



Building Permit Application
Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: **DLP 2016 AUG 2 AM 9:14**

Permit No.: **B16003407**

Building Address: 1266 Sugar Maple Drive
City: Mariottsville State: MD Zip Code: 21104
Suite/Apt. #: _____ SDP/WP/BA #: _____
Census Tract: _____ Subdivision: 0000
Section: _____ Area: _____ Lot: 8
Tax Map: 0010 Parcel: 0226 Grid: 0010
Zoning: _____ Map Coordinates: _____ Lot Size: 1.01 AC

Existing Use: driveway
Proposed Use: garage
Estimated Construction Cost: \$ 30,000
Description of Work: attached garage addition
24'8" x 32'6"

Occupant or Tenant: _____
Was tenant space previously occupied? ☐ Yes ☐ No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height: _____	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories: _____	Depth Width
Gross area, sq. ft./floor: _____	1 st floor: _____
Area of construction (sq. ft.): _____	2 nd floor: _____
Use group: _____	Basement: _____
Construction type:	<input type="checkbox"/> Finished Basement
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Unfinished Basement
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Crawl Space
<input type="checkbox"/> Masonry	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Wood Frame	No. of Bedrooms: _____
<input type="checkbox"/> State Certified Modular	Multi-family Dwelling
	No. of efficiency units: _____
	No. of 1 BR units: _____
	No. of 2 BR units: _____
	No. of 3 BR units: _____
	Other Structure: _____
	Dimensions: _____
	Footings: _____
	Roof: _____
	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Property Owner's Name: Edward & Jessica Fitter
Address: 1266 Sugar Maple Drive
City: Mariottsville State: MD Zip Code: 21104
Phone: 443-865-3307 Fax: _____
Email: jessica.fitter@yahoo.com

Applicant's Name & Mailing Address, (if other than stated herein)
Applicant's Name: SAME AS ABOVE
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Contractor Company: D & D Haines
Contact Person: Dave Haines
Address: 3810 Black Rock Road
City: Upperco State: MD Zip Code: 21155
License No.: 23000
Phone: 410-239-6073 Fax: _____
Email: _____

Engineer/Architect Company: Carballo Architecture
Responsible Design Prof.: Adam Carballo
Address: 1818 Aliceanna Street
City: Baltimore State: MD Zip Code: 21231
Phone: 443-745-1100 Fax: _____
Email: adamcarballo@yahoo.com

Utilities
Water Supply
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Sewage Disposal
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Electric: <input type="checkbox"/> Yes <input type="checkbox"/> No
Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No
Heating System
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas
<input type="checkbox"/> Other: _____
Sprinkler System:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Grading Permit Number: _____
Building Shell Permit Number: _____

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: _____
Print Name: Edward F. Fitter
Email Address: EMFitter@gmail.com
Date: July 31, 2016
Title/Company: _____

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

****PLEASE WRITE NEATLY & LEGIBLY****
FOR OFFICE USE ONLY

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health		

Is Sediment Control approval required for issuance? ☐ Yes ☐ No
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front: _____
Rear: _____
Side: _____
Side SL: _____
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone: _____
SDP/Red-line approval date: _____

Filing Fee	\$ <u>25.00</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	# <u>3354</u>

Distribution of Copies: White: Building Officials Green: PSZA, Zoning

Yellow: PSZA, Engineering

Pink: Health

Gold: SHA

T:\Operations\Updated Forms\Building applmp 8.2012.docx

**COMPLETE THIS FORM WHEN DROPPING OFF ANY
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 8/25/16

To: Robert Freeman - Health Dept
(Person's Name and Division)

From: Edward Fitter (443) 865-3307
(Your Name, Company Name and Telephone Number)

Subject: Project name _____
Project site address 1266 Sugar Maple Dr
Permit # B16003407 SDP # _____
Other information pertinent to this project _____

✓ Please check the attachments below that you are submitting with this transmittal:

- ____ Letter of response to address plan review comment letter
- ✓ Revised plans and/or revised details: When submitting for a complete re-review, **duplicate sets shall be submitted.**
- ____ Letter Summarizing Changes
- ____ Energy conservation calculations
- ✗ Copies of REVISED PLOT PLAN (be specific).
- ____ ✓ Health Department Request _____ DPZ/ DED Request _____ Applicant's Request
- ____ Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # _____
- ____ Other _____

Contact Person Information: (Required)

Edward Fitter
Please Print Name

Telephone No: 443-865-3307

E-Mail Address: EMFitter@gmail.com

PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

Received by

X. J. Jumper

CC: PLAN REVIEW RECEIVED

AUG 25 2016

LICENSES & PERMITS
DIVISION

R401.1	CLIMATE ZONE 4	R403.1.1	THEMOSTATALL DWELLING UNITS WILL HAVE AT LEAST ONE (1)
R401.2	COMPLIANCE METHOD:		PROGRAMMABLE THERMOSTAT FOR EACH SEPARATE HEATING AND COOLING
	MANDATORY AND PRESCRIPTIVE PROVISIONS		SYSTEM AS PER 2012 IECC SECTION 403.1.1 WHERE A HEAT PUMP SYSTEM
R402.1	ATTIC INSULATION - R-49		HAVING SUPPLEMENTARY ELECTRIC RESISTANCE HEAT IS USED THE
	RAISED HEEL TRUSSES - R=38		THERMOSTAT SHALL PREVENT THE SUPPLEMENTARY HEAT FROM COMING ON
R402.1.1	WOOD FRAME WALL:		WHEN HEAT PUMP CAN MEET HEATING LOAD.
	R-20 OR R-13 PLUS R5 CONT INSUL.	R403.2.1	MECHANICAL DUCT INSUL SUPPLY DUCTS IN ATTIC - R=8 MIN
	BASEMENT WALL INSULATION:		SUPPLY DUCTS OUTSIDE CONDITIONED SPACES - R=8 MIN
	R-131 R-10 FOIL FACED CONT., UNINTERRUPTED BATTS FULL HEIGHT		ALL OTHER DUCTS EXCEPT THOSE LOCATED COMPLETELY INSIDE THE
R402.1.1	CRAWL SPACE WALL INSUL: R-13/10-FOIL FACED CONT. BATTS FULL HEIGHT		BUILDINGS THERMAL ENVELOPE - R=8 MIN. DUCTS LOCATED UNDER
	EXTENDING FROM FLOOR ABOVE TO FINISH GRADE LEVEL AND THEN VERT		CONCRETE SLABS - R=8 MIN
	OR HORT AN ADDITIONAL 2'-0"	R403.2.2	DUCT SEALING ALL DUCT JOINT HANDLERS, FILTER BOXES WILL BE SEALED.
R402.1.1	FLOOR INSULATION OVER UNCONDITIONED SPACE - R=19 BATT INSUL.		JOINTS AND GASKETS SHALL COMPLY WITH SECTION M101.41 OR THE IRC.
R402.1.1	WINDOW U-VALUE / SHGC .35 (U-VALUE) .40 (SHGC)		A DUCT TIGHTNESS TEST (DUCT BLASTER - DUCT TOTAL LEAKAGE TEST) WILL
R402.2.9	SLAB ON GRADE FLOORS LESS THAN 12" BELOW GRADE:		BE PERFORMED ON ALL HOMES AND SHALL BE VERIFIED BY EITHER A POST
	R-10 RIGID FOAM BOARD UNDER SLAB EXTENDING EITHER Z-0" HORT / VERT.		CONSTRUCTION TEST OR A ROUGH IN TEST. DUCT TIGHTNESS TEST IS NOT
R402.2.4	ATT ACCESS:		REQUIRED IF THE AIR HANDLER AND ALL DUCTS ARE LOCATED WITHIN
	ATT ACCESS SCUTTLE WILL BE WEATHERSTRIPPED AND INSULATED R-49		CONDITIONED SPACE
R402.4	BUILDING THERMAL ENVELOPE (AIR LEAKAGE) EXTERIOR WALLS AND	R403.5	MECHANICAL VENTILATION
	PENETRATIONS WILL BE SEALED PER THIS SECTION OF THE 2012 IECC		OUTDOOR, MAKE UP AIR WILL BE BROUGHT INTO THE HOME THRU A DUCT
	WITH CAULK, GASKETS, WEATHER STRIPPINGS OR AN AIR BARRIER OF		WITH AN AUTOMATIC OR COMPLY DAMPER
	SEALABLE MATERIAL.	R403.6	EQUIPMENT SIZING SHALL COMPLY WITH R403.6
R402.4.1	BUILDING ENVELOPE TIGHTNESS TEST:	R404.1	LIGHTING EQUIPMENT
	BUILDING ENVELOPE TIGHTNESS AND INSUL INSTALLATION MUST MEET THE		A MINIMUM OF 75% OF ALL LAMPS (LIGHTS) MUST BE HIGH-EFFICIENCY
	INSPECTION CRITERIA LISTED IN TABLE 402.4.1.2. A BLOWER DOOR AIR		LAMPS, WATER HEATER, MIN EFFICIENCY ESTABLISHED BY NAECA.
	INTEGRATION TEST SHALL BE PERFORMED ON ALL UNITS SEE ALSO SECTION		MECHANICAL TESTS AND ALL MECHANICAL TESTS TO BE PERFORMED BY
	R303.4 OF THE 2012 IRC		LICENSED TESTERS AS PER IRC & IMC.
R402.4.2	ALL WOOD BURNING MASONRY FIREPLACES WILL HAVE TIGHT-FITTING FLUE		
	DAMPERS AND OUTDOOR COMBUSTION AIR. FIREPLACES SHALL HAVE		
	GASKETED DOORS		
R402.4.4	RECESSED LIGHTING		
	RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE		
	SHALL BE SEEALED TO LIMIT AIR LEAKAGE		

BUILDING CODES
Building Code -
 2015 International Building Code - Adopted / Amended by Howard County
 (Effective Date: June 9, 2015)

One & Two Family Dwelling Code -
 2015 International Residential Code - Adopted / Amended by Howard County
 (Effective Date: June 9, 2015)

Mechanical Code -
 2015 International Mechanical Code - Adopted / Amended by Howard County
 (Effective Date: June 9, 2015)

Energy Code -
 2015 International Energy Conservation Code - Adopted / Amended by Howard County
 (Effective Date: June 9, 2015)

Life Safety -
 The Life Safety Code - 2015 Edition - Adopted / Amended by Howard County
 (Effective Date: June 9, 2015)

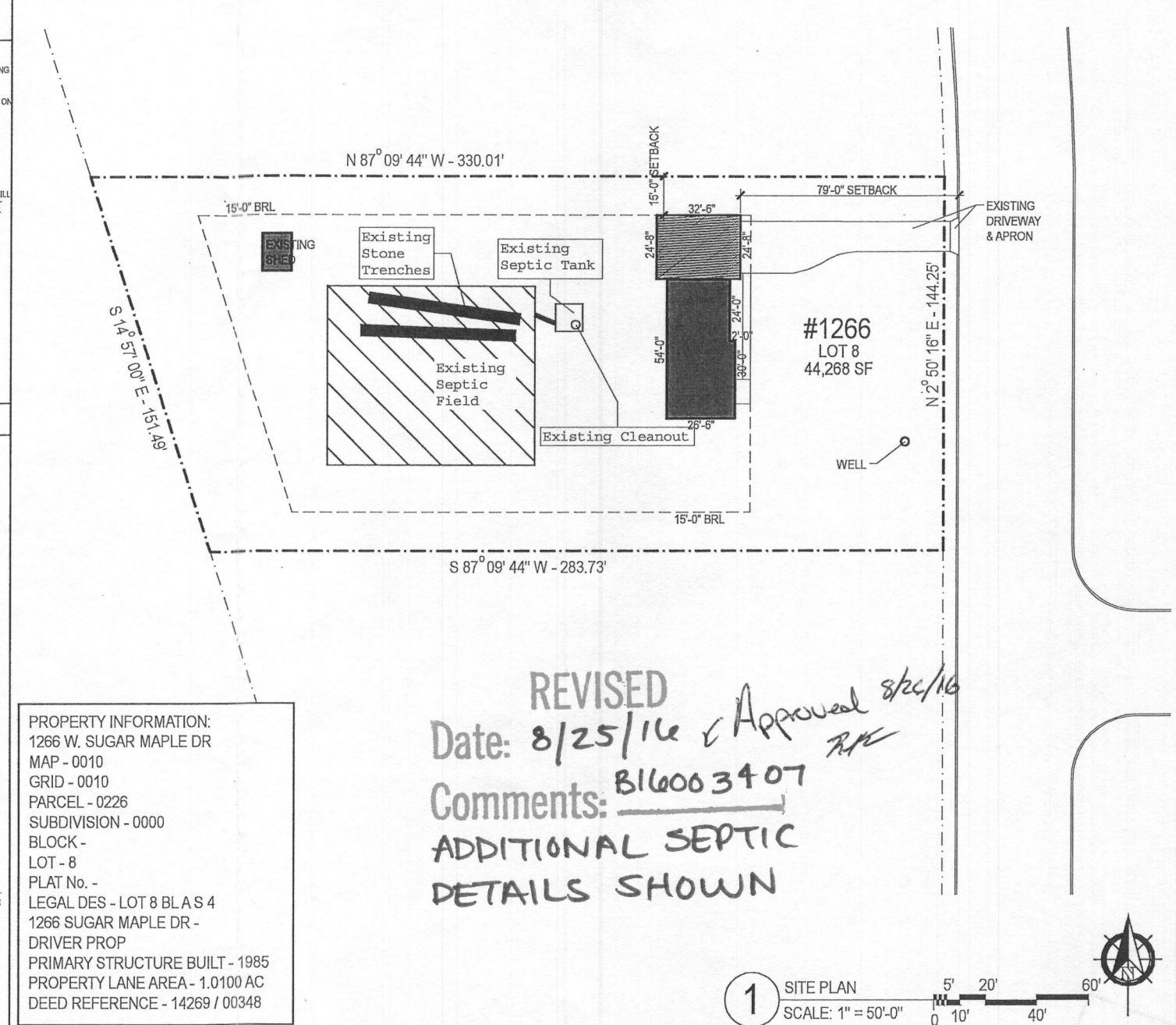
Plumbing Code -
 2009 National Standard Plumbing Code - Adopted / Amended by Howard County
 (Effective Date: May 4, 2010)

Electrical Code -
 2014 National Electric Code with Local Amendments (NFPA 70) as Adopted by Howard County
 (Effective Date: June 9, 2015)

Fuel Gas -
 2009 National Fuel Gas Code (NFPA 54) - Adopted / Amended by Howard County
 (Effective Date: May 4, 2010)

Property Maintenance -
 2006 International Property Maintenance Code - Adopted / Amended by Howard County
 (Effective Date: January 2, 2007)

PROPERTY INFORMATION:
1266 W. SUGAR MAPLE DR
MAP - 0010
GRID - 0010
PARCEL - 0226
SUBDIVISION - 0000
BLOCK -
LOT - 8
PLAT No. -
LEGAL DES - LOT 8 BLA S 4
1266 SUGAR MAPLE DR -
DRIVER PROP
PRIMARY STRUCTURE BUILT - 1985
PROPERTY LANE AREA - 1.0100 AC
DEED REFERENCE - 14269 / 00348



REVISED
Date: 8/25/16 ✓ Approved 8/26/16
Comments: B16003407 RPK
ADDITIONAL SEPTIC
DETAILS SHOWN

OWNERSHIP :
EDWARD & JESSICA FITTER

OWNERSHIP ADDRESS:
1266 SUGAR MAPLE DR -

CONSTRUCTION TYPE :
Type 5B - Wood Framed, Unprotected

IBC USE GROUP :
Type R-3 (Single Family Home)

1266 SUGAR MAPLE DR - SITE PLAN
DISTRICT 03 - ACCOUNT NUMBER 284441
ATTACHED GARAGE ADDITION
SCALE - 1/8" = 5'-0"

21104

CLIENT
MR. NED FITTER

ADAM CARBALLO, ARCHITECT
MD LIC# 15709
443-745-1100

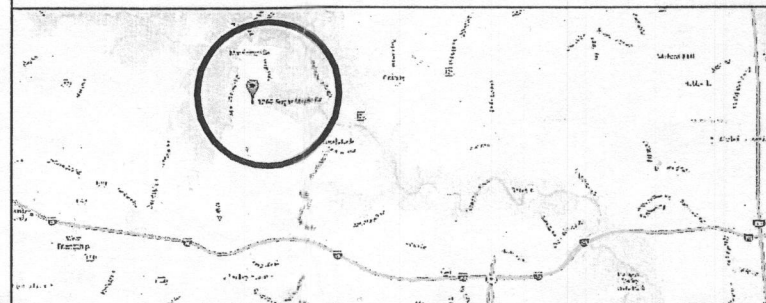
0000-G=G1
TITLE SHEET & SITE PLAN

1266 W. SUGAR MAPLE DR
JOB # 16-151
JUNE 2016

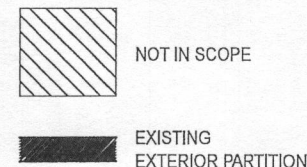
PROFESSIONAL CERTIFICATION:
I CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME,
AND THAT I AM A DULY LICENSED
ARCHITECT UNDER THE LAWS OF THE
STATE OF MARYLAND, LICENSE NUMBER
15109, EXPIRATION DATE 3/17/2017.

CONTRACT DOCUMENTS HAVE BEEN
PREPARED BY A LICENSED ARCHITECT
FOR ARCHITECTURE DESIGN.

LOCATION MAP



LEGEND



DRAWING LIST

0000-G=G1 TITLE SHEET & SITE PLAN
0001-AD=AD1 FIRST FLOOR & ROOF DEMOLITION PLAN
0002-S=S1 FOUNDATION / ROOF FRAMING PLAN
0003-S=S2 WALL BRACING DIAGRAM & DETAILS
0004-A=A1 FIRST FLOOR & ROOF PLAN
0005-A=A2 ELEVATIONS
0006-A=A3 TYPICAL DETAILS & SECTION

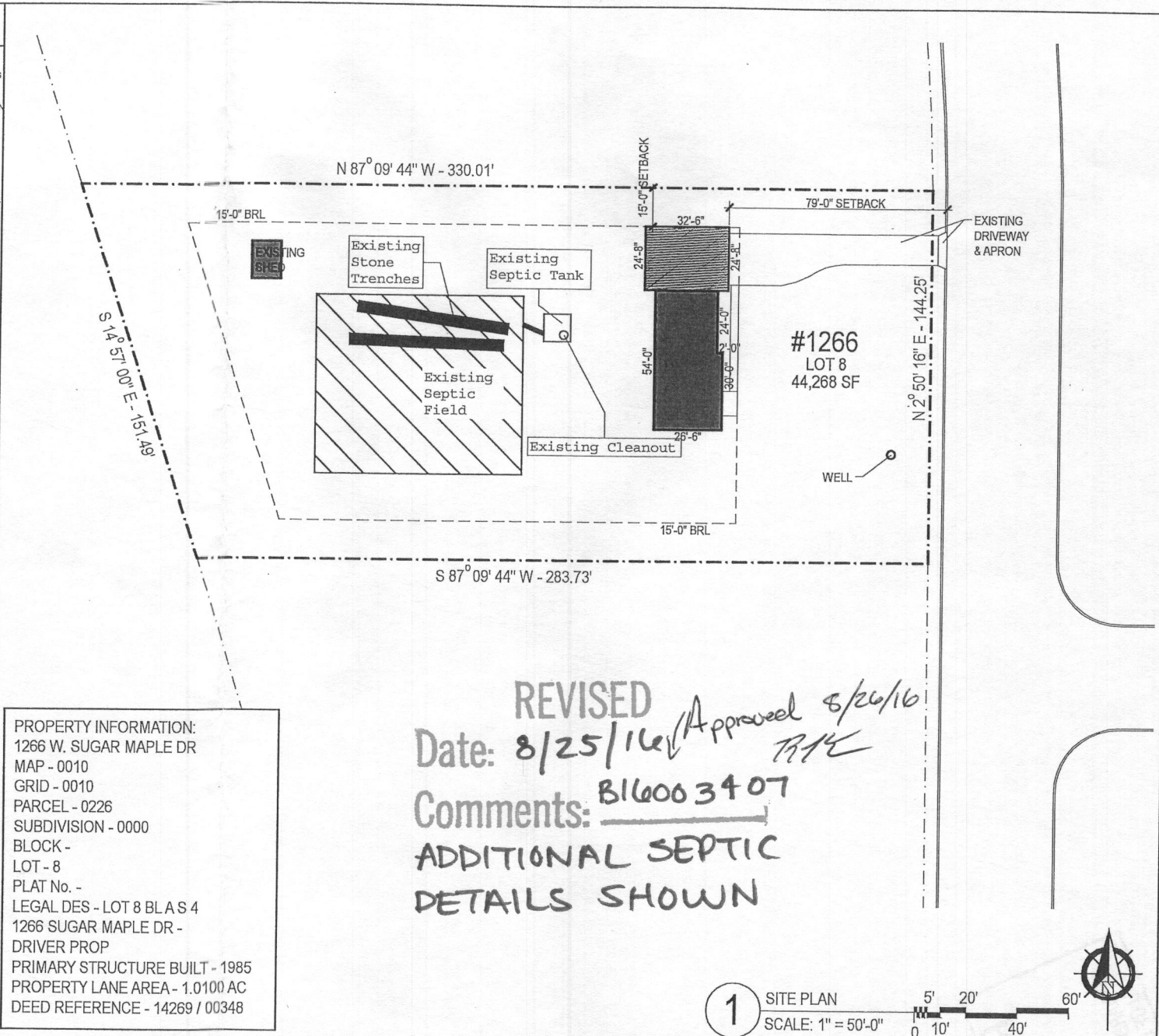
ISSUED FOR PERMIT

2015 IECC CODE COMPLIANCE

R301.1 R401.2	CLIMATE ZONE 4 MANDATORY AND PRESCRIPTIVE PROVISIONS ATTIC INSULATION = R-49 RAISED HEEL TRUSSES = R-38	R403.1.1	THERMOSTAT ALL DWELLINGS UNITS WILL HAVE AT LEAST ONE (1) PROGRAMMABLE THERMOSTAT FOR EACH SEPARATE HEATING AND COOLING SYSTEM AS PER 2012 IECC SECTION 403.1 WHERE A HEAT PUMP SYSTEM HAVING SUPPLEMENTARY ELECTRIC RESISTANCE HEAT IS USED THE THERMOSTAT SHALL PREVENT THE SUPPLEMENTARY HEAT FROM COMING ON WHEN HEAT PUMP CAN MEET HEATING LOAD.
R402.1.1	WOOD FRAME WALL: R-20 OR R-13 PLUS R5 CONT. INSUL.	R403.2.1	MECHANICAL DUCT INSUL. SUPPLY DUCTS IN ATTIC = R-8 MIN SUPPLY DUCTS OUTSIDE CONDITIONED SPACES = R-8 MIN
R402.1.1	BASEMENT WALL INSULATION: R-13 / R-10 FOIL FACED CONT. UNINTERRUPTED BATTS FULL HEIGHT	R403.2.2	ALL OTHER DUCTS EXCEPT THOSE LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE = R-6 MIN. DUCTS LOCATED UNDER CONCRETE SLABS = R-4 MIN
R402.1.1	CRAWL SPACE WALL INSUL.: R-13/R-10 FOIL FACED CONT. BATTS FULL HEIGHT EXTENDING FROM FLOOR ABOVE TO FINISH GRADE LEVEL AND THEN VERT OR HORT AN ADDITIONAL 2'-0"	R403.5	DUCT SEALING ALL DUCT, AIR HANDLERS, FILTER BOXES WILL BE SEALED. JOINTS AND SEAMS WILL COMPLY WITH SECTION M1501.41 OR THE IRC.
R402.1.1	FLOOR INSULATION OVER UNCONDITIONED SPACE = R-19 BATT INSUL. WINDOW U-VALUE / SHGC = .35 (U-VALUE), .40 (SHGC)	R404.1	A DUCT TIGHTNESS TEST (DUCT BLASTER - DUCT TOTAL LEAKAGE TEST) WILL BE PERFORMED ON ALL HOMES AND SHALL BE VERIFIED BY EITHER A POST CONSTRUCTION TEST OR A ROUGH IN TEST. DUCT TIGHTNESS TEST IS NOT REQUIRED IF THE AIR HANDLER AND ALL DUCTS ARE LOCATED WITHIN CONDITIONED SPACE
R402.2.9	SLAB ON GRADE FLOORS LESS THAN 12" BELOW GRADE: R-10 RIGID FOAM BOARD UNDER SLAB EXTENDING EITHER 2'-0" HORT / VERT.	R404.1	Mechanical Ventilation Outdoor, Make Up, Air Will Be Brought Into The Home Thru A Duct With An Automatic Or Gravity Damper Equipment Sizing Shall Comply With R403.6
R402.2.4	ATTIC ACCESS: SCUTTLE WILL BE WEATHERSTRIPPED AND INSULATED R-49		Lighting Equipment A Minimum Of 75% Of All Lamps (Lights) Must Be High-Efficiency Lamps, Water Heater, Min Efficiency Established By NAECA
R402.4	BUILDING THERMAL ENVELOPE (AIR LEAKAGE) EXTERIOR WALLS AND PENETRATIONS WILL BE SEALED PER THIS SECTION OF THE 2012 IECC WITH CAULK, GASKETS, WEATHER STRIPPING OR AN AIR BARRIER OF SUITABLE MATERIAL		Mechanical Testing: All Mechanical Testing To Be Performed By Licensed Testing As Per IRC & IMC.
R402.4.1	BUILDING ENVELOPE TIGHTNESS TEST: BUILDING ENVELOPE TIGHTNESS AND INSUL. INSTALLATION MUST MEET THE INSPECTION CRITERIA LISTED IN TABLE 402.4.1.2. A BLOWER DOOR AIR INFILTRATION TEST SHALL BE PERFORMED IN ALL UNITS SEE ALSO SECTION R303.4 OF THE 2012 IRC		
R402.4.2	ALL WOOD BURNING MASONRY FIREPLACES WILL HAVE TIGHT-FITTING FLUE DAMPERS AND OUTDOOR COMBUSTION AIR. FIREPLACES SHALL HAVE GASKETED DOORS		
R402.4.4	RECESSED LIGHTING RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE		

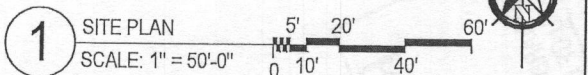
APPLICABLE CODES
BUILDING CODES Building Code - 2015 International Building Code - Adopted / Amended by Howard County (Effective Date: June 9, 2015) One & Two Family Dwelling Code - 2015 International Residential Code - Adopted / Amended by Howard County (Effective Date: June 9, 2015) Mechanical Code - 2015 International Mechanical Code - Adopted / Amended by Howard County (Effective Date: June 9, 2015) Energy Code - 2015 International Energy Conservation Code - Adopted / Amended by Howard County (Effective Date: June 9, 2015) Life Safety - The Life Safety Code - 2015 Edition - Adopted / Amended by Howard County (Effective Date: June 9, 2015) Plumbing Code - 2009 National Standard Plumbing Code - Adopted / Amended by Howard County (Effective Date: May 4, 2010) Electrical Code - 2014 National Electric Code with Local Amendments (NFPA 70) as Adopted by Howard County (Effective Date: June 9, 2015) Fuel Gas - 2009 National Fuel Gas Code (NFPA 54) - Adopted / Amended by Howard County (Effective Date: May 4, 2010) Property Maintenance - 2006 International Property Maintenance Code - Adopted / Amended by Howard County (Effective Date: January 2, 2007)

STRUCTURAL NOTES
Live Loads: Floor 40psf / Roof 40 psf / Sleeping Rooms 30psf Construction Safety: Loads greater than the applicable design loads shall not be placed on the structure. Provisions shall be made for adequate bracing and support of adjacent construction, utilities and excavations. Job site safety and construction procedures are the responsibility of the Contractor. Foundation Bearing: Assumed at 2,000 psf. Field verification shall be made by a qualified Soils Engineer prior to placing foundations. If excavation shows soil to be other than assumed, foundations will be subject to redesign. Foundations: All foundations shall be placed on undisturbed soil not less than 1'-0" below existing grade, nor less than 2'-6" below adjacent finish exterior grade. Utility lines shall not be placed through or below foundations without the Structural Engineer's approval. Maintain 1:2 slope from the bottom edge of footing to the bottom of any adjacent excavation. All excavations shall be approved by proper authorities prior to the placing of foundations. Concrete: Shall be mixed and placed in accordance with the current "American Concrete Institute (ACI) Building Code Requirements for reinforced concrete". A copy of this code shall be available on the project at all times. All concrete to have a compressive strength (f'c) of 3,000 psi, unless otherwise noted. All concrete exposed to the weather to have a compressive strength of f'c = 4,000 psi (air entrained). Framing Lumber: All framing, including floor and roof sheathing, shall be in accordance with the standards and specifications of the American Institute of Timber Construction (AITC). Framing lumber shall be as follows: rafters & joists - Hem Fir #2 Fb = 1,000 psi (single), E=1,400 ksi, studs-grade lumber. All lumber shall be graded in accordance with the applicable grading rules and shall be surfaced on four sides. Members shall be set with crown up and have a minimum of 4" bearing on masonry. Member framing anchors, unless otherwise noted or shown. All joists and rafters shall be rigidly bridged at intervals not exceeding 8 feet with metal bridging. Unless otherwise noted, all studs in bearing walls to be bridged (with solid members) at mid-height.

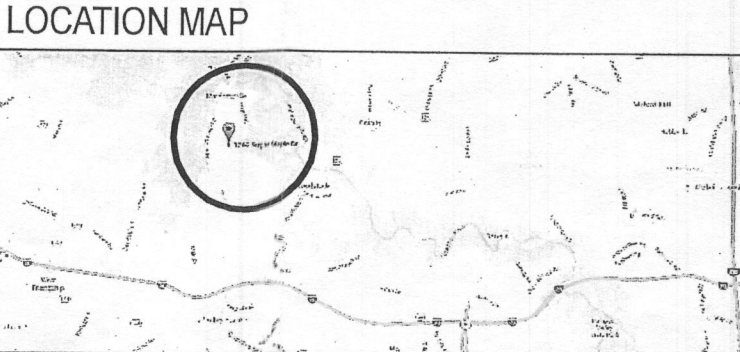


PROPERTY INFORMATION:
1266 W. SUGAR MAPLE DR
MAP - 0010
GRID - 0010
PARCEL - 0226
SUBDIVISION - 0000
BLOCK -
LOT - 8
PLAT No. -
LEGAL DES - LOT 8 BL A S 4
1266 SUGAR MAPLE DR -
DRIVER PROP
PRIMARY STRUCTURE BUILT - 1985
PROPERTY LANE AREA - 1.0100 AC
DEED REFERENCE - 14269 / 00348

REVISED
Date: 8/25/16
Comments: B16003407
ADDITIONAL SEPTIC
DETAILS SHOWN



1266 W. SUGAR MAPLE DRIVE
MARRIOTTSTVILLE, MD 21104
ATTACHED GARAGE ADDITION



LEGEND
NOT IN SCOPE
EXISTING EXTERIOR PARTITION

DRAWING LIST
0000-G=G1 TITLE SHEET & SITE PLAN 0001-AD=AD1 FIRST FLOOR & ROOF DEMOLITION PLAN 0002-S=S1 FOUNDATION / ROOF FRAMING PLAN 0003-S=S2 WALL BRACING DIAGRAM & DETAILS 0004-A=A1 FIRST FLOOR & ROOF PLAN 0005-A=A2 ELEVATIONS 0006-A=A3 TYPICAL DETAILS & SECTION

ISSUED FOR PERMIT

CONSTRUCTION TYPE: Type 5B - Wood Framed, Unprotected	IBC USE GROUP: Type R-3 (Single Family Home)	PROFESSIONAL CERTIFICATION: I, JESSICA FITTER, ARCHITECT, NO. 1508, AND THAT I AM A DAILY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 1508, EXPIRATION DATE 1/27/2017. CONTRACT DOCUMENTS HAVE BEEN PREPARED BY A LICENSED ARCHITECT FOR ARCHITECTURE DESIGN.
1266 SUGAR MAPLE DR - SITE PLAN DISTRICT 03 - ACCOUNT NUMBER 284441 ATTACHED GARAGE ADDITION SCALE: 1" = 50'-0"	OWNERSHIP: EDWARD & JESSICA FITTER OWNERSHIP ADDRESS: 1266 SUGAR MAPLE DR - MARRIOTTSTVILLE, MD 21104	CLIENT: MR. NED FITTER
ADAM CARBALLO, ARCHITECT MD LIC# 15709 443-745-1100		0000-G=G1 TITLE SHEET & SITE PLAN 1266 W. SUGAR MAPLE DR JOB# 16-151 JUNE 2016