



APPLICATION

FOR PERCOLATION TESTING AND SITE EVALUATION

TEST DATE(S) _____ TEST TIME _____ CAP 527829

AGENCY REVIEW: _____ DATE 9/28/07

DO NOT WRITE ABOVE THIS LINE

I HEREBY APPLY FOR THE NECESSARY TESTING/EVALUATION PRIOR TO ISSUANCE OF SEWAGE DISPOSAL SYSTEM PERMIT(S) TO:

CHECK AS NEEDED:

- ☒ CONSTRUCT NEW SEPTIC SYSTEM(S)
☐ REPAIR/ADD TO AN EXISTING SEPTIC SYSTEM
☐ REPLACE AN EXISTING SEPTIC SYSTEM

CHECK AS NEEDED:

- ☐ NEW STRUCTURE(S)
☐ ADDITION TO AN EXISTING STRUCTURE
☐ REPLACE AN EXISTING STRUCTURE

CHECK ONE:

- ☐ CREATE NEW LOT(S)
☐ BUILD ON AN EXISTING LOT IN A SUBDIVISION
☐ BUILD ON AN EXISTING PARCEL OF RECORD

IS THE PROPERTY WITHIN 2500' OF ANY RESERVOIR?

- ☐ YES
☐ NO

THE TYPE OF STRUCTURE IS:

- ☐ RESIDENTIAL WITH _____ PROPOSED BEDROOMS IN THE COMPLETED STRUCTURE (NOTE **UNKNOWN** IF APPROPRIATE)
☒ COMMERCIAL Bank & 4,400 PROVIDE DETAIL OF NUMBERS AND TYPES OF EMPLOYEES/ CUSTOMERS ON ACCOMPANYING PLAN)
☐ INSTITUTIONAL/GOVERNMENT (PROVIDE DETAIL OF NUMBERS AND TYPES OF EMPLOYEES/USERS ON ACCOMPANYING PLAN)

PROPERTY OWNER(S) Patty Wessel

DAYTIME PHONE 410-489-4820 CELL Same FAX _____

MAILING ADDRESS 11268 Scaggsville Rd Laurel MD 20723
STREET CITY/TOWN STATE ZIP

APPLICANT Kaz Construction, LLC None

DAYTIME PHONE 301-438-2211 CELL 240-688-0093 FAX 301-438-3625

MAILING ADDRESS 2139 Blue Knobe Ter. Silver Spring MD 20906
STREET CITY/TOWN STATE ZIP

APPLICANT'S ROLE: DEVELOPER BUILDER BUYER RELATIVE/FRIEND REALTOR CONSULTANT

PROPERTY LOCATION

SUBDIVISION/PROPERTY NAME _____ LOT NO. _____

PROPERTY ADDRESS 11268 & 11274 Scaggsville Rd Scaggsville, MD
STREET TOWN/POST OFFICE

TAX MAP PAGE(S) 46 GRID 4 PARCEL(S) 176 & 177 PROPOSED LOT SIZE 1 acre

AS APPLICANT, I UNDERSTAND THE FOLLOWING: THE SYSTEM INSTALLED SUBSEQUENT TO THIS APPLICATION IS ACCEPTABLE ONLY UNTIL PUBLIC SEWERAGE IS AVAILABLE. THIS APPLICATION IS COMPLETE WHEN ALL APPLICABLE FEES AND A SUITABLE SITE PLAN HAVE BEEN RECEIVED. I ACCEPT THE RESPONSIBILITY FOR COMPLIANCE WITH ALL M.O.S.H.A. AND "MISS UTILITY" REQUIREMENTS. APPROVAL IS BASED UPON SATISFACTORY REVIEW OF A PERC CERTIFICATION PLAN.

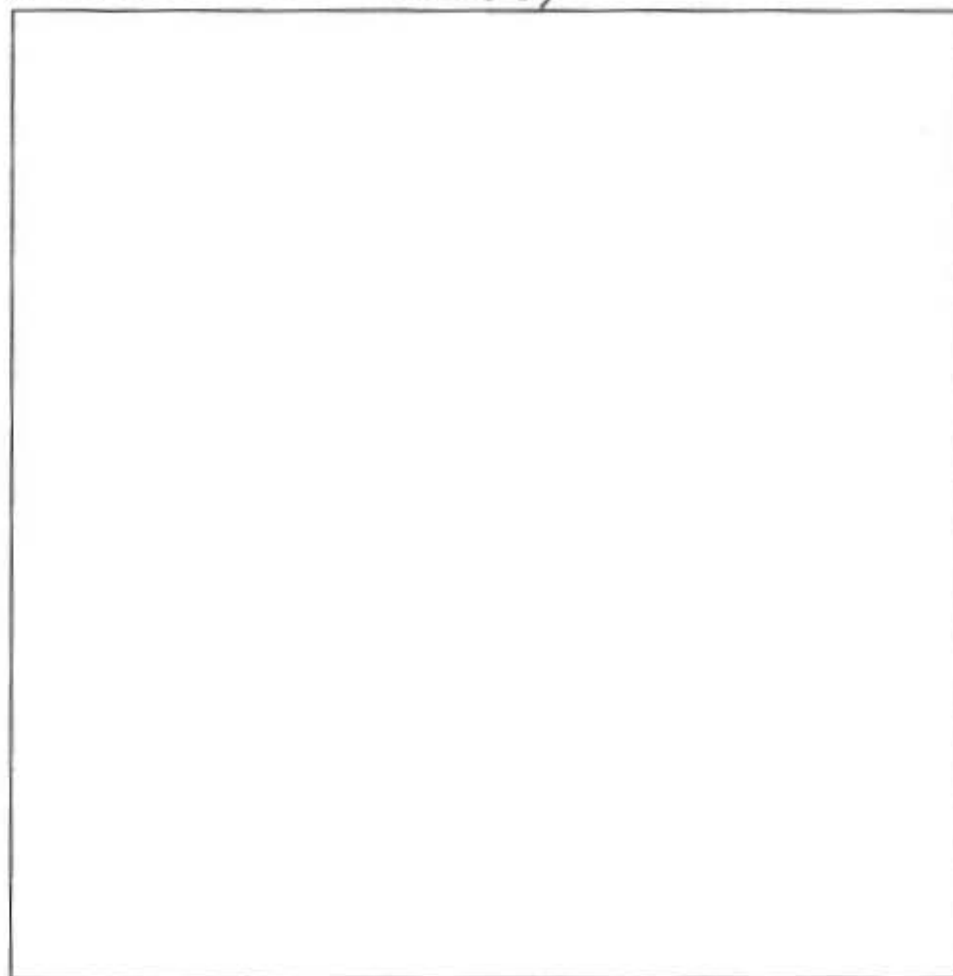
TEST RESULTS WILL BE MAILED TO APPLICANT.

SIGNATURE OF APPLICANT

HOWARD COUNTY HEALTH DEPARTMENT, BUREAU OF ENVIRONMENTAL HEALTH, WELL AND SEPTIC PROGRAM
7178 COLUMBIA GATEWAY DRIVE COLUMBIA, MARYLAND 21046 (410) 313-1771 FAX (410) 313-2648
TDD (410) 313-2323 TOLL FREE 1-877-4MD-DHMH

11268 Rt 216 A# 527829

AP _____



1' 6
brn & sbk
yellow/orange med silt/scl micaceous ~35% dry coarse chert ~15% cwrack
4' pink silt/scl micaceous saprolite
↓
11'

1.5' 5
brn & sbk / fill
orange brn med silt ~35% coarse chert (similar to #6)
4.5' pink silt/scl highly micaceous ~35% saprolite (similar to #6) Fe deposits
12.5'

1/2' 3
asphalt
fill
2.5' orange brn silty clay, dense (very sticky)
5' pale red brn med silt micaceous ~80% saprolite
12'


DATE	TEST #	DEPTH	START	BREAK 1" DROP	STOP 2" DROP	TIME OF 2ND INCH	P/F/H
10/23/07	6	6' / 11'	10:08	10:13	10:22	9	P
↓	5	12.5'	visual				P
↓	3	6' / 12'	10:50	10:56	11:09	13	P

REMARKS _____

SANITARIAN HS/SF BACKHOE Ketterman OTHERS _____

TEST HOLES USED IN SDA _____ AVG. PERC TIME _____ SQ. FT/BR _____

TRENCH WIDTH _____ INLET DEPTH _____ MAX. BOT DEPTH _____ EFFECTIVE SW _____



Cement ring (old well)

A# 527829



brown &
cu shk
maybe feel
dense drug

root sw	cu shk	} 25% w/ase net
2'	maybe feel dense dry	
5'	strong brn	

Strong brn
dense
medium &
cw

7 1/2 pale red
medium silty
very micaceous
saprolite

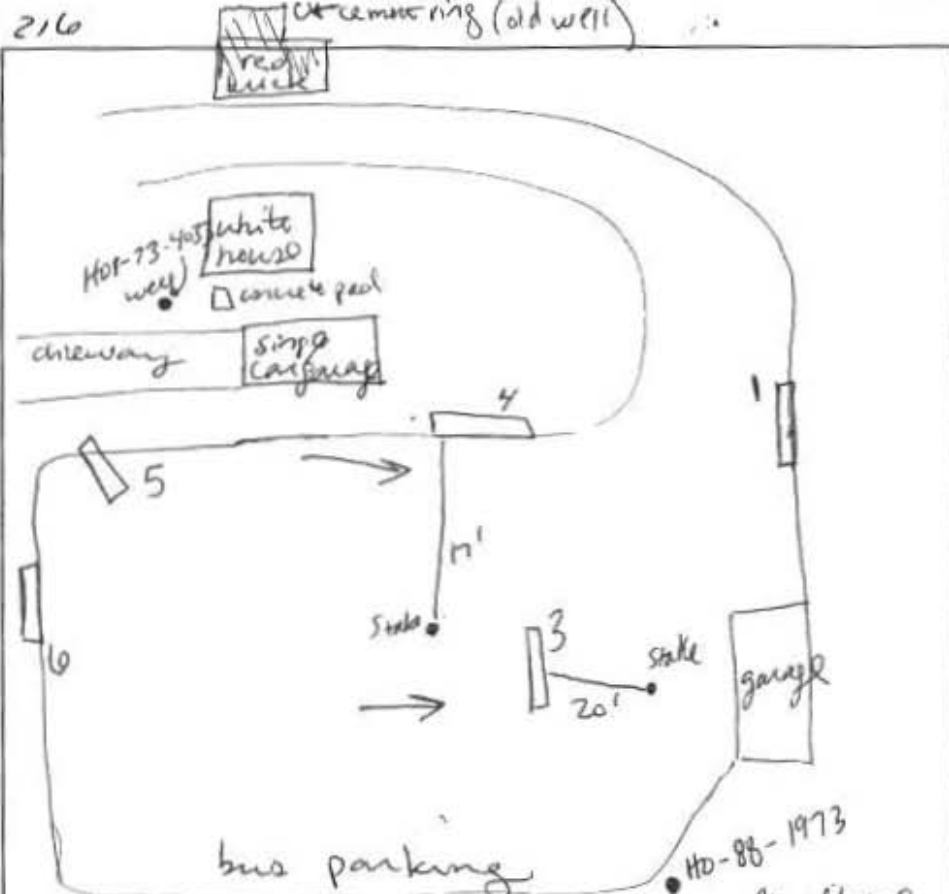
13

black oil/
asphalt
gravel

2' brown
dense cl
w/ gray feathers
sticking (contains)
26' pale red
sick sticking
microscopic

7 1/2	pale red medium silty v. micaceous saprolite
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14' (same as #2)



top of vault
~ 1 1/2' below grade

~ 7' deep -
concrete
vault

liquid level
starts at ~4-5'
below ground

2 1" diameter black
flexible pipe coming out
vanet maybe optic? of vanet

[illegible]

Holds due per plan except #3 + #4 adjusted in field

REMARKS Effective area #1, #2 @ 7 1/2-8'

SANITARIAN SS/HS BACKHOE Kethuman OTHERS Duane Gleason

TEST HOLES USED IN SDA	AVG PERC TIME	SQ. FT/BR
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TEST HOLES USED IN SDA _____			Avg/TENS TIME _____	SERIAL# _____
	MIN TEST DEPTH _____	MAY BOT DEPTH _____	EFFECTIVE SAM _____	

INLET DEPTH _____ MAX. BOT DEPTH _____ EFFECTIVE SW _____
All well ~~must~~ must be abandoned and SOA 25' from well must be abandoned.

4"	asphalt	
1 1/2"	brown l sbk dry	
3 1/2"	brown / pale marbling dense dry scl	red hard. siderite
4'	brown fine scl very micaceous saponite cw	
13'	pale red w/ brown (marbled) medium scl v micaceous	
	saponite loose n ground	



Bureau of Environmental Health
7178 Columbia Gateway Drive, Columbia, MD 21046-2147
(410) 313-2640 Fax (410) 313-2648
TDD (410) 313-2323 Toll Free 1-866-313-6300
website: www.hchealth.org

Peter L. Beilenson, M.D., M.P.H., Health Officer

October 29, 2007

Patty Wessel
11268 Scaggsville Rd
Laurel, Maryland 20723

RE: Percolation Test Results – A527829
11268 & 11274 Scaggsville Rd

Dear Ms. Wessel,

Percolation testing conducted October 22, 2007 on the referenced property indicated satisfactory soil conditions. Copies of the test results are enclosed. All of the existing wells on the properties must be properly abandoned prior to final approval. Also, a vault-type structure was uncovered near test hole #2. This also must be properly abandoned prior to final approval.

Further review is contingent upon submission of a percolation certification plan showing the following:

- 1) Actual surveyed locations and elevations of all excavated test holes
- 2) Proposed building site or footprint, including building restriction lines as determined by other County agencies, and driveway location
- 3) Existing and proposed property lines
- 4) Proposed SDA
- 5) A note must be included certifying that all existing wells and septic systems within 100 feet of property boundaries have been shown
- 6) A note stating all existing and proposed wells, septic systems and sewage disposal systems located within 200 feet down gradient of existing or proposed septic systems and sewage disposal easements.
- 7) A note stating the engineer used all reasonable efforts to find the location of all surrounding wells and septic systems
- 8) 25' setback from abandoned wells to septic easements
- 9) Topography needs to be shown at 2 foot contour intervals and a note certifying topography was field run and verified and reflects field-matched information
- 10) A MDE sewage disposal area statement is required
- 11) MDE minimum lot width statement
- 12) Include the statement, "Any changes to a private sewage easement shall require a revised perc certification plan"
- 13) Identification of streams, ponds, wetlands, floodplains, slopes >25%, soil types and soil type boundaries
- 14) Legend symbols to distinguish between new holes, any existing holes previously documented (by the HCHD), passed holes, failed holes, and any holes held for future review
- 15) Existing structures, wells, septic easements and other septic system components such as tanks, dry wells and distribution boxes. Description of use and intent designated for each item, e.g. 'to remain' or 'remove.'
- 16) A health officer signature block stating "approved for public water and private sewer systems."
- 19) Professional seal or signed statement that "I certify that the information shown heron is based on field work performed by me or under my direct supervision, and is correct, to the best of my knowledge and belief."

- 20) Identification of the property, road, street address if applicable, tax map page, parcel number, subdivision name (if appropriate); add purpose statement as appropriate, e.g. subdivision, SDA adjustment, percolation certification plan etc
- 21) Name, address and telephone number of each owner, developer and the plan author.
- 22) The date the plan was drawn, the plan scale (1:30 - 1:100), a scaled vicinity map and, the A # (percolation test fee receipt number, referenced in the HCHD correspondence)

In addition to the above, a proposal needs to be included on the plan explaining the size of the proposed structure, type of facility, number of employees etc. If you have any questions regarding this matter, please contact me at the above address or by calling (410) 313-4261.

Sincerely,

Sara Sappington, R.S.
Well and Septic Program
Development Coordination Section

Enclosures

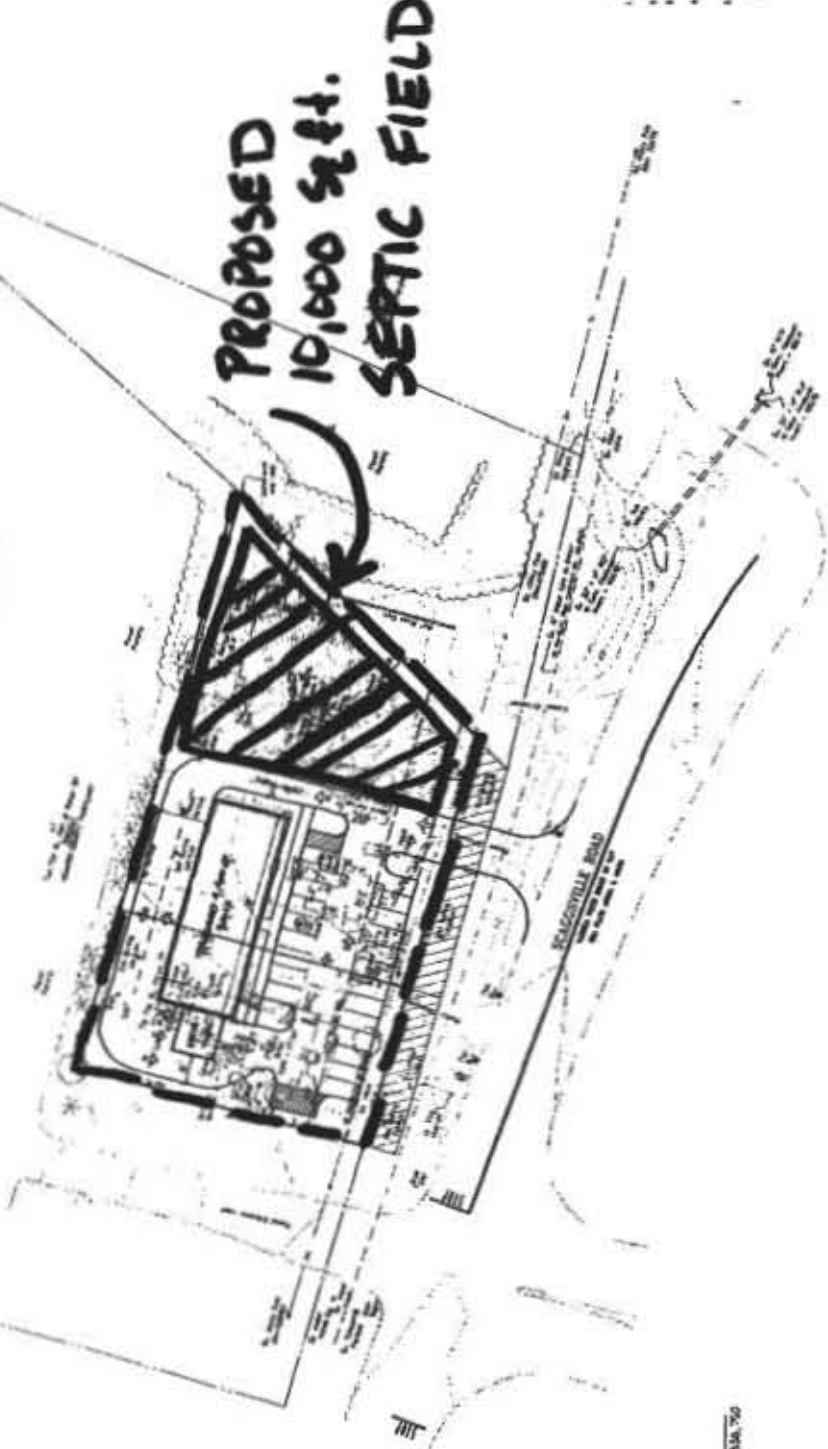
Cc: Duane Gleason, Kaz Construction, LLC

Address: 11268 & 11274 SEASIDEVILLE ROAD

PROPOSED SEPTIC FIELD

--- PROPERTY LINES

PROPOSED
10,000 sq ft.
SEPTIC FIELD



VICINITY MAP
Scale: 1" = 100'

- LEGEND
- PROPERTY LINES
 - PROPOSED SEPTIC FIELD
 - PROPOSED PROPERTY LINES
 - PROPOSED SEPTIC FIELD

PROPERTY LINES

PROPOSED SEPTIC FIELD

GENERAL NOTES

1. THE SEPTIC FIELD IS TO BE LOCATED TO THE RIGHT OF THE PROPOSED PROPERTY LINES.
2. THE SEPTIC FIELD IS TO BE LOCATED TO THE RIGHT OF THE PROPOSED PROPERTY LINES.
3. THE SEPTIC FIELD IS TO BE LOCATED TO THE RIGHT OF THE PROPOSED PROPERTY LINES.
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9. THE SEPTIC FIELD IS TO BE LOCATED TO THE RIGHT OF THE PROPOSED PROPERTY LINES.
10. THE SEPTIC FIELD IS TO BE LOCATED TO THE RIGHT OF THE PROPOSED PROPERTY LINES.

christopher consultants

GRAPHIC SCALE
1" = 100'

Prepared For:
K&B BROTHERS, LLC
11268 Seasideville Road
Silver Spring, MD 20906

Conceptual Site Layout 'C'

WESSEL PROPERTY

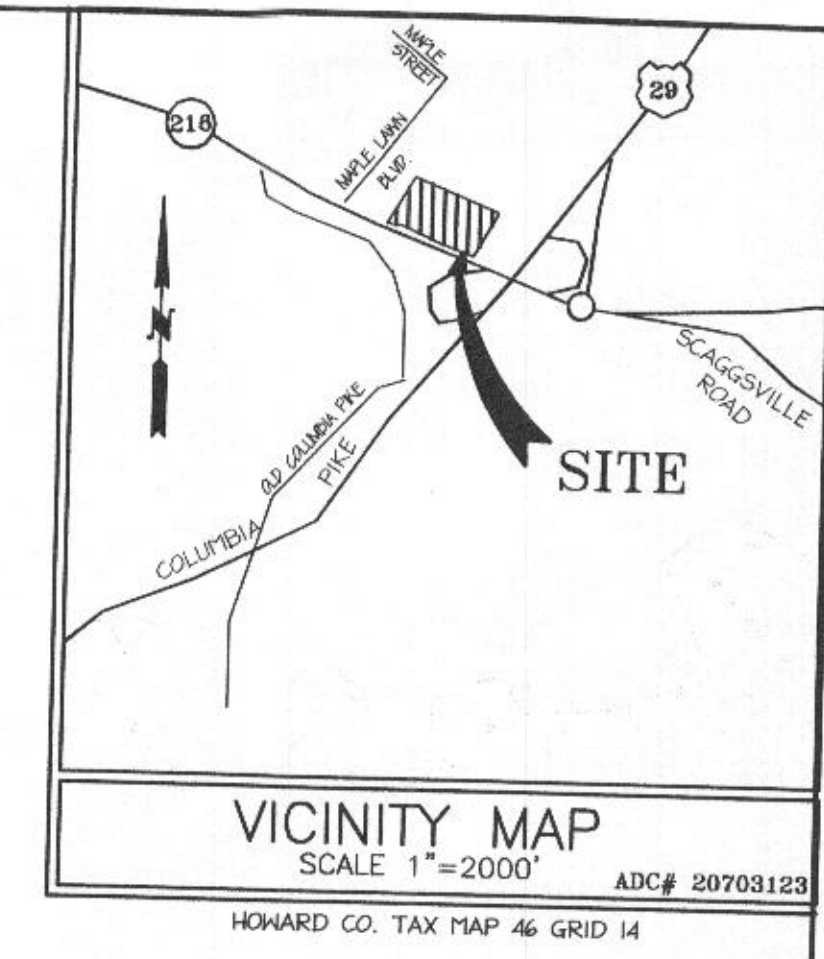
Howard County, Maryland
Date: 08-04-2007 Project #: 014581.00

preliminary testing



LEGEND

- EXISTING CONTOURS
- PROPOSED PROPERTY LINE
- ADJACENT PROPERTY LINES
- BUILDING RESTRICTION LINES
- EXISTING BUILDINGS
- SOILS LINE
- (T.B.R.) TO BE REMOVED



- NOTES:**
- THIS AREA DESIGNATES A SEWAGE DISPOSAL AREA OF AT LEAST 10,000 SQUARE FEET AS REQUIRED BY MD STATE DEPT. OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL. IMPROVEMENT OF ANY NATURE IN THIS AREA ARE RESTRICTED. THIS DISPOSAL AREA SHALL BECOME NULL & VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWAGE DISPOSAL AREA.
 - DESIGNATES SOIL BORING LOCATION.
 - DESIGNATES PERC TEST LOCATION.
 - DUE TO THE WATER LINE BEING CONSTRUCTED IN SCAGGSVILLE RD., WELLS WITHIN 200' OF THE PROPERTY MAY HAVE BEEN PREVIOUSLY ABANDONED. IT IS ADVISED THAT THE DEVELOPER/OWNER FIELD VERIFY THIS STATEMENT. THE LOCATION OF SEPTIC SYSTEMS WITHIN 100' OF THE PROPERTY LINES SHOULD ALSO BE VERIFIED.
 - THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
 - ALL STRUCTURES SHOWN COMPLY WITH MINIMUM BUILDING RESTRICTION REGULATIONS.
 - THERE ARE NO STEEP SLOPES, WETLANDS, STREAMS, OR FLOODPLAINS ON SITE.
 - BOUNDARY AND TOPOGRAPHY ARE BASED ON FIELD RUN SURVEY COMPLETED BY CHRISTOPHER CONSULTANTS.
 - THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS / BUREAU OF ENGINEERING / CONSTRUCTION INSPECTION DIVISION AT 410.313.000 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
 - THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1.800.257.7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
 - ANY DAMAGE TO THE COUNTY'S AND/OR STATE'S RIGHT-OF-WAYS SHALL BE CORRECTED AT THE DEVELOPERS EXPENSE.
 - ANY CHANGES TO "PRIVATE SEWERAGE EASEMENT" SHALL REQUIRE A REVISED PERCOLATION PLAN CERTIFICATION PLAN.
 - ANY CHANGES TO A "PRIVATE SEWERAGE EASEMENT" SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
 - OPERATING EXISTING VALVES, SWITCHES, SERVICES OR START UP OF NEW SEWAGES SHALL BE COORDINATED WITH THE OWNERS REPRESENTATIVE.
 - PERCOLATION BORINGS SHOULD BE STAKED OUT BY A SURVEYOR TO VERIFY INVERTS AND ELEVATIONS.

Name	Component	Type
ChA	Chester	B
ChB2	Chester	B
ChC2	Chester	B
EkC2	Eliok	C
GnB2	Glenville	C
G1B2	Glenelg	B
M1B2	Manor	B
M1C2	Manor	B

SITE DATA

PROPERTY LOCATION:
HOWARD COUNTY TAX MAP NO. 46, GRID 14
PARCEL 176 (LIBE/FOLIO - 140531/1694)
PARCEL 177 (LIBE/FOLIO - 140531/1706)
ELECTION DISTRICT 9

SITE LOCATION:
11274 SCAGGSVILLE ROAD
LAUREL, MARYLAND 20723

EXISTING PROPERTY USE:
TWO EX. SINGLE-FAMILY RESIDENCES

LOT INFORMATION:
GROSS TRACT AREA: 10.92 ACRES (39,960 S.F.)
100 YEAR FLOODPLAIN: 0.0 ACRES
NET TRACT AREA: 10.92 ACRES

CENSUS TRACT:
6051.02

ZONING:
B-1

APPROVED: DEPARTMENT OF PUBLIC WORKS

Chief, Bureau of Highways _____ Date _____

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development _____ Date _____

Chief, Development Engineering Division _____ Date _____

Date	No.	Revision Description
		DEVELOPER
		KAZ BROTHERS, L.C. ATTN: CRAIG KAZANJIAN 2100 BLUEKNOS TERRACE SILVER SPRING, MARYLAND 20906 TEL. (301) 530-6200 FAX (301) 530-6131



WESSEL PROPERTY
11274 SCAGGSVILLE ROAD.
LAUREL, MARYLAND 20723

TITLE:
PERCOLATION CERTIFICATION PLAN

DESIGN: PE/ENJ	SCALE: 1" = 30'	PROJECT: 074501.00
DRAWN: DAM/VEN/YPE	DATE: SEPTEMBER 2007	
CHECKED: ENJ	APPROVED:	

1 OF 1

APPROVED: FOR PRIVATE SEWERAGE SYSTEMS

COUNTY HEALTH OFFICER _____ DATE _____
HOWARD COUNTY HEALTH DEPARTMENT

