEAKAGE) EXTERIOR WALLS AND PENETRATIONS WILL BE SEALED PER THIS SECTION OF THE 2012 IECC WITH CAULK, GASKETS, WEATHER STRIPPING OR AN AIR BARRIER OF SUITABLE MATERIAL		
R402.4.1	BUILDING ENVELOPE TIGHTNESS TEST: BUILDING ENVELOPE TIGHTNESS AND INSUL INSTALLATION MUST MEET THE INSPECTION CRITERIA LISTED IN TABLE 402.4.1.2. A BLOWER DOOR AIR INFILTRATION TEST SHALL BE PERFORMED IN ALL UNITS SEE ALSO SECTION R303.4 OF THE 2012 IRC		
R402.4.2	ALL WOOD BURNING MASONRY FIREPLACES WILL HAVE TIGHT-FITTING FLUE DAMPERS AND OUTDOOR COMBUSTION AIR. FIREPLACES SHALL HAVE GASKETED DOORS		
R402.4.4	RECESSED LIGHTING RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE		

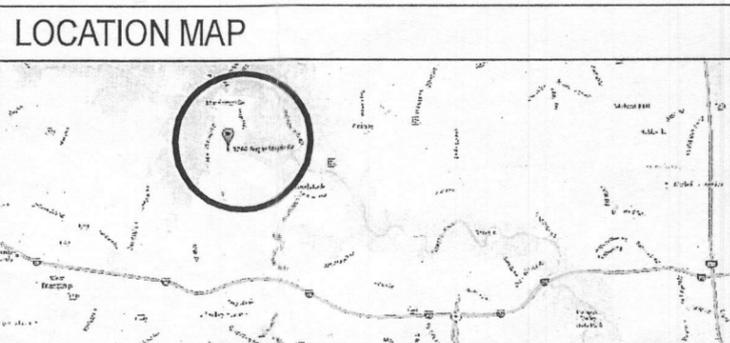
APPLICABLE CODES	STRUCTURAL NOTES
<p>BUILDING CODES Building Code - 2015 International Building Code - Adopted / Amended by Howard County (Effective Date: June 9, 2015)</p> <p>One & Two Family Dwelling Code - 2015 International Residential Code - Adopted / Amended by Howard County (Effective Date: June 9, 2015)</p> <p>Mechanical Code - 2015 International Mechanical Code - Adopted / Amended by Howard County (Effective Date: June 9, 2015)</p> <p>Energy Code - 2015 International Energy Conservation Code - Adopted / Amended by Howard County (Effective Date: June 9, 2015)</p> <p>Life Safety - The Life Safety Code - 2015 Edition - Adopted / Amended by Howard County (Effective Date: June 9, 2015)</p> <p>Plumbing Code - 2009 National Standard Plumbing Code - Adopted / Amended by Howard County (Effective Date: May 4, 2010)</p> <p>Electrical Code - 2014 National Electric Code with Local Amendments (NPPA 70) as Adopted by Howard County (Effective Date: June 9, 2015)</p> <p>Fuel Gas - 2009 National Fuel Gas Code (NFPA 54) - Adopted / Amended by Howard County (Effective Date: May 4, 2010)</p> <p>Property Maintenance - 2006 International Property Maintenance Code - Adopted / Amended by Howard County (Effective Date: January 2, 2007)</p>	<p>Live Loads: Floor 40psf / Roof 40 psf / Sleeping Rooms 30psf</p> <p>Construction Safety: Loads greater than the applicable design loads shall not be placed on the structure. Provisions shall be made for adequate bracing and support of adjacent construction, utilities and excavations. Job site safety and construction procedures are the responsibility of the Contractor.</p> <p>Foundation Bearing: Assumed at 2,000 psf. Field verification shall be made by a qualified Soils Engineer prior to placing foundations. If excavation shows soil to be other than assumed, foundations will be subject to redesign.</p> <p>Foundations: All foundations shall be placed on undisturbed soil not less than 1'-0" below existing grade, nor less than 2'-6" below adjacent finish exterior grade. Utility lines shall not be placed through or below foundations without the Structural Engineer's approval. Maintain 1:2 slope from the bottom edge of footing to the bottom of any adjacent excavation. All excavations shall be approved by proper authorities prior to the placing of foundations.</p> <p>Concrete: Shall be mixed and placed in accordance with the current "American Concrete Institute (ACI) Building Code Requirements for reinforced concrete". A copy of this code shall be available on the project at all times. All concrete to have a compressive strength (f_c) of 3,000 psi, unless otherwise noted. All concrete exposed to the weather to have a compressive strength of f_c = 4,000 psi (air entrained).</p> <p>Framing Lumber: All framing, including floor and roof sheathing, shall be in accordance with the standards and specifications of the American Institute of Timber Construction (AITC). Framing lumber shall be as follows: rafters & joists - Hem Fir #2 F5 = 1,000 psi (single), E=1,400 ksi, studs-stud grade lumber. All lumber shall be graded in accordance with the applicable grading rules and shall be surfaced on four sides. Members shall be set with crown up and have a minimum of 4" bearing on masonry. Member framing anchors, unless otherwise noted or shown. All joists and rafters shall be rigidly bridged at intervals not exceeding 8 feet with metal bridging. Unless otherwise noted, all studs in bearing walls to be bridged (with solid members) at mid-height.</p>



PROPERTY INFORMATION:
 1266 W. SUGAR MAPLE DR
 MAP - 0010
 GRID - 0010
 PARCEL - 0226
 SUBDIVISION - 0000
 BLOCK -
 LOT - 8
 PLAT No. -
 LEGAL DES - LOT 8 BLA S 4
 1266 SUGAR MAPLE DR -
 DRIVER PROP
 PRIMARY STRUCTURE BUILT - 1985
 PROPERTY LANE AREA - 1.0100 AC
 DEED REFERENCE - 14269 / 00348

REVISED
 Date: 8/25/16 & Approved s/c/16
 Comments: B16003407
 ADDITIONAL SEPTIC
 DETAILS SHOWN

1266 W. SUGAR MAPLE DRIVE
 MARRIOTTSVILLE, MD 21104
 ATTACHED GARAGE ADDITION



LEGEND
NOT IN SCOPE
EXISTING EXTERIOR PARTITION

DRAWING LIST
0000-G=G1 TITLE SHEET & SITE PLAN
0001-AD=AD1 FIRST FLOOR & ROOF DEMOLITION PLAN
0002-S=S1 FOUNDATION / ROOF FRAMING PLAN
0003-S=S2 WALL BRACING DIAGRAM & DETAILS
0004-A=A1 FIRST FLOOR & ROOF PLAN
0005-A=A2 ELEVATIONS
0006-A=A3 TYPICAL DETAILS & SECTION

CONSTRUCTION TYPE: Type 5B - Wood Framed, Unprotected	IBC USE GROUP: Type R-3 (Single Family Home)
1266 SUGAR MAPLE DR - SITE PLAN DISTRICT 03 - ACCOUNT NUMBER 284441 ATTACHED GARAGE ADDITION SCALE: 1" = 50'-0"	OWNER: EDWARD & JESSICA FITTER
CLIENT MR. NED FITTER	OWNER ADDRESS: 1266 SUGAR MAPLE DR - MARRIOTTSVILLE, MD 21104
ARCHITECT ADAM CARBALLO, ARCHITECT MD LIC# 15709 443-745-1100	PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED ARCHITECT UNDER THE ARCHITECTURE ACT OF THE STATE OF MARYLAND, LICENSE NUMBER 15709, EXPIRATION DATE 3/27/2017. CONTRACT DOCUMENTS HAVE BEEN PREPARED BY A LICENSED ARCHITECT FOR ARCHITECTURE DESIGN. MD Lic # 15709.

ISSUED FOR PERMIT
0000-G=G1
 TITLE SHEET & SITE PLAN
 1266 W. SUGAR MAPLE DR
 JOB # 16-151
 JUNE 2016

2015 IECC CODE COMPLIANCE

R301.1	CLIMATE ZONE 4	R403.1.1	THERMOSTAT ALL DWELLING UNITS WILL HAVE AT LEAST ONE (1) PROGRAMMABLE THERMOSTAT FOR EACH SEPARATE HEATING AND COOLING SYSTEM AS PER 2015 IECC SECTION 403.1. WHERE A HEAT PUMP SYSTEM HAVING SUPPLEMENTARY ELECTRIC RESISTANCE HEAT IS USED THE THERMOSTAT SHALL PREVENT THE SUPPLEMENTARY HEAT FROM COMING ON WHEN HEAT PUMP CAN MEET HEATING LOAD.
R401.2	MANDATORY AND PRESCRIPTIVE PROVISIONS	R403.2.1	MECHANICAL DUCT INSULATION SUPPLY DUCTS IN ATTIC = R-8 MIN SUPPLY DUCTS OUTSIDE CONDITIONED SPACES = R-8 MIN ALL OTHER DUCTS EXCEPT THOSE LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE = R-6 MIN. DUCTS LOCATED UNDER CONCRETE SLABS = R-8 MIN
R402.1.1	ATTIC INSULATION = R-49	R403.2.2	DUCT SEALING ALL DUCT, AIR HANDLERS, FILTER BOXES WILL BE SEALED. JOINTS AND SEAMS WILL COMPLY WITH SECTION M1691.41 OR THE IRC. A DUCT TIGHTNESS TEST (DUCT BLASTER - DUCT TOTAL LEAKAGE TEST) WILL BE PERFORMED ON ALL HOMES AND SHALL BE VERIFIED BY EITHER A POST CONSTRUCTION TEST OR A ROUGH IN TEST. DUCT TIGHTNESS TEST IS NOT REQUIRED IF THE AIR HANDLER AND ALL DUCTS ARE LOCATED WITHIN CONDITIONED SPACE
R402.1.1	RAISED HEEL TRUSSES = R-38	R403.5	MECHANICAL VENTILATION OUTDOOR MAKE UP AIR WILL BE BROUGHT INTO THE HOME THRU A DUCT WITH AN AUTOMATIC OR GRAVITY DAMPER
R402.1.1	WOOD FRAME WALL: R-20 OR R-13 PLUS R5 CONT INSUL	R403.6	EQUIPMENT SIZING SHALL COMPLY WITH R403.6
R402.1.1	BASEMENT WALL INSULATION: R-13 / R-10 FOIL FACED CONT. UNINTERRUPTED BATTS FULL HEIGHT	R404.1	LIGHTING EQUIPMENT A MINIMUM OF 75% OF ALL LAMPS (LIGHTS) MUST BE HIGH-EFFICIENCY LAMPS, WATER HEATER: MIN EFFICIENCY ESTABLISHED BY NAECA
R402.1.1	CRAWL SPACE WALL INSUL: R-13/R-10 FOIL FACED CONT. BATTS FULL HEIGHT EXTENDING FROM FLOOR ABOVE TO FINISH GRADE LEVEL AND THEN VERT OR HORT AN ADDITIONAL 2'-0"		
R402.1.1	FLOOR INSULATION OVER UNCONDITIONED SPACE = R-19 BATT INSUL		
R402.1.1	WINDOW U-VALUE / SHGC = 35 (U-VALUE) 40 (SHGC)		
R402.2.9	SLAB ON GRADE FLOORS LESS THAN 12" BELOW GRADE: R-10 RIGID FOAM BOARD UNDER SLAB EXTENDING EITHER 2'-0" HORT / VERT.		
R402.2.4	ATTIC ACCESS: SCUTTLE WILL BE WEATHERSTRIPPED AND INSULATED R-49		
R402.4	BUILDING THERMAL ENVELOPE (AIR LEAKAGE) EXTERIOR WALLS AND PENETRATIONS WILL BE SEALED PER THIS SECTION OF THE 2015 IECC WITH CAULK, GASKETS, WEATHER STRIPPING OR AN AIR BARRIER OF SUITABLE MATERIAL		
R402.4.1	BUILDING ENVELOPE TIGHTNESS TEST: BUILDING ENVELOPE TIGHTNESS AND INSUL INSTALLATION MUST MEET THE INSPECTION CRITERIA LISTED IN TABLE 402.4.1.2. A BLOWER DOOR AIR INFILTRATION TEST SHALL BE PERFORMED IN ALL UNITS SEE ALSO SECTION R303.4 OF THE 2015 IRC		
R402.4.2	ALL WOOD BURNING MASONRY FIREPLACES WILL HAVE TIGHT-FITTING FLUE DAMPERS AND OUTDOOR COMBUSTION AIR. FIREPLACES SHALL HAVE GASKETED DOORS		
R402.4.4	RECESSED LIGHTING RECESSED LUMINAIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE		

APPLICABLE CODES

BUILDING CODES
 Building Code - 2015 International Building Code - Adopted / Amended by Howard County (Effective Date: June 9, 2015)
 One & Two Family Dwelling Code - 2015 International Residential Code - Adopted / Amended by Howard County (Effective Date: June 9, 2015)
Mechanical Code
 2015 International Mechanical Code - Adopted / Amended by Howard County (Effective Date: June 9, 2015)
Energy Code
 2015 International Energy Conservation Code - Adopted / Amended by Howard County (Effective Date: June 9, 2015)
Life Safety
 The Life Safety Code - 2015 Edition - Adopted / Amended by Howard County (Effective Date: June 9, 2015)
Plumbing Code
 2009 National Standard Plumbing Code - Adopted / Amended by Howard County (Effective Date: May 4, 2010)
Electrical Code
 2014 National Electric Code with Local Amendments (NFPA 70) as Adopted by Howard County (Effective Date: June 9, 2015)
Fuel Gas
 2009 National Fuel Gas Code (NFPA 54) - Adopted / Amended by Howard County (Effective Date: May 4, 2010)
Property Maintenance
 2006 International Property Maintenance Code - Adopted / Amended by Howard County (Effective Date: January 2, 2007)

STRUCTURAL NOTES

Live Loads: Floor 40psf / Roof 40 psf / Sleeping Rooms 30psf

Construction Safety: Loads greater than the applicable design loads shall not be placed on the structure. Provisions shall be made for adequate bracing and support of adjacent construction, utilities and excavations. Job site safety and construction procedures are the responsibility of the Contractor.

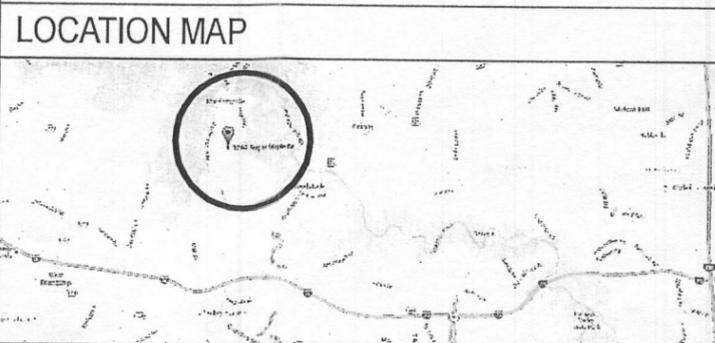
Foundation Bearing: Assumed at 2,000 psf. Field verification shall be made by a qualified Soils Engineer prior to placing foundations. If excavation shows soil to be other than assumed, foundations will be subject to redesign.

Foundations: All foundations shall be placed on undisturbed soil not less than 1'-0" below existing grade, nor less than 2'-6" below adjacent finish exterior grade. Utility lines shall not be placed through or below foundations without the Structural Engineer's approval. Maintain 1:2 slope from the bottom edge of footing to the bottom of any adjacent excavation. All excavations shall be approved by proper authorities prior to the placing of foundations.

Concrete: Shall be mixed and placed in accordance with the current "American Concrete Institute (ACI) Building Code Requirements for reinforced concrete". A copy of this code shall be available on the project at all times. All concrete to have a compressive strength (f'c) of 3,000 psi, unless otherwise noted. All concrete exposed to the weather to have a compressive strength of f'c = 4,000 psi (air entrained).

Framing Lumber: All framing, including floor and roof sheathing, shall be in accordance with the standards and specifications of the American Institute of Timber Construction (AITC). Framing lumber shall be as follows: rafters & joists - Hem Fir #2 Fb = 1,000 psi (single), E=1,400 ksi, studs-std grade lumber. All lumber shall be graded in accordance with the applicable grading rules and shall be surfaced on four sides. Members shall be set with crown up and have a minimum of 4" bearing on masonry. Member framing anchors, unless otherwise noted or shown. All joists and rafters shall be rigidly bridged at intervals not exceeding 8 feet with metal bridging. Unless otherwise noted, all studs in bearing walls to be bridged (with solid members) at mid-height.

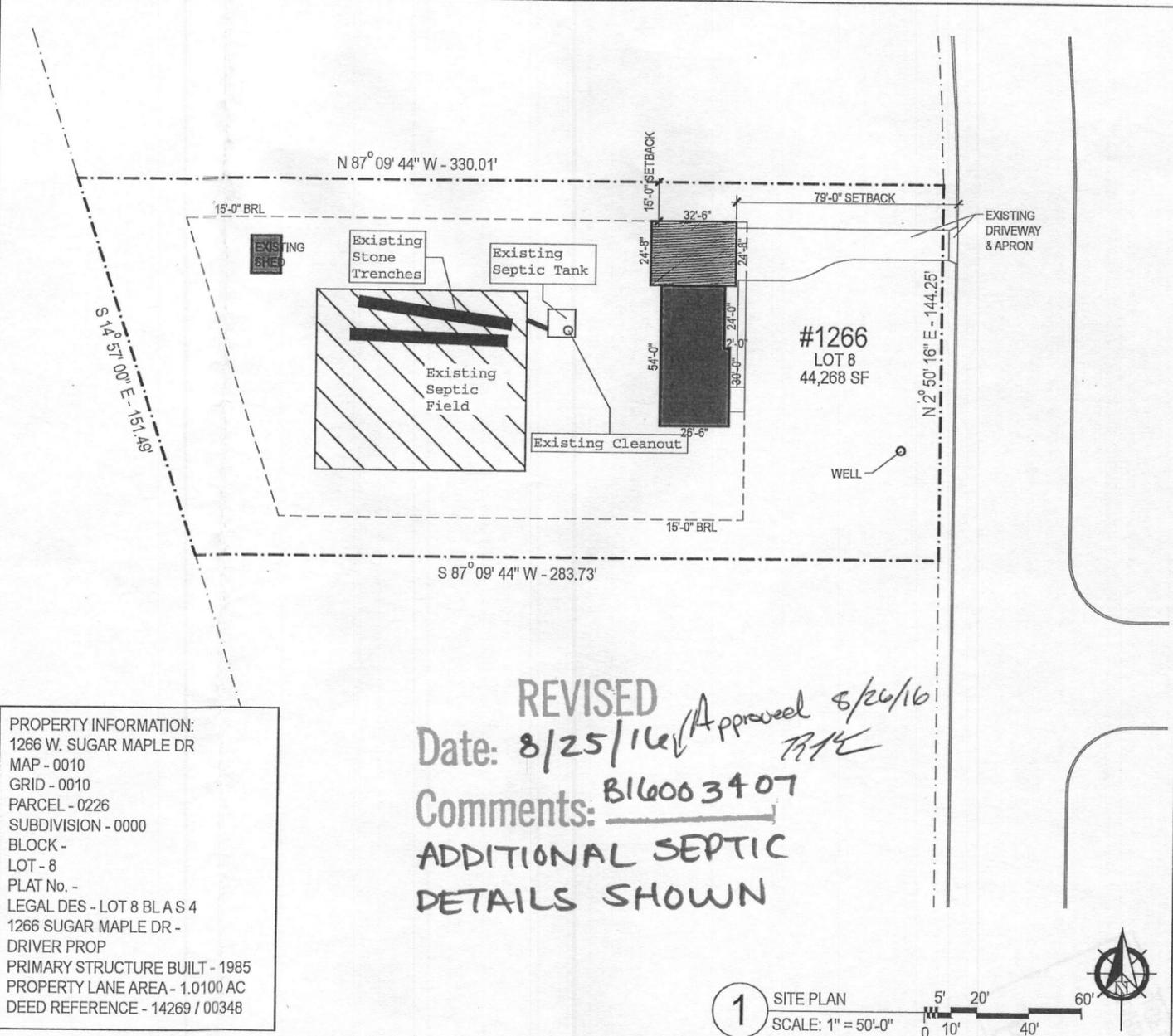
PROPERTY INFORMATION:
 1266 W. SUGAR MAPLE DR
 MAP - 0010
 GRID - 0010
 PARCEL - 0226
 SUBDIVISION - 0000
 BLOCK -
 LOT - 8
 PLAT No. -
 LEGAL DES - LOT 8 BL A S 4
 1266 SUGAR MAPLE DR -
 DRIVER PROP
 PRIMARY STRUCTURE BUILT - 1985
 PROPERTY LANE AREA - 1.0100 AC
 DEED REFERENCE - 14269 / 00348



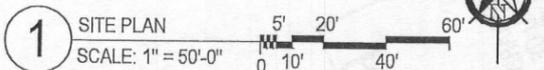
LEGEND	
	NOT IN SCOPE
	EXISTING EXTERIOR PARTITION

DRAWING LIST	
0000-G=G1	TITLE SHEET & SITE PLAN
0001-AD=AD1	FIRST FLOOR & ROOF DEMOLITION PLAN
0002-S=S1	FOUNDATION / ROOF FRAMING PLAN
0003-S=S2	WALL BRACING DIAGRAM & DETAILS
0004-A=A1	FIRST FLOOR & ROOF PLAN
0005-A=A2	ELEVATIONS
0006-A=A3	TYPICAL DETAILS & SECTION

**1266 W. SUGAR MAPLE DRIVE
 MARRIOTTSVILLE, MD 21104
 ATTACHED GARAGE ADDITION**



REVISED
 Date: 8/25/16
 Approved 8/26/16
 Comments: B16003407
ADDITIONAL SEPTIC DETAILS SHOWN



CONSTRUCTION TYPE: Type 5B - Wood Framed, Unprotected	IBC USE GROUP: Type R-3 (Single Family Home)	PROFESSIONAL CERTIFICATION: I AM A REGISTERED PROFESSIONAL ARCHITECT AND THAT I AM A DAILY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NUMBER 15709. EXPIRATION DATE 1/27/2017. CONTRACT DOCUMENTS HAVE BEEN PREPARED BY A LICENSED ARCHITECT FOR ARCHITECTURE DESIGN.
1266 SUGAR MAPLE DR - SITE PLAN DISTRICT 03 - ACCOUNT NUMBER 284441 ATTACHED GARAGE ADDITION SCALE: 1" = 50'-0"		CLIENT MR. NED FITTER
OWNERSHIP: EDWARD & JESSICA FITTER	OWNERSHIP ADDRESS: 1266 SUGAR MAPLE DR - MARRIOTTSVILLE, MD 21104	ADAM CARBALLO, ARCHITECT MD LIC# 15709 443-745-1100
ISSUED FOR PERMIT		0000-G=G1 TITLE SHEET & SITE PLAN 1266 W. SUGAR MAPLE DR JOB# 16-151 JUNE 2016