APPLICATION

PERCOLATION TESTING A 5/8625

HOWARD COUNTY HEALTH DEPARTMENT BUREAU OF ENVIRONMENTAL HEALTH

3525-H ELLICOTT MILLS DRIVE/ELLICOTT CITY, MARYLAND 21043

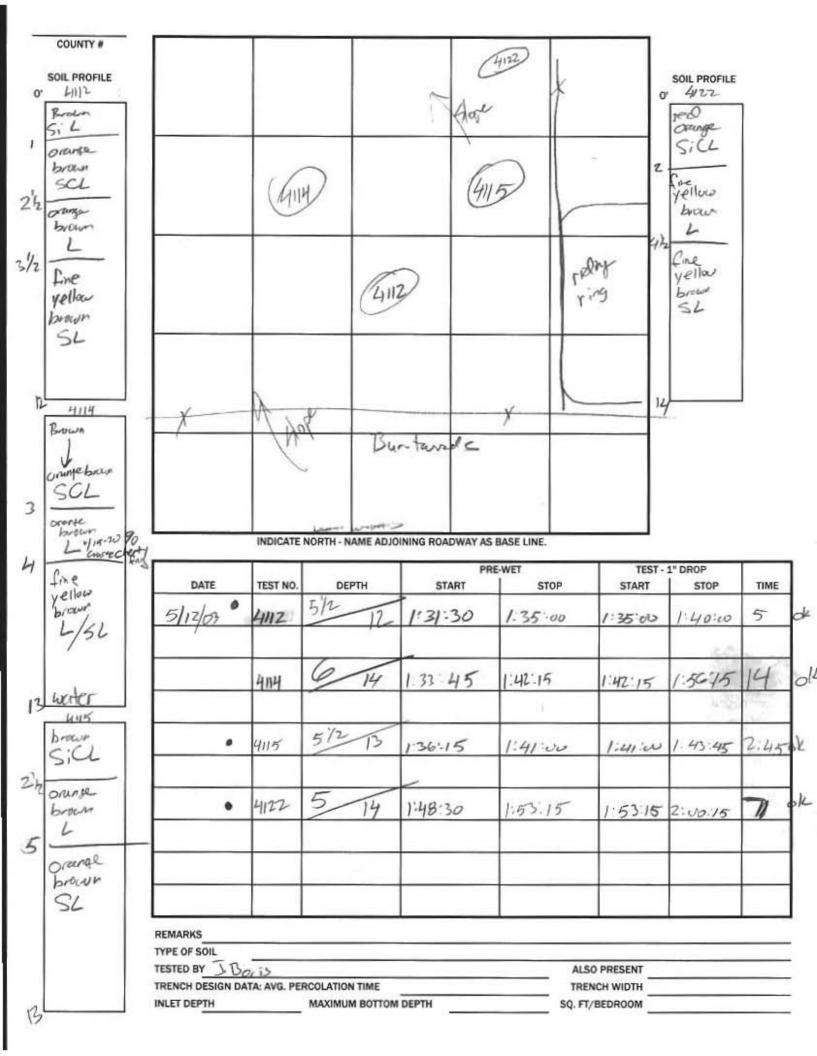
TELEPHONE: 410-313-2640

	~	018620
	P	
DISTRICT		
DATE	4	115/2003

TO: THE COUNTY HEALTH OFFICER ELLICOTT CITY, MARYLAND

PROPERTY OWNER	Lis	a A. Henry				
ADDRESS _	14347 Burnt W	Voods Rd., Glenwood, MD 21738 PHO		PHONE	E 301-854-5243	
AGENT OR PROSP	ECTIVE BUYER	Heritage Land D	Development			
ADDRESS	3060 Washingto	on Rd., Suite 220, Gle	nwood, MD 21738	PHONE	E 410-489-7900	
PROPERTY LOCAT	Maria and the					5 14
UBDIVISION 6 FEALLOOD Estates		LOT NO. B	ulclable Pgs	Horael A		
ROAD AND DESCR	SV	VS Burntwoods Rd.				
TAX MAP NO.	21	PARCEL#	106	107		
SIZE OF LOT	1 Acre Lots	3		TYPE OF BLDG.	Single Famil	y Dwelling
FEE CONNECTED V		PPLICATION IS ACCEPTABLE HIS PERC TEST APPLICATION TESTING THIS LOT.		0		
APPROVED BY			FOR		DATE	
SAPPROVED BY	<u> </u>		FOR	DATE		
OLD PENDING FL	URTHER TESTS					
REASONS FOR RE	JECTION OR HOLDING					
PERCOLATION TES	ST PLAT/PRELIMINARY	PLAT - TITLE OR I.D. #			DATE	
		TITLE OR I.D. #			DATE	

THIS IS NOT A PERMIT



APPLICATION

PERCOLATION TESTING

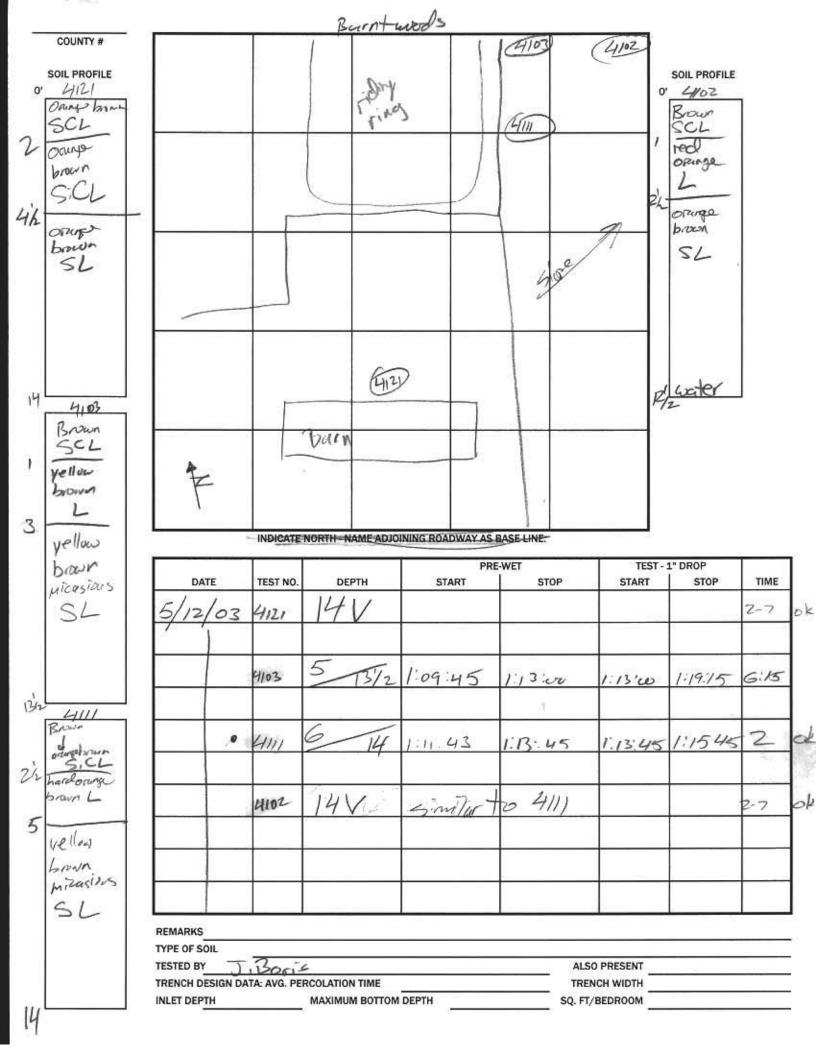
A 518625
P
TRICT
DATE 4/16/2003

HOWARD COUNTY HEALTH DEPARTMENT
BUREAU OF ENVIRONMENTAL HEALTH
3525-H ELLICOTT MILLS DRIVE/ELLICOTT CITY, MARYLAND 21043
TELEPHONE: 410-313-2640

TO: THE COUNTY HEALTH OFFICER ELLICOTT CITY, MARYLAND

PROPERTY OWNER	Lis	a A. Henry			
ADDRESS	14347 Burnt W	oods Rd., Glenwood, M	D 21738	PHONE	301-854-5243
AGENT OR PROSPECTIVE BUYER Heritage Land Development					
ADDRESS _	ADDRESS 3060 Washington Rd., Suite 220, Glenwood, MD 21738		8 PHONE	410-489-7900	
PROPERTY LOCATI	ON:				
SUBDIVISION _	Glen	wood Esta	es	LOT NO	p 11
ROAD AND DESCR	IPTION S\	VS Burntwoods Rd.			
	2500		W. Sales		
TAX MAP NO.	21	PARCEL #	106		
SIZE OF LOT	1 Acre Lot	3		TYPE OF BLDG.	Single Family Dwelling
WITH ALL M.O.S.H.	A. REQUIREMENTS IN	TESTING THIS LOT.	Tu	M MATURE O	CES. +ALSO AGREE TO COMPLY
APPROVED BY			FOR		DATE
DISAPPROVED BY			FOR		DATE
	DTUED TECTO				
HOLD PENDING FU	HIHER IESIS				
HOLD PENDING FU REASONS FOR REJ	ECTION OR HOLDING				
REASONS FOR REJ	ECTION OR HOLDING	PLAT - TITLE OR I.D. #			

THIS IS NOT A PERMIT



DIVERSIFIED PERMITS, INC.

P.O. Box 242 Millersville, MD. 21108 Office: (410) 859-5583 Fax: (410) 859-5584

Email: robertbaxter27@aol.com

September 21, 2009

Ms. Heidi Scott Health Department

Re: Glenwood Estates Lot 9

3308 Saddle Horse Court Glenwood, MD.

Dear Heidi,

Attached you will find (3) copies of a "revised" Percolation Certification and Site Plan Revision for the above referenced project.

The requested note regarding any changes to the private sewage easement has been added. The force main that runs through the septic easement has been revised by straightening the disturbed area through the easement to the distribution box. The title of the plan has been adjusted by adding "Site Plan".

If there is any additional information that would assist in your review and approval, please contact this office directly.

Sincerely,

Diversified Permits, Inc.

Robert E. Baxter, Jr.

President



P.O. Box 242 Millersville, MD. 21108 Office: (410) 859-5583 Fax: (410) 859-5584

Email: robertbaxter27@aol.com

August 25, 2009

Mr. Robert Bricker, R.S. CPSS Environmental Sanitarian Supervisor Bureau of Environmental Health

Re: Glenwood Estates Section 2 Lot 9 3308 Saddle Horse Court Glenwood, MD. 21734 Tax Map 21 Block 6 Parcel 190

Dear Mr. Bricker.

This is a formal submittal for the Percolation Certification Plan Revision for the above referenced project. Attached are (3) copies of plans per our meeting dated 8/14/09. The following comments you gave in person have been addressed accordingly:

- All adjacent septic areas have been shown within 100-feet of the boundary.
 The required note has been added to the plans.
- The purpose note has been revised to include the statement, "...and to reconfigure well locations."
- The percolation test locations have been shown on the plan and the septic area has been more clearly delineated with hatching.
- The Professional Certification from our engineer has been provided at the bottom of the plan.
- In addition to the existing well location out by Burntwoods Road, two alternate well locations have been shown including the required original 1,500 sq. ft. well box.
- 6. The inverts of the septic line coming from the house, to the septic tank, pump pit and distribution box have all been verified to be correct. No portion of the septic system encroaches within the 100 Year Floodplain and Drainage Easement running through the site.

If there is any additional information that would assist in your review and approval, please contact this office directly.

Sincerely,
Diversified Permits, Inc.

Robert E. Baxter, Jr.

President



GENERAL NOTES:

1. THIS AREA DESIGNATES A PRIVATE SEWERAGE EASEMENT OF 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWERAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERAGE IS AVAILABLE. THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWERAGE EASEMENT. RECORDATION OF A MODIFIED SEWERAGE EASEMENT SHALL NOT BE NECESSARY.

2. THE LOTS SHOWN HEREON COMPLIES WITH THE MINIMUM LOT WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.

3. ALL EXISTING WELLS AND/OR SEWERAGE EASEMENTS WITHIN 100 FEET OF THE PROPERTY HAVE BEEN SHOWN FROM THE BEST AVAILABLE INFORMATION.

4. ALL WELLS SHALL BE DRILLED PRIOR TO FINAL PLAT RECORDATION. IT IS THE DEVELOPER RESPONSIBILITY TO SCHEDULE THE WELL DRILLING PRIOR TO THE FINAL PLAT SUBMISSION. IT WILL NOT BE CONSIDERED "GOVERNMENT DELAY" IF THE WELL DRILLING HOLDS UP THE HEALTH DEPARTMENT SIGNATURE OF THE RECORD PLAT. IF THE WELL SUCCESS RATE IS ACCOMPLISHED AT VARIOUS LOCATIONS WITHIN THE SITE, THE DEVELOPER SHALL HAVE THE OPTION TO REQUEST RELIEF FROM DRILLING THE REMAINING WELLS PRIOR TO PLAT RECORDATION.

5. TOPOGRAPHY IS FROM AERIAL TOPOGRAPHY PREPARED BY MCKENZIE SNYDER, inc. ON JULY 4, 2003.

6. BOUNDARY INFORMATION IS BASED ON BOUNDARY SURVEY PERFORMED ON OR ABOUT MAY, 2003 BY GUTSCHICK, LITTLE & WEBER, PA.

7. PROPERTY TABULATION: A. TAX PARCEL 190 B. TOTAL ACREAGE: 6.35 AC.

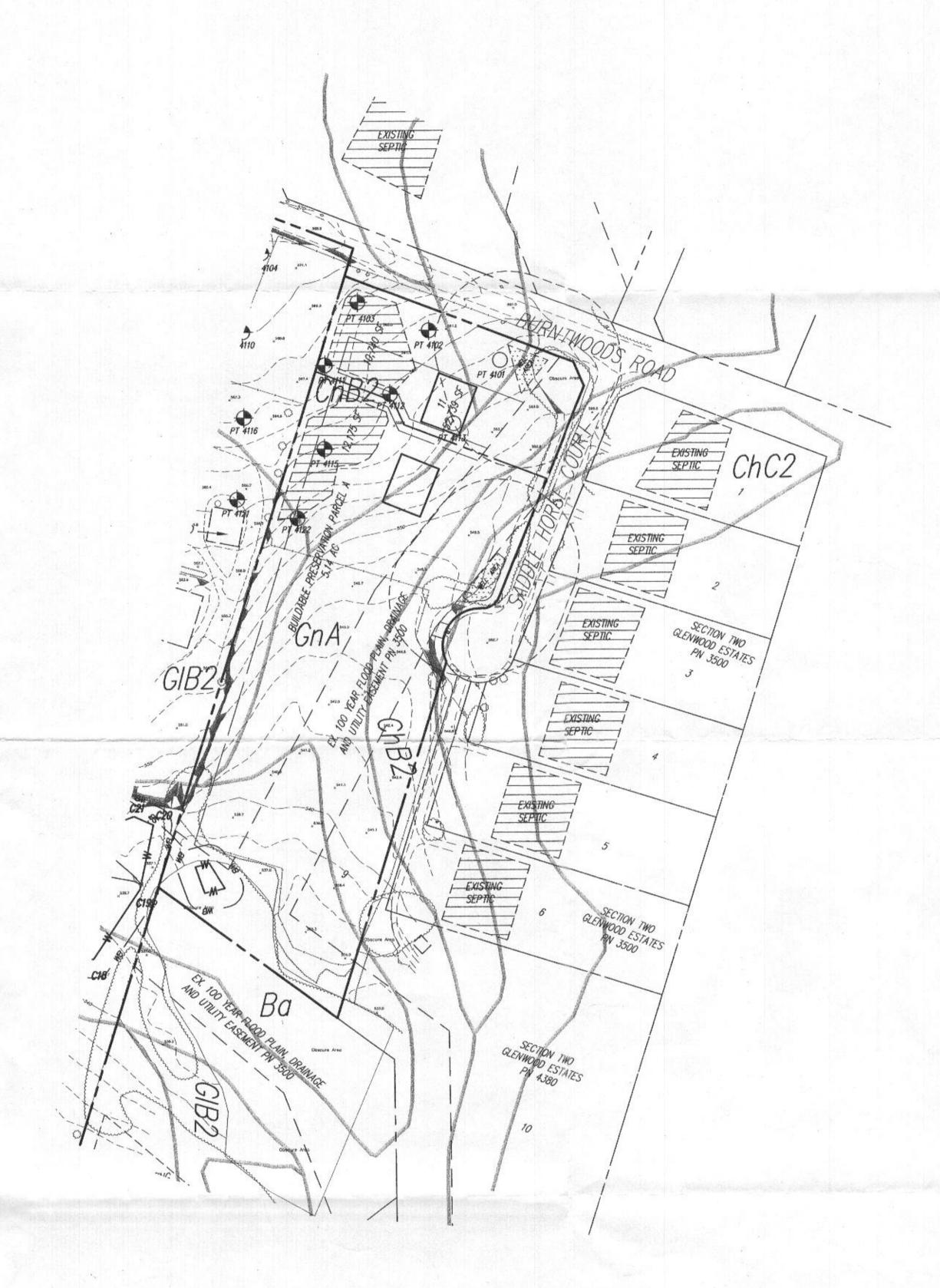
PERCOLATION CERTIFICATION

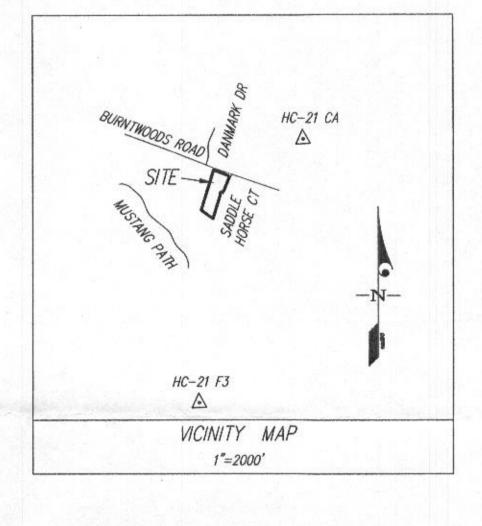
I CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THAT THE LOCATIONS SHOWN HEREON IS BASED ON FIELD LOCATIONS DONE UNDER MY

APPROVED FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER GAS DATE

See revised perc cert.





LINE TYPES

DEPARTMENT OF THE PROPERTY OF ----- WB ----- WETLANDS BUFFER ----- CENTERLINE STREAM ---- SB ---- STREAM BUFFER ---- FP ----- FLOOD PLAIN ----- PROPERTY LINE DENOTES 25% AND GREATER SLOPE

LEGEND:

* PASSED TEST PIT O FAILED TEST PIT

SOIL TYPES

Ba - BAILE SILT LOAM

ChB2 - CHESTER SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED

ChC2 - CHESTER SILT LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED

GIB2 - GLENELG LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED

GIC2 - GLENELG LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED

GNA - GLENVILLE SILT LOAM, O TO 3 PERCENT SLOPES GnB2 - GLENVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED

GLWGUTSCHICK LITTLE & WEBER, P.A.

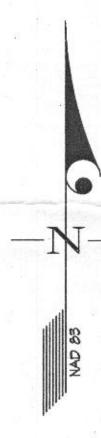
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

\Drawings\02118\WXHIBITS\02118erpcplan4.dwg DES. DRN. PWC CHK. REVISION APP'R. DATE

PREPARED FOR: RICHARD AZRAEL SNOWDEN COMMONS 5850 WATERLOO ROAD, SUITE 230 COLUMBIA, MARYLAND 21045 CONTACT: RICHARD AZRAEL TELEPHONE NUMBER: 410-480-3699

PERCOLATION PLAN GLENWOOD ESTATES - SECTION TWO LOT 11 AND PERSERVATION PARCEL A
(A RESUBDIVISION OF LOT 9, PN. 4380) LISBON ELECTION DISTRICT No. 2

	SCALE 1"=100'	ZONING RR-DEO	G. L. W. FILE No. 02-118	
	DATE	TAX MAP - GRID	SHEET	
HOWARD COUNTY, MARYLAND	OCTOBER, 2003	21 – 5	1 OF 1	



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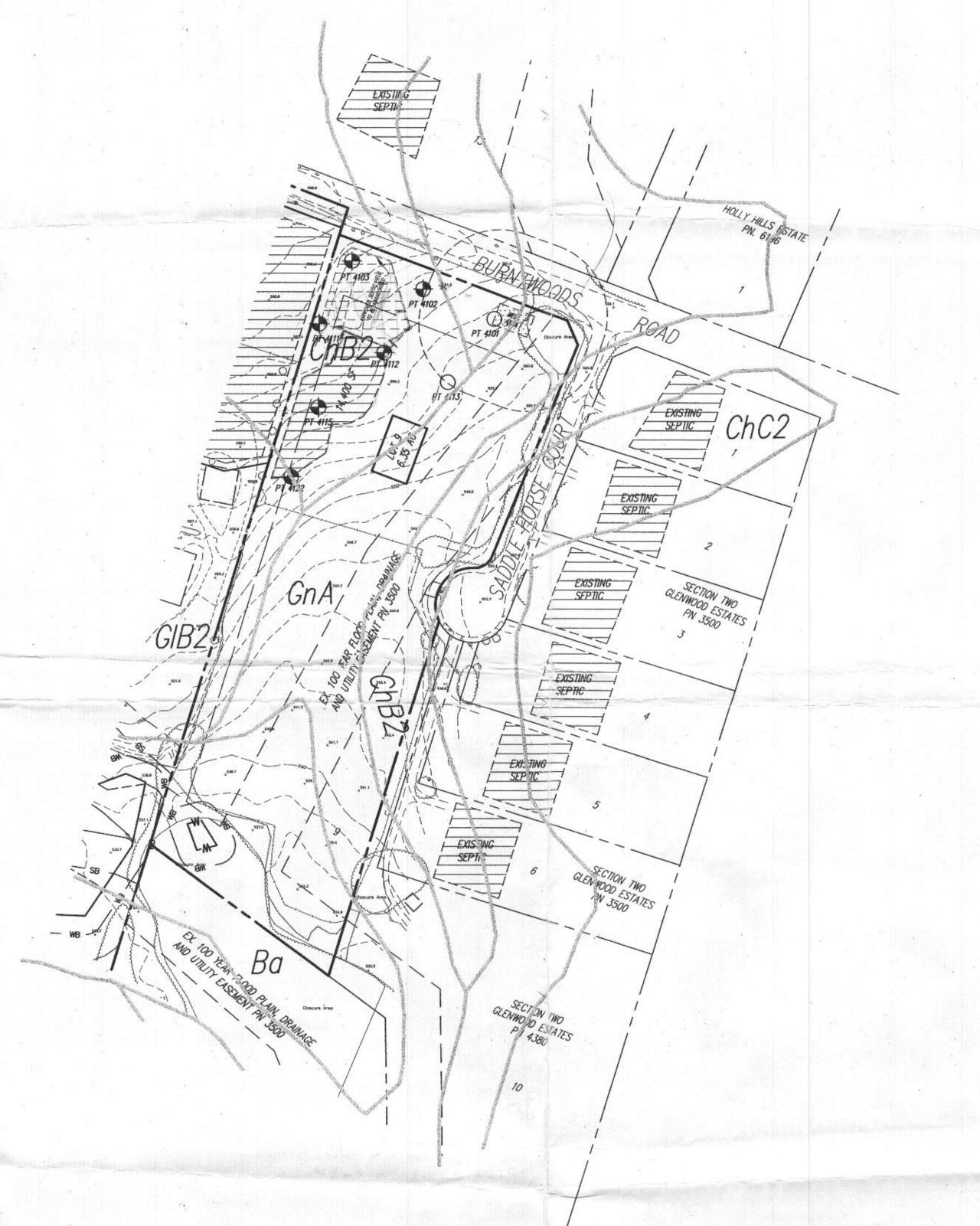
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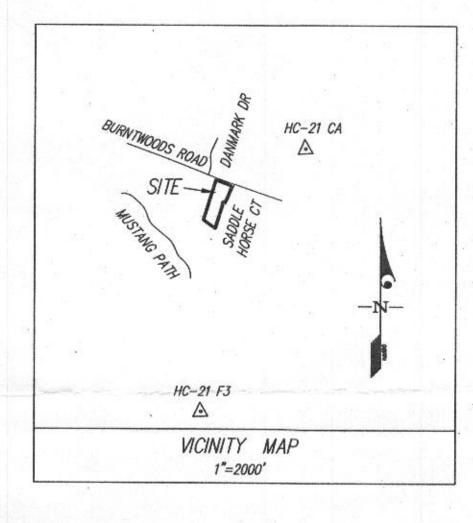
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THOMAS C. O'CONNOR, JR., P.E.



APPROVED FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT





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FEB 1 5 2007

Clotschick, Little & Weber, P.A.

GLWGUTSCHICK LITTLE & WEBER, P.A.

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LISBON ELECTION DISTRICT No. 2

PERCOLATION PLAN GLENWOOD ESTATES - SECTION TWO LOT 9 PN. 4380

G. L. W. FILE No. RR-DEO TAX MAP - GRID SHEET 21 - 51 OF 1

1"=100"

FEB., 2007

HOWARD COUNTY, MARYLAND

