

HOWARD COUNTY
PERMIT APPLICATION

PERMIT NUMBER

Walk-In

B10001709

Building Address 3308 Saddle Horse Court
Clenwood, md 21734

Suite/Apt. #: _____ SDP/WP/Petition #: _____

Census Tract _____ Subdivision Clenwood

Section _____ Area _____ Lot 9

Tax Map 21 Parcel 190 Grid 6

Zoning _____ Map Coordinates _____ Lot Size _____

Existing Use SFP

Proposed Use SFP

Estimated Construction Cost \$ 5000.00

Description of Work Bury a 1000 gal U.G.
fuel oil tank to home

Occupant or Tenant _____

Contact Name _____

Address _____

City _____ State _____ Zip Code _____

Phone _____ Fax _____

Property Owner's Name Ali Beza Sedighian

Address 10704 Crofton Court

City Woodstock State MD Zip Code 21167

Home Phone 410-979-7988 Work Phone _____

Applicant's Name & Mailing Address, (if other than stated herein): _____

Phone _____ Fax _____

Contractor Company Economy Propane

Contact Person Bobby Perry

Address 747 MD RTE 3 North Unit 3

City Cambells State MD Zip Code 21054

License No. _____

Phone 410-923-1132 Fax 410-923-5750

Engineer or Architect Company N/A

Contact Person _____

Address _____

City _____ State _____ Zip Code _____

Phone _____ Fax _____

BUILDING DESCRIPTION - COMMERCIAL

Building Characteristics	Utilities
Height: _____	Water Supply: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private
No. of stories: _____	Sewage Disposal: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private
Gross area, sq. ft. per floor: _____	Electric Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Use group: _____	Gas Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Construction type: _____	Heating System: _____
<input type="checkbox"/> Reinforced Concrete	Electric <input type="checkbox"/> Oil <input type="checkbox"/>
<input type="checkbox"/> Structural Steel	Natural Gas <input type="checkbox"/>
<input type="checkbox"/> Masonry	Propane Gas <input checked="" type="checkbox"/>
<input type="checkbox"/> Wood Frame	Sprinkler system: <input type="checkbox"/> N/A <input type="checkbox"/>
<input type="checkbox"/> State Certified Modular	<input type="checkbox"/> Full
	<input type="checkbox"/> Partial
	<input type="checkbox"/> Other Suppression
	<input type="checkbox"/> # of Heads _____

BUILDING DESCRIPTION - RESIDENTIAL

Building Characteristics	Utilities
SF Dwelling <input checked="" type="checkbox"/> SF Townhouse <input type="checkbox"/>	Water Supply: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private
Depth _____ Width _____	Sewage Disposal: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private
1 st floor: _____	Electric Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
2 nd floor: _____	Gas Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Basement: _____	Heating System: _____
Finished Basement <input type="checkbox"/> Unfinished Basement <input type="checkbox"/> Crawl space <input type="checkbox"/> Slab on Grade <input type="checkbox"/>	Electric <input type="checkbox"/> Oil <input type="checkbox"/>
No. of Bedrooms _____	Natural Gas <input type="checkbox"/>
Multi-family dwellings: _____	Propane Gas <input checked="" type="checkbox"/>
No. of efficiency units: _____	Sprinkler system: <input type="checkbox"/> N/A <input type="checkbox"/>
No. of 1 BR units: _____	<input type="checkbox"/> NFPA #13D
No. of 2 BR units: _____	<input type="checkbox"/> NFPA #13R
No. of 3 BR units: _____	<input type="checkbox"/> Other: _____
Other Structure: _____	
Dimensions: _____	
Footings: _____	
Roof: _____	
<input type="checkbox"/> State Certified Modular	
<input type="checkbox"/> Manufactured Home	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ON THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Doug Melker
Applicant's Signature

Economy Propane @ Verizon.net
Email Address

Owner / Economy Propane
Title/Company

Doug Melker
Print Name

Date

Checks payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY AND LEGIBLY.

- FOR OFFICE USE ONLY -

AGENCY DATE SIGNATURE APPROVAL

Land Development, DPZ

State Highways

Building Officials

Dev. Engineering, DPZ

Health 6-11-10 Rena Bernard

Fire Protection

Is Sediment Control approval required prior to issuance?
YES ☐ NO ☐

CONTINGENCY CONSTRUCTION START: ☐
ONE STOP SHOP: ☐

DPZ SETBACK INFORMATION

Front: _____

Rear: _____

Side: _____

Side St.: _____

All minimum setbacks met?

YES ☐ NO ☐

Is Entrance Permit Required?
YES ☐ NO ☐

Historic District?
YES ☐ NO ☐

Lot Coverage for New Town Zone
SDP/Red-line approval date _____

Filing fee \$ _____

Permit fee \$ _____

Excise tax \$ _____

Add'l per fee \$ _____

TOTAL FEES \$ _____

Sub-total paid \$ _____

Balance due \$ _____

Check # _____

Validation # _____

Accepted by _____

DEPT. OF INSPECTIONS, LICENSES AND PERMITS 3430 COURT HOUSE DRIVE ELLCOTT CITY, MD 21047 PERMITS (410) 313-2455 INSPECTIONS (410) 313-1810 AUTOMATED INFORMATION (410) 313-3800		HOWARD COUNTY PERMIT APPLICATION		PERMIT NUMBER B09002136																																																																													
Building Address 3000 SWAN HILL CT GROTON MD 21734			Property Owner's Name A.L. SINGH Address 1074 COOPER CT City POTOMAC State MD Zip Code 20854 Home Phone 410-259-1400 Work Phone Applicant's Name & Mailing Address, (if other than stated herein): Phone Fax																																																																														
Suite/Apt. #: SDP/WP/Petition #: Census Tract Subdivision Section Area Lot Tax Map 21 Parcel 190 Grid 6 Zoning R Map Coordinates Lot Size 62 AC			Contractor Company Contact Person Address City State Zip Code License No. Phone Fax																																																																														
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Distribution of Copies - White: Building Officials Green: LDD, DPZ Yellow: DED, DPZ Pink: Health Gold: SHA T:Operations/Updated forms																																																																																	

(Sole 1-30)

GgB

Copyright ADC The Map
Permitted Use Number



VICINITY MAP

SCALE: 1" = 2,000'
ADC MAP # 9 GRID: E7

URNTWOODS ROAD

(MAJOR COLLECTOR 60' R/W)

4111

P-Box

PROP. DIST. BOX
(MIN. 1'-0" COVER)

APPROVED SEPTIC AREA

PROP. 2000 GAL
SEPTIC TANK
TOP OF TANK=553.5
(MIN. 1'-0" COVER)

PROP. 1000 GAL.
PUMP PIT
(MIN. 1'-0" COVER)

4115

4112

Ex. Well
HC-95-0751

20' SETBACK TO SEPTIC AREA

GgB

APPROVED
WALK-THRU BUILDING PERMIT

SAN Bernardino DATE: 6-11-10
DEPT. OF WORK: Proposed Tank
1000s Approved as shown

GmB

ALTERNATE WELL
LOCATIONS

ORIGINAL WELL
BOX 1,500 S.F.

PROP. TWIN 36"
CMP CULVERT

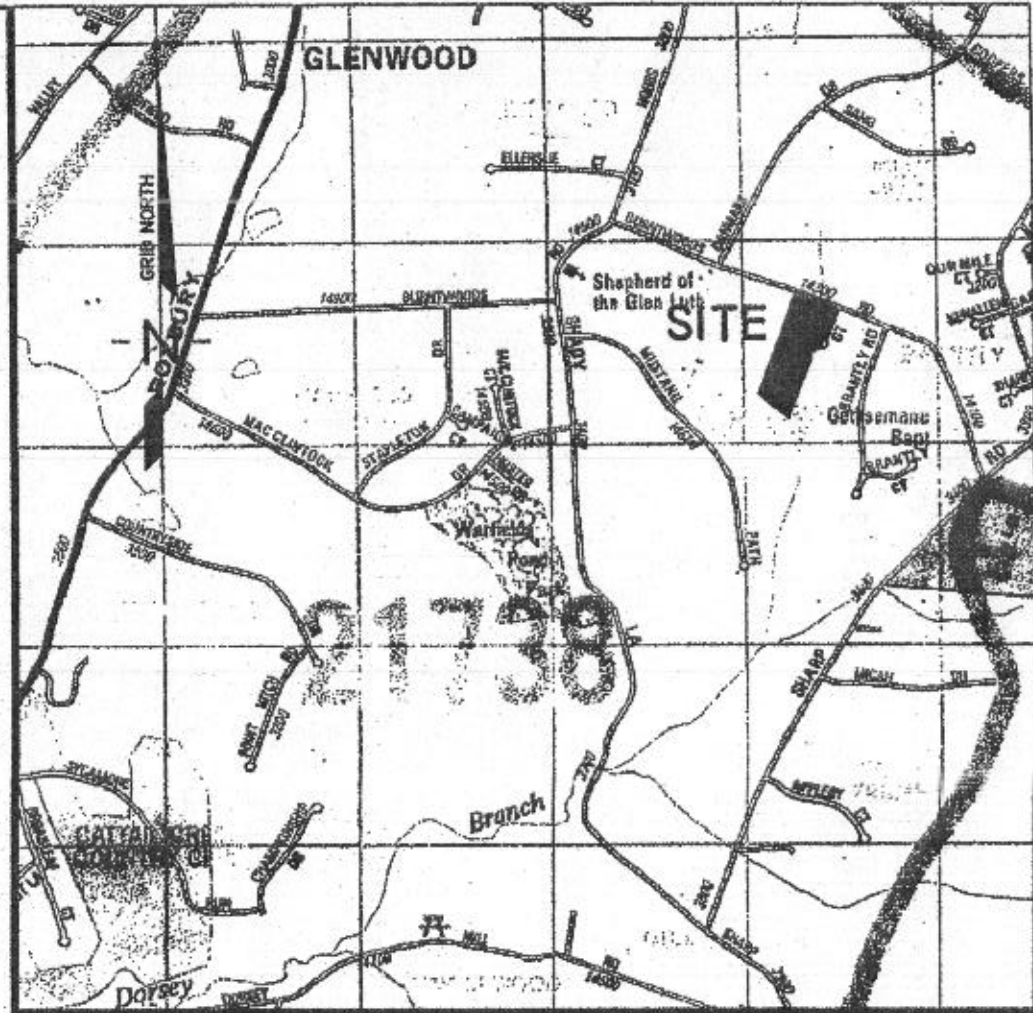
ent Plan
Department
1-5-09
Date

approved
per CEA

GLENWOOD ESTATES - SECTION 2

LOT #9

GRADING, EROSION, & SEDIMENT CONTROL PLAN



VICINITY MAP
SCALE: 1" = 2,000'
ADC MAP # 2, GRID: E7

GENERAL NOTES

- Total area of site is: 276,808 sq. ft. 6.35 Ac +/-
- Existing Zoning is: R Setbacks: Front: Rear: Side:
- Existing Use of the site is: VACANT
- Proposed Use of the site is: ONE SINGLE FAMILY DWELLING
- Site is known as: GLENWOOD ESTATES - SECTION 2 LOT #9
- Well and Septic to be installed and utilized.
- FEMA-FIRM Map # 240008-00 Zone: Zone: N/A
- Site is not within the Critical Area Zone. Zone: N/A
- A property line survey has not been completed at this time.

- The contractor shall be responsible for repairing and replacing any existing fences, driveways, etc. damaged or removed during construction.
- The contractor shall notify "MISS UTILITY" (1-800-257-7777), five (5) working days before starting work shown on these drawings.
- This plan is intended to provide sediment and erosion control during the grading of the road(s) and lot(s) and the construction of the house(s). Measures have been taken to prevent sediment from leaving the site.
- D.P., Inc. has not field-verified existing utility information. It is the responsibility of the contractor to contact and obtain all records, information, and locations prior to commencement of grading operations. Any discrepancies shall be brought to D.P., Inc.'s attention immediately.
- Contours shown on this plan are taken from FIELD SURVEY (for on-site areas). For off-site areas they are taken from Howard Co. Topo and Utility Operations maps. The contractor shall verify the elevations to his own satisfaction prior to starting work. Any discrepancies shall be brought to D.P., Inc.'s attention immediately.
- Any pertinent information within 100' of the property line is shown.
- All roof areas shall drain through downspouts onto splash blocks and ultimately discharge to a vegetatively stabilized area, or drain to a Stormwater Management device as shown on these plans.

EROSION CONTROL GENERAL NOTES:

- AGENCY NOTIFICATION
The Contractor shall notify Howard County Department of Inspection and Permits (410-313-2455) at least 48 hours before starting work.
- MAINTENANCE OF SOIL EROSION CONTROL PROCEDURES
1. All damage to the soil and erosion methods shown on this plan shall be repaired at the end of each day's work.
2. The contractor is to maintain these Sediment and Erosion Control Structures as specified on each detail.
- GENERAL EROSION CONTROL PROCEDURES
1. Sediment is to be placed on all areas shown and on graded areas with slopes greater than 3 to 1.
2. All downspouts are to be carried to the toe of fill slopes.
3. Splash blocks are to be provided at all downspouts not discharging onto a paved surface.
4. All excess material (if any) shall be removed to a site approved by the Howard County Soil Conservation District (410-489-7987).
5. Cut and Fill quantities provided under Earthwork Analysis do not represent bid quantities. These quantities do not distinguish between topsoil, structural fill or embankment material, nor do they reflect consideration of undercutting or removal of unsuitable material. The contractor shall familiarize himself with site conditions which may affect the work.

EARTHWORK ANALYSIS

- CUT: 500 CU. YDS. +/-
- FILL: 500 CU. YDS. +/-
- SPOIL / BORROW: 0 CU. YDS. +/-
- TOTAL AREA STRUCTURALLY STABILIZED: 10,982 SQ. FT. 0.25 Ac +/-
- TOTAL AREA VEGETATIVELY STABILIZED: 17,138 SQ. FT. 0.39 Ac +/-
- TOTAL AREA DISTURBED: 28,120 SQ. FT. 0.64 Ac +/-
- PREDOMINANT SOIL TYPE: GMB - GLENVILLE SILT LOAM, 3 TO 8% SLOPES
GMB - GLENVILLE-SILT LOAM, 3 TO 8% SLOPES
GMB - GLENVILLE-SILT LOAM, 3 TO 8% SLOPES
- HYDROLOGIC SOIL GROUP: GMB - GLENVILLE-SILT LOAM, 3 TO 8% SLOPES

GP-10-11

GRADING, EROSION AND SEDIMENT CONTROL PLAN

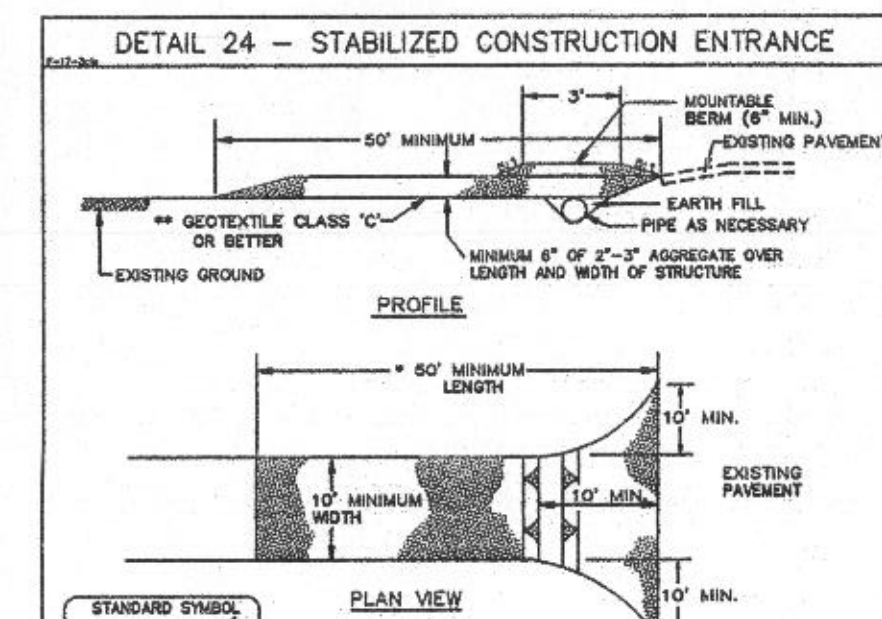
LOT #9
GLENWOOD ESTATES - SECTION 2
NW SADDLE HORSE COURT, GLENWOOD
HOWARD COUNTY, MARYLAND 21734
TAX MAP: 21 GRID: 6 PARCEL: 190
TAX DISTRICT: 4 TAX ACCT. NO.: 04-335813
DRAWN BY: E. D. S. G.P. #
CHECKED BY: R. E. B. SCALE: As Noted
DATE: JULY 2009 SHEET 1 OF 2

DETAILS AND SPECIFICATIONS FOR VEGETATIVE ESTABLISHMENT

Following initial soil disturbances or redistribution, permanent or temporary stabilization shall be completed within seven calendar days for the surface of all perimeter controls, dikes, swales, ditches, sediment basins, and areas greater than 3 horizontal to 1 vertical (3:1) and fourteen days for all other disturbed or graded areas on the project site.

- Permanent Seeding
a. Soil Tests: Line and fertilizer will be applied per soil tests results for sites greater than 5 acres. Soil tests will be done at completion of initial rough grading or as recommended by the sediment control inspector. Rates and analyses will be provided to the grading inspector as well as the contractor.
1. Occurrence of acid sulfate soils (grayish black color) will require covering with a minimum of 12 inches of clean soil with 5 inches minimum capping of top soil. No stockpiling of material is allowed. If needed, soil tests should be done before and after a 6 week incubation period to allow oxidation of sulfates.
The minimum soil conditions required for permanent vegetative establishment are:
a. Soil pH shall be between 6.0 and 7.0.
b. Soluble salts shall be less than 500 parts per million (ppm).
c. The soil shall contain less than 40% clay but enough fine grained material (0-30% silt plus clay) to provide the capacity to hold a moderate amount of moisture. An exception is if low organic or siltier loess is to be planted, then a sandy soil (< 30% silt plus clay) would be acceptable.
d. Soil shall contain 1.5% minimum organic matter by weight.
e. Soil must contain sufficient pore space to permit adequate root penetration.
f. If these conditions cannot be met by soils on site, adding topsoil is required in accordance with Section 2.1 Standard and Specification for Topsoil or amendments made as recommended by a certified agronomist.
b. Seeding Preparation: Area to be seeded shall be loose and friable to a depth of at least 3 inches. The top layer shall be loosened by raking, grading, or other means. Areas with less than 3 inches of topsoil or less than 5 acres, apply 1,000 pounds of dolomitic limestone and 21 pounds of 10-10-10 fertilizer per 1,000 square feet. Narrow or disk line and fertilizer into the soil to a depth of at least 3 inches on slopes flatter than 3:1.
c. Seeding: Apply 5-8 pounds per 1,000 square feet of fall fescue between February 1 and April 15 or between August 15 and October 15. Apply seed uniformly on a moist firm seedbed with a cyclone seeder, outdrum seeder or hydramul seeder. Seed shall be broadcast, recommended on steep slopes only. Maximum seed depth shall be 1/4 inch in dry soil and 1/2 inch in sandy soil. Seed shall be planted by the hydramul method. Irrigate where necessary to support adequate growth until vegetation is firmly established. If other seed mixes are to be used, select from Table 25, entitled "Permanent Seeding For Low Maintenance Areas" from the current Standards and Specifications for Soil Erosion and Sediment Control. Mixes suitable for the areas are 1, 3 and 5-7. Mixes 5-7 are suitable in non-mowable situations.
d. Mulching: Mulch shall be applied to all seeded areas immediately after seeding. During the time periods when seeding is not permitted, mulch shall be applied immediately after grading. Mulch shall be untreated, undropped, small grain straw applied at a rate of 2 tons per acre or 80 pounds per 1,000 square feet (2 bales). If a mulch anchoring is used, apply 2.5 tons per acre. Mulch materials shall be relatively free of all kinds of weeds and shall be completely free of prohibited noxious weeds. Spread mulch uniformly, mechanically or by hand, to a depth of 1-2 inches.
e. Securing Straw Mulch: Straw mulch shall be secured immediately following mulch application to minimize movement by wind or water. The following methods are permitted:
(i) Use a mulch anchoring tool which is designed to punch and anchor mulch into the soil surface to a minimum depth of 2 inches. This is the most effective method for securing mulch; however, it is limited to relatively flat areas where equipment can operate safely.
(ii) Wood cellulose fiber may be used for anchoring straw. Apply the fiber binder at a net dry weight of 750 pounds per acre. If used with water, use 50 pounds of wood cellulose fiber per 100 gallons of water.
(iii) Liquid binders may be used. Apply at higher rates at the edges where wind catches mulch, such as in valleys and on crests of slopes. The remainder of the area should appear uniform after binder application. Binders listed in the 1984 Standards and Specifications for Soil Erosion and Sediment Control or approved equal shall be applied at rates recommended by the manufacturers.
(iv) Lightweight plastic netting may be used to secure mulch. The netting will be stapled to the ground according to manufacturers recommendations.

- Temporary Seeding:
Lime: 100 pounds of dolomitic limestone per 1,000 square feet.
Fertilizer: 15 pounds of 10-10-10 per 1,000 square feet.
Seed: Perennial Ryegrass - 0.92 pounds per 1,000 square feet (February 1, through April 30 or August 15 through November 1).
Millet - 0.92 pounds per 1,000 square feet (May 1 through August 15).
Mulch: Same as 1 D and E Above.
3. No fill may be placed on frozen ground. All fill to be placed in approximately horizontal layers, each layer having a loose thickness of not more than 8 inches. All fill in roadways and parking areas is to be classified Type 2 as per Anne Arundel County Code - Article 21, Section 2-308, and compacted to 90% density. Compaction to be determined by ASTM 1557 (May 15, 1997). Any fill within 10' of a structure shall be compacted to a minimum of 95% density as determined by methods previously mentioned. Fill for pond embankments shall be compacted as per MD-578 Construction Specifications. All other fills shall be compacted sufficiently so as to be stable and prevent erosion and slippage.
4. Permanent Sod:
Installation of sod should follow permanent seeding dates. Seeded preparation for sod shall be as noted in section (B) above. Permanent sod is to be laid on the contour with all ends tightly dovetailing. Joints are to be staggered between rows. Water and soil or lime used to insure positive root contact with the soil. All slopes steeper than 3:1, as shown, are to be permanently seeded or protected with an approved erosion control netting. Additional watering for establishment may be required. Sod is not to be installed on frozen ground. Sod shall not be transplanted when moisture content (dry or wet) and/or extreme temperatures may adversely affect its survival. In the absence of adequate rainfall, irrigation should be performed to ensure establishment of sod.
5. Mining Operations:
Sediment control plans for mining operations must include the following seeding dates and mixtures: For seeding dates of: February 1 through April 30 and August 15 through October 31, use seed mixture of fall fescue at the rate of 2 pounds per 1,000 square feet and perennial ryegrass at the minimum rate of 0.5 pounds per 1,000 square feet.
6. Topsoil shall be applied as per the Standard and Specifications for Topsoil from the current Maryland Standards and Specifications for Soil Erosion and Sediment Control.



- Length - minimum of 50' (*30' for single residence lots).
- Width - 10' minimum, should be flared at the existing road to provide a turning radius.
- Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. **The plan approval authority may not require single family residences to use geotextile.
- Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 4" deep over the length and width of the entrance.
- Surface Water - all surface water flowing to or diverted toward construction entrances shall be placed through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a removable berm with 8" edges and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCD is located at a high spot and has no drainage to be necessary. Pipe should be sized according to the drainage. A 6" minimum will be required.
- Location - A stabilized construction entrance shall be located at every point where construction traffic enters the construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

G.21.0 STANDARD AND SPECIFICATIONS FOR TOPSOIL

Definition
Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose
To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies
1. This practice is limited to areas having 2:1 or flatter slopes where:

- a. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
- b. The original soil to be vegetated contains material toxic to plant growth.
- c. The soil is so acidic that treatment with limestone is not feasible.

II. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

I. Topsoil advanced from the existing site may be provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be advanced for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.

II. Topsoil Specifications - Soil to be used as topsoil must meet the following:

- I. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, or loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textures and shall contain less than 2% by volume of clinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1-1/2" in diameter.
- II. Topsoil must be free of plants or plant parts such as bermuda grass, quackgrass, Johnsongrass, nutgrass, plantain, ivy, thistle, or others as specified.
- III. Where the subsoil is either highly acidic, or composed of heavy clay, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

III. For sites having disturbed areas under 5 acres:

I. Place topsoil (if required) and apply soil amendments as specified in G.20.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.

IV. For sites having disturbed areas over 5 acres:

- I. On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
a. pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
b. Organic content of topsoil shall be not less than 1.5 percent by weight.

c. Topsoil having soluble salt content greater than 500 parts per million shall not be used.

d. No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.

Note: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.

II. Place topsoil (if required) and apply soil amendments as specified in G.20.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.

V. Topsoil Application

I. When topsoiling, maintain steady erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.

II. Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4" + 6" higher in elevation.

III. Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that seedbed or seedling can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.

IV. Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seeded preparation.

V. Utilities Note: Disturb only that area which can be backfilled and stabilized in one working day.

VI. Alternative for Permanent Seeding - Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:

I. Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for sites having disturbed areas under 5 acres shall conform to the following requirements:

a. Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.

b. Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a pH of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.

c. Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.

d. Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb/1,000 square feet, and 1/3 the normal lime application rate.

References: Guideline Specifications, Soil Preparation and Sowing, MD-VA, Pub. #1, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institute. Revised 1973.

STANDARD RESPONSIBILITY NOTES

I(We) certify that:

- a. All development and construction will be done in accordance with this sediment and erosion control plan, and further, authorize the right of entry for periodic on-site evaluation by the Howard County Soil Conservation District Board of Supervisors or their authorized agent.
- b. Any responsible personnel involved in the construction project will have a certificate of attendance from the Maryland Department of the Environment's approved training program for the control of sediment and erosion before beginning the project.

Responsible personnel on site:

c. If applicable, the appropriate enclosure will be constructed and maintained on sediment basin(s) included in this plan. Such structure(s) will be in compliance with the Howard County Code.

d. The developer is responsible for the acquisition of all easements, right, and/or rights-of-way that may be required for the sediment and erosion control practices, stormwater management practices and the discharge of stormwater onto or across adjacent or downstream properties included in the plan.

e. Following initial soil disturbance or re-disturbance, permanent stabilization shall be completed within seven calendar days for the surface of all controls, dikes, swales, ditches, sediment basins, perimeter slopes, and all slopes greater than 3 horizontal to 1 vertical (3:1) and fourteen days for all other disturbed or graded areas on the project site. Temporary stabilization of the surface of perimeter controls, dikes, swales, ditches, and perimeter slopes may be allowed at the discretion of the sediment control inspector.

f. The sediment control approvals on this plan extend only to areas and practices identified as proposed work.

g. The approval of this plan for sediment and erosion control does not relieve the developer/contractor from complying with Federal, State, or County requirements pertaining to environmental issues.

h. The developer must request that the Sediment Control Inspector approve work completed in accordance with the approved erosion and sediment control plan, the grading or building permit, and the Ordinance.

i. All material shall be taken to a site with an approved sediment and erosion control plan.

j. On all sites with disturbed areas in excess of two acres, approval of the sediment and erosion control inspector shall be required on completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. This will require first phase inspections. Other building or grading inspection approvals may not be authorized until the initial approval by the sediment and erosion control inspector is given.

k. Approval shall be requested on final stabilization of all sites with disturbed areas in excess of two acres before removal of controls.

l. Existing topography must be field verified by responsible personnel to the satisfaction of the sediment control inspector prior to commencing work.

Signature of Developer/Owner: *PAT MONA* Date: *8-5-09*

Name: *PAT MONA* Title: *DEVELOPER*

Affiliation: *MONA DESIGN-BUILD, INC.*

Address: *2102 JOLIE PLACE*

CROFTON, MARYLAND 21114

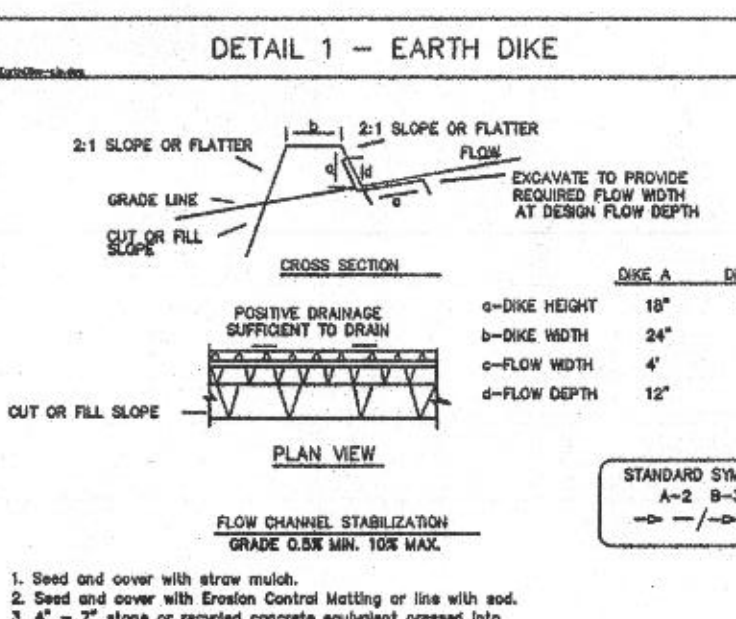
Telephone: *301-440-2529*

SEQUENCE OF CONSTRUCTION:

1. Contractor/Developer shall contact the Howard County Department of Inspections and Permits at 410-313-2455 at least 48 hrs. prior to the start of construction. Work may begin upon approval by Dept. of Inspections and Permits. 2 Days
2. Install S.C.E., Super Silt Fence and Earth Dike as indicated. 2 Days
3. Begin clearing and rough grading of site. 2 Weeks
4. Excavate for basement, footers, and foundation. At house backfill stabilize all affected areas as per the stabilization specifications. (Building construction may not proceed past the ground floor until all remaining disturbed areas have been permanently or temporarily stabilized. During building construction beyond the ground floor, all disturbed areas must be stabilized at the end of each business day.) 2 Weeks
5. Upon Inspector's approval framing may commence. 2 Weeks
6. Install all utilities including SEPTIC SYSTEM, SWM device, and driveway. Finish construction of house. 3 Months
7. Fine grade site. 2 Days
8. Stabilize all disturbed areas with seed and mulch as indicated. Upon Inspector's approval remove any remaining sediment control devices. 2 Days
9. Final cleanup and maintenance. 2 Days
- *Utilities Note: Disturb only that area which can be backfilled and stabilized in one working day.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT

Approved: *Howard S.C.D.* Date: *8/5/09*



1. All temporary earth dikes shall have untempered positive grade to an outlet. Spot elevations may be necessary for grades less than 1%.
2. Runoff diverted from a disturbed area shall be conveyed to a sediment trapping device.
3. Runoff diverted from an undisturbed area shall outlet directly into an undisturbed, stabilized area or to an on-averse velocity.
4. All trees, brush, stumps, obstructions, and other objectionable material shall be removed and disposed of so as not to interfere with the proper functioning of the dike.
5. The dike shall be anchored or stepped to tie, grade and cross section as required to meet the ultimate positive grade to be free of bank projections or other irregularities which will impede runoff flow.
6. Fill shall be compacted by earth moving equipment.
7. All earth removed and not needed for construction shall be placed so that it will not interfere with the functioning of the dike.
8. Inspection and maintenance must be provided periodically and after each rain event.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 1-1-9 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



PROFESSIONAL'S CERTIFICATION

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland.

Signature: *James A. Syme* P.E. License #12287 Date: *8/5/09*

Name: *James A. Syme* License Expiration Date: *11/11*

Firm Name/Address: *Diversified Permits, Inc., P.O. Box 242, Millersville, MD 21108 (410) 859-5583*

CONSULTANT'S CERTIFICATION

"The Developer's plan to control silt and erosion is adequate to contain the silt and erosion on the property covered by the plan. I certify that this plan of erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site, and was prepared in accordance with the requirements of the Howard County Soil Conservation District Plan Submittal Guideline and the current Maryland Standards and Specifications for Sediment and Erosion Control. I have reviewed this erosion and sediment control plan with the owner/developer."

Signature: *MD P.E. License #12287 Date:*

Name: *James A. Syme* MD Land Surveyor License #

Firm Name/Address: *Diversified Permits, Inc., P.O. Box 242, Millersville, MD 21108 (410) 859-5583*



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