

**J. A. Smith & Co., Inc.**

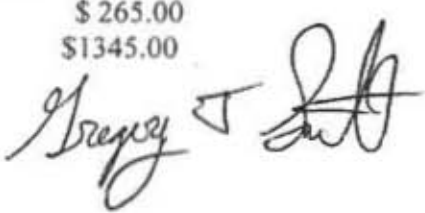
7080 Kit Kat Road  
Elkridge, MD 21075  
410-796-7532

**Invoice**

Work order#	DATE	INVOICE #
	7/31/2017	2017-857

**BILL TO**

Wyman, Brian  
6142 Waterloo Road  
Columbia, MD 21045

Jobsite	contract
DESCRIPTION	AMOUNT
contract 100% complete	7,750.00
Supplied and installed new sewer line from county sewer connection to the house using 4" pvc pipe. Abandoned and filled septic tank.	
Extra: Opened, pumped and filled a small drywell located in the rear of property past the septic tank.	1,345.00
1.5 tandem loads of fill dirt \$1080.00	
pumping \$265.00	
Total extra \$1345.00	
	

**INVOICE DUE UPON RECEIPT**

2% Finance charge on unpaid balance after 30 days and account becomes C.O.D.

**Total****\$9,095.00**



Bureau of Environmental Health  
7178 Columbia Gateway Drive, Columbia, MD 21046-2147  
Main: 410-313-2640 | Fax: 410-313-2648  
TDD 410-313-2323 | Toll Free 1-866-313-6300  
[www.hchealth.org](http://www.hchealth.org)  
Facebook: [www.facebook.com/hocohealth](https://www.facebook.com/hocohealth)  
Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

July 20, 2017

MEMORANDUM

To: Jag Khuman  
Director  
Water Quality Financing Administration  
Maryland Department of the Environment

Kristin Mielcarek  
Canaan Valley Institute

From: Jeff Williams  
Program Supervisor, Well & Septic Program

Re: **BRF Proposal for connecting 6142 Waterloo Road to public sewer**

The Howard County Health Department has identified a property in Howard County that meets the five requirements of HB 57 to receive BRF money for connecting an existing house to an existing public sewer line.

**1. THE ENVIRONMENTAL IMPACT OF THE ONSITE SEWAGE DISPOSAL SYSTEM IS DOCUMENTED BY THE LOCAL GOVERNMENT AND CONFIRMED BY THE DEPARTMENT;**

The existing on-site sewage disposal system serving the single family dwelling on the property is in a failing condition. Please see exhibit A containing a Health Department site evaluation form confirming the failing condition.

**2. IT CAN BE DEMONSTRATED THAT:**

**A. THE REPLACEMENT OF THE ONSITE SEWAGE DISPOSAL SYSTEM WITH SERVICE TO AN EXISTING MUNICIPAL WASTEWATER FACILITY THAT IS ACHIEVING ENHANCED NUTRIENT REMOVAL LEVEL TREATMENT IS MORE COST-EFFECTIVE FOR NITROGEN REMOVAL THAN UPGRADING THE INDIVIDUAL ONSITE SEWAGE DISPOSAL SYSTEM; OR**

**B. THE INDIVIDUAL REPLACEMENT OF THE ONSITE SEWAGE DISPOSAL SYSTEM IS NOT FEASIBLE;**

The Little Patuxent Wastewater Treatment Plant is currently constructed to meet to ENR standards. Therefore, it is more cost effective per pound of nitrogen removal than installing a BAT on an on-site sewage disposal system. The homeowner has received

three (3) written quotes (exhibit B) from contractors to make the connection. The lowest quote is \$7750 from J.A. Smith and Co. The homeowner has paid the Howard County connection cost of \$5100 (exhibit C). Additionally, connection to the public system is required by Howard County Code and installation of an on-site sewage disposal system would be inconsistent with the Howard County Master Plan for Water and Sewerage, and therefore, prohibited by COMAR 26.04.02.02.J.

**3. THE PROJECT IS CONSISTENT WITH THE COUNTY'S COMPREHENSIVE PLAN AND WATER AND SEWER MASTER PLAN;**

The Howard County Master Plan states that an individual sewerage system may not be installed on any parcel or lot where a public sewer system is adequate and available. The public sewer system is adequate and available to this property. Exhibit D is a Howard County GIS map illustrating the existing sewer line in red.

**4. THE ONSITE SEWAGE DISPOSAL SYSTEM WAS INSTALLED AS OF OCTOBER 1, 2008, AND THE PROPERTY THE SYSTEM SERVES IS LOCATED IN A PRIORITY FUNDING AREA, IN ACCORDANCE WITH § 5-7B-02 OF THE STATE FINANCE AND PROCUREMENT ARTICLE; AND**

The existing home was built before public sewer was available. Health Department records do not exist for the property. Exhibit E is a copy of the Maryland Department of Assessments and Taxation indicating that the home was built in 1948. 6142 Waterloo Road is within the Priority Funding Area.

**5. THE LOCAL GOVERNMENT HAS ADOPTED A POLICY OR PROCEDURE THAT WILL GUARANTEE THAT ANY FUTURE CONNECTION TO AN EXISTING MUNICIPAL WASTEWATER FACILITY THAT IS FUNDED UNDER PARAGRAPH (2)(D)1E OF THIS SUBSECTION WILL MEET ALL OF THE REQUIREMENTS UNDER THIS SUBPARAGRAPH.**

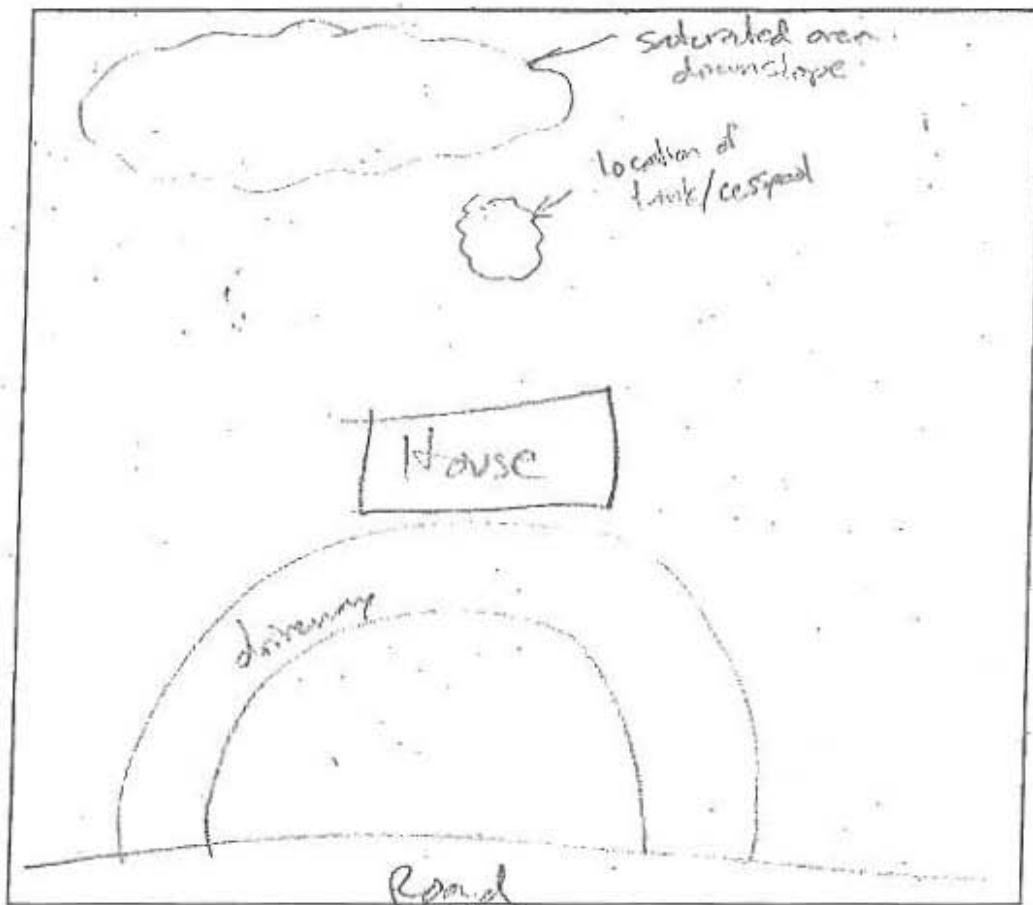
The Howard County public sewer line has already been constructed. The connection will be for 6142 Waterloo Road and no other homes will be connected to the sewer line house connection.

The Howard County Health Department does not like to maintain financial data of Howard County citizens, so I have requested that the owner provide their taxable income information directly to Canaan Valley Institute. Please feel free to contact me at (410) 313-1771 with any questions.

SITE INSPECTION SHEET

OWNER: \_\_\_\_\_ PHONE #: \_\_\_\_\_  
ADDRESS: 6142 Waterloo CONTRACTOR: \_\_\_\_\_  
WELL TAG #: \_\_\_\_\_  
SUBDIVISION: \_\_\_\_\_ LOT: \_\_\_\_\_ COUNTY #: \_\_\_\_\_  
PROPOSAL: Perking system - BPF public connection

LOCATION DIAGRAM



COMMENTS: - liquid to surface in area of tank or cesspool  
clean-out. Saturated area ~ 10' x 30' downslope in  
rear yard.

DATE: 6/30/17 INSPECTOR: J. Williams

## J. A. SMITH & CO. INC.

7080 Kit Kat Road  
Elkridge, MD 21075  
(410)796-7532  
(410)799-8545 fax

Brian Wyman  
6142 Waterloo Road  
Columbia, MD 21045

Re: 6142 Waterloo Rd.  
Columbia Md. 21045

June 29, 2017

***We Propose*** hereby to furnish material and labor - complete with specifications below, for the sum of: **Seven Thousand Seven Hundred and Fifty Dollars (\$7750.00).**

Payment to be made as follows: (\$2500.00) due to begin work and (\$5250.00) due upon completion.

All Material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from specifications below involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workman's Compensation Insurance.

Gregory J. Smith Vice President

*Gregory J. Smith*  
Note: This proposal may be withdrawn by us if not accepted within 30 days.

***We hereby submit specifications and estimates for:***

### **SEWER**

Plumber will supply and install a new sewer line from the county sewer connection to the house as follows:

**Pipe:** Plumber will install 4" PVC pipe and fitting supported with stone where necessary.

**Cleanout:** One cleanout will be installed where your sewer meets the county sewer in the front yard and every 75' until it enters the house.

**Connection at house:** The new sewer will enter the house in the left front corner of the basement. The line will enter the house below the footer and through the concrete floor. The concrete floor will be repaired level with existing concrete floor.

**Connection at street:** Plumber will install (3) seals at the sewer connection; (2) seals between your 4" pipe and the county 6" pipe and (1) seal over both pipes.

**Utilities:** Plumber will have utilities marked before work begins.

**Trench at completion:** Plumber will tamp any and all trenches to a level with grade condition. Cost does NOT include re-stoning the driveway, to be done at the owner's expense

**Seeding:** NOT included in quote to be done at the owner's expense.

**Interruption in service:** Price is based on the house being unoccupied.

**Septic tank:** Will be dug up, the top broken open, the fluid pumped out and filled with dirt to level with existing grade. Pumping of the septic tank only is included. Howard County does not have a record of this septic system, we expect a seepage pit due to the age of the property. If a drywell is found during the sewer installation see the cost of pumping and fill dirt at the bottom of the contract.

**Tree removal:** Plumber will remove the holly tree where the new sewer enters the house. Owner of property will dispose of tree, cost of tree disposal is not included in quote, to be done at the owner's expense.

**Seeding:** NOT included in quote, to be done at the owner's expense.

**Excavated material:** Price submitted is based upon the excavated material being used as backfill in the condition it is excavated from the trench. Drying, wetting, or any other treatment of the soil is NOT included.

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**\*\*\*\*Filling and capping water well:** To be done at the owners expense, NOT INCLUDED in quote. The location of well is not currently known nor is there accurate information regarding the well, location of the well and or depth of the well.

Owner should expect a well driller to charge an average of 1200.00 dollars to abandon a well. Because the house has been connected to public water, the well could have been abandon when public water was connected to the house and may or will not need attention.

**\*\*\*\*\*Connection fees:** NOT INCLUDED in quoted price, to be paid to Howard County at the owner's expense. Howard County requires this fee to be paid before they will issue the plumber a permit.

**Incidental settling:** Some minor settling of the sewer ditch may or will occur after a heavy rain or snow melt, refilling the areas of minor settlement are not included in the quote price. If the settlement is 6" inches or more J.A. Smith and Co. will fill in the areas with dirt at no cost to the owner up to one year after the completion date of the job. Seeding of the affected area is not included.

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**Permit:** Price includes a Howard county plumbing permit for the sewer only.

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**Extra 1:** 1 tandem load of fill dirt for filling the septic tank/drywell including back hoe and labor.

**ADD to quote..... \$720.00/each Tandem load**

**Extra 2:** 2500 gallon load of pumping for emptying the septic tank and drywell.

**ADD to quote..... \$450.00/each load**

**Extra 3:** Cost of pumping if pumping exceeds 2500.00 gallons.

**Add to quote..... 0.08 cents per gallon**

**Credit card:** Please add 3% to the contract price when using a credit card for payment. Visa, Master card and Discover are accepted.

**Late Payment:** Twenty-five (25%) of the contract price or reasonable attorneys fees whichever is greater will be added to the contract price for delinquent payment of invoices. After thirty (30) days from completion of work the amount due is considered delinquent.

**Septic tank and drywell clause:** No drywells or septic tanks other than mentioned above are known to existing based on information supplied by the property owner. If any drywells or septic tanks are found at the time work is in progress or in the future there will be additional cost for pumping, dirt/fill and labor for filling the tanks.

**Rock Clause:** In the event we would hit rock that could not be removed under normal use of a backhoe, the estimate will be void and the job will be done on time and materials. .

**Water Clause/Excessive Caving:** If we hit water, running sand, excessive caving, natural spring or any other source of water that slows the completion of the job, the job will be done on a time and materials basis.

**Plant Clause:** If any plants, bushes, trees, etc. are near our working area and become damaged or have to be removed and replanted we will do so with as much care as possible but will not be held responsible for their condition, damage or cost of replacement.

**Warranty:** Plumber will warranty materials and workmanship for a period of ten years from date of installation. Warranty does NOT include existing piping, only the piping installed by J. A. Smith & Company, Inc. Warranty does NOT include natural disasters such as earthquakes, hurricanes, etc.

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Please sign, then return the original contract with deposit to J. A. Smith & Company, Inc. Upon receipt we will then schedule the above mentioned work.

Acceptance of Proposal the above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do work as specified. Payment will be made as outlined above. Date of Acceptance: \_\_\_\_\_

Signature: \_\_\_\_\_ Print: \_\_\_\_\_

Signature: \_\_\_\_\_ Print: \_\_\_\_\_





Plumbing & Heating, Inc.

5820 Clarksville Square Drive  
Clarksville, MD 21029  
Phone 410-531-6712  
Fax 410-531-5812

June 30, 2017

Brian Wyman  
6142 Waterloo Road  
Columbia, MD 21045

Dear Brian Wyman,

Thank you for your interest in Zepp Plumbing & Heating, Inc. We are pleased to quote you the following prices for work to be completed at your residence.

**Job #1: Connect septic to county sewer.**

- Supply & Install / Includes:
  - o (1) 4" PVC pipe from front left corner of the basement to county connection in front yard.
  - o (1) Cleanout at county connection and (1) every 75ft to front foundation wall, if needed.
  - o (1) Break-up and patch existing concrete basement floor.
  - o (1) Hole under footer for 4" PVC sewer to enter house.
  - o (1) Connection at county sewer.
  - o (1) Connection at house to existing.
  - o (1) Trench backfilled to grade only.
  - o (1) Septic tank abandonment with pumping of liquid.
  - o (1) Investigate the drainfield during abandonment. If a drywell is found, see Option A.
  - o (1) Remove only (1) holly bush for homeowner to dispose of.
  - o (1) Miss Utility markings.
  - o (1) Howard County plumbing permit and inspection
  - o (1) Howard County Health Department "letter of abandonment" for septic tank.

**Total Cost Job #1: \$9,250.00**

Please initial to accept Job#1: \_\_\_\_\_



**Options:**

- Option A:
  - o Abandon drywell if found per Howard County Health Department. Pump liquid (by others) and haul to recycle site. Fill in drywell to grade.

**Option A Cost: \$1,400.00**

Please initial to accept Option A: \_\_\_\_\_

**Not Included:**

- Area connection charges (Howard County)
- Removal of dirt, replacement of top soil or tamping of ditches
- We will not be responsible for any damage to flowers, lawn, trees, shrubbery, sidewalks, patio, and driveway.
- Any utilities will be carefully excavated around; however it will be the owner's responsibility if damage should occur.
- Any underground obstruction will be worked on a time and material basis or the owner had the option of removing it himself.
- Any rock not removable by backhoe will be excavated on a time and material basis or the owner had the option of removing it himself.
- Sewage ejector pit or pump.
- Sub soil/foundation drain repair or replacement
- Electrical
- Carpentry
- Drywall repair or replacement
- Paint
- Seed and straw
- Fill dirt
- Drywell abandonment
- Settlement repairs at a later date.

**Note:**

All materials will be installed in a clean and professional manner and installed according to manufacturer's specifications and maintaining all local code requirements. Zepp Plumbing will not be able to warranty customer supplied material. We can only warranty the installation and materials supplied by our company. Installation of customer materials may require additional material & labor costs.

**Payment Schedule:**

Deposit Job #1: **\$3,000.00**

Balance due upon completion: **\$6,250.00**

We accept Visa, MasterCard, Discover, Cash, or Check.  
Quoted prices are valid for 90 days.

If the above is acceptable please sign below and return one copy along with your deposit. **Work will be scheduled upon receipt of signed proposal & deposit.** Please allow 48-72 business hours in the event that materials need to be ordered. Please call if you have any questions.

Sincerely,

*Edgar W. Zepp, IV*

Edgar W. Zepp IV  
President  
Zepp Plumbing & Heating, Inc.

Signature: \_\_\_\_\_  
I agree to the prices, terms, and conditions in the above proposal.

Date: \_\_\_\_\_

Office use only

Contract Accepted	Date:
Deposit Received	Date:
Materials Ordered	Date:
Start	Date:
Completion	Date:
Emailed/Mailed	Date:



8177 Mission Rd.  
Jessup, Maryland 20794  
(410)799-7727  
office@heilplumbing.com

## Estimate

ESTIMATE# 7639919  
DATE 06/30/2017  
PO#

### CUSTOMER

Brian Wyman  
6142 Waterloo Rd  
Columbia, Md 21045

### SERVICE LOCATION

6142 Waterloo Rd  
Columbia, Md 21045

**DESCRIPTION** Install new sewer line. Pump out existing septic tank and/or drywell.

Description	Qty	Rate	Total
<b>Sewer New Installation</b> Install new sewer line from house to county pipe near street. Pump out septic tank and/or drywell. Collapse septic tank and drywell, fill with debris. Grass seed and straw affected areas.	1.00	\$12,500.00	\$12,500.00

### CUSTOMER MESSAGE

The prices listed are estimates only. If you are interested in completing the work with Heil Plumbing, please contact us for a formal contract with final pricing. Should you have any questions or concerns, please feel free to email at [mcgning.heil@heilplumbing.com](mailto:mcgning.heil@heilplumbing.com) or call us at 410-799-7727 Monday - Friday 7:30AM-4:30PM.

**Estimate Total:**

**\$12,500.00**

  
Eddie Heil

## OFFICE USE ONLY

CONTROL #: \_\_\_\_\_

PERMIT #: \_\_\_\_\_

INSPECTED BY: \_\_\_\_\_

DATE INSPECTED: \_\_\_\_\_

**SEWER CONNECTION APPLICATION  
HOWARD COUNTY****DEPARTMENT OF PUBLIC WORKS  
3430 COURT HOUSE DRIVE ELLICOTT CITY, MD 21043**680953

## OFFICE USE ONLY

APPLICATION #: \_\_\_\_\_

CONTRACT #: \_\_\_\_\_

REBATE CONTRACT #: \_\_\_\_\_

SEWER ZONE: \_\_\_\_\_

CONNECTION WORKSHEET Y\_\_\_\_N\_\_\_\_

FILL OUT APPLICATION COMPLETELY AND SIGN BELOW. IF LOCATION INFORMATION IS UNKNOWN, CONTACT THE OFFICE OF PLANNING AND ZONING (DPZ) FOR HOUSE NUMBER, STREET NAME, ETC. NOTE: COMMERCIAL AND INDUSTRIAL FACILITIES MAY BE SUBJECT TO REQUIREMENTS OF THE COUNTY CODE FOR SEWER SURCHARGES, INDUSTRIAL COST RECOVERY CHARGES, AND PRETREATMENT.

Application is herewith made for a sewer house connection to the property described below:

SUBDIVISION \_\_\_\_\_ SECTION \_\_\_\_\_ AREA \_\_\_\_\_ LOT 245 BLOCK \_\_\_\_\_HOUSE # 6142 STREET WATERLOO ROAD TAX MAP \_\_\_\_\_ GRID \_\_\_\_\_ PARCEL \_\_\_\_\_CITY, STATE COLUMBIA ZIP CODE 21045 PHONE # 443-864-3470NEW OR EXISTING BUILDING EXISTING USE (SEE PROPERTY CLASSIFICATIONS ON REVERSE SIDE) \_\_\_\_\_

ITEMS CHECK	CONNECTION TYPE	CON. DIA.	CHARGES DESCRIPTION	CHARGES AMOUNT	FUND	BA	G/L
1 <input checked="" type="checkbox"/>	SEWER CONNECTION	4"	INSTALLATION	\$4,500 <sup>00</sup>	7010009000	3100	431185
2 <input type="checkbox"/>	SEWER CONNECTION	6"	INSTALLATION		7010009000	3100	431185
3 <input type="checkbox"/>	SEWER CONNECTION	8"	INSTALLATION - ADO		7010003000	1300	102998
4 <input type="checkbox"/>			IN-AID-OF CONSTRUCTION AMOUNT CHARGED BASED ON METER SIZE	\$600 <sup>00</sup>	7030015100	3100	422000
5 <input type="checkbox"/>	ADO or SURETY #		ADVANCED DEPOSIT ORDER OR SURETY DEPOSIT AMOUNT		7010003000	1300	102998
6 <input type="checkbox"/>			INSPECTION FEE AND PERMIT FEE		7010010000	3100	431105

\*Refer to DPZ for estimates of Advanced Deposit (ADOs). For installations requiring an ADO, the owner must enter into a cost agreement with Howard County prior to the commencement of any installation work.

\$5,100

TOTAL DUE

DATE \_\_\_\_\_

CR # \_\_\_\_\_

THE INFORMATION REQUESTED BELOW MUST BE LEGIBLE FOR BILLING/REFUND PURPOSES.

COMPANY NAME \_\_\_\_\_

COMPANY ADDRESS \_\_\_\_\_

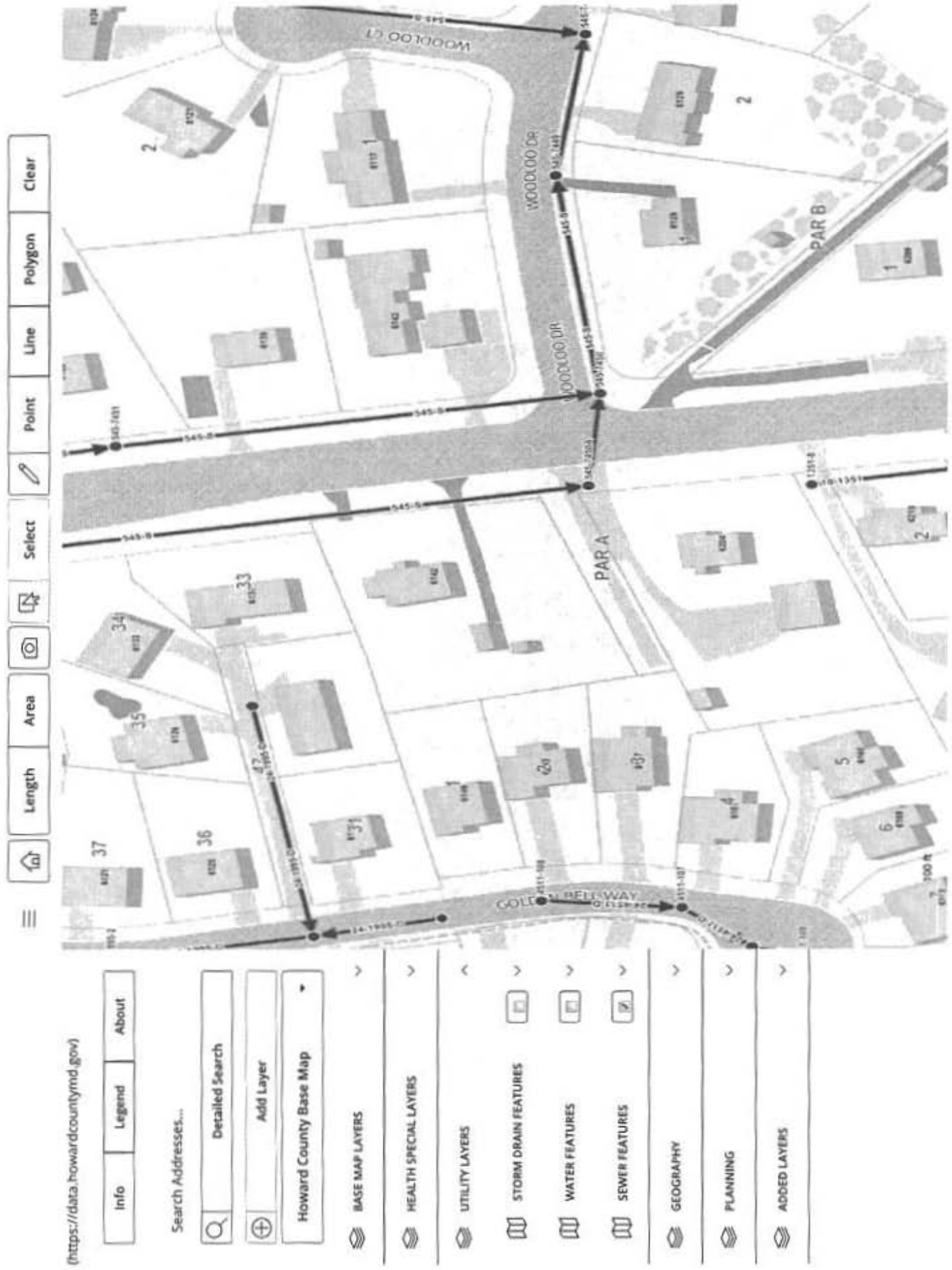
OWNER SIGNATURE \_\_\_\_\_

OWNER NAME (PRINT) \_\_\_\_\_

OWNER ADDRESS \_\_\_\_\_

FULL FEE MUST ACCOMPANY THIS COMPLETE APPLICATION, MAKE CHECKS PAYABLE TO: DIRECTOR OF FINANCE, HOWARD COUNTY.  
CREDIT CARDS ARE NOT ACCEPTED.

THE TERMS & CONDITIONS OF THIS APPLICATION, INCLUDING ANYTHING ON THE REVERSE SIDE HEREOF ARE BINDING UPON THE OWNERS SIGNATURE & ALL SUCCEEDING OWNERS.



## Real Property Data Search ( w2)

## Search Result for HOWARD COUNTY

View Map		View GroundRent Redemption		View GroundRent Registration	
<b>Account Identifier:</b>		<b>District - 06 Account Number - 398294</b>			
<b>Owner Information</b>					
<b>Owner Name:</b>		DEUTSCH MARTIN EDWARD JR DEUTSCH B SHIRLEY AVERY		<b>Use:</b>	RESIDENTIAL
<b>Mailing Address:</b>		6142 WATERLOO RD COLUMBIA MD 21045-3101		<b>Principal Residence:</b>	YES
				<b>Deed Reference:</b>	/01120/ 00127
<b>Location &amp; Structure Information</b>					
<b>Premises Address:</b>		6142 WATERLOO RD COLUMBIA 21045-0000		<b>Legal Description:</b>	.689 AR 6142 WATERLOO RD ELLCOTT CITY
<b>Map:</b>	<b>Grid:</b>	<b>Parcel:</b>	<b>Sub District:</b>	<b>Subdivision:</b>	<b>Section:</b>
0037	0014	0245		0000	
			<b>Block:</b>	<b>Lot:</b>	<b>Assessment Year:</b>
					2017
<b>Special Tax Areas:</b>			<b>Town:</b>	NONE	
			<b>Ad Valorem:</b>	104	
			<b>Tax Class:</b>		
<b>Primary Structure Built</b>		<b>Above Grade Living Area</b>		<b>Finished Basement Area</b>	
1948		1,080 SF		30,012 SF	
<b>Property Land Area</b>		<b>County Use</b>			
30,012 SF					
<b>Stories</b>	<b>Basement</b>	<b>Type</b>	<b>Exterior</b>	<b>Full/Half Bath</b>	<b>Garage</b>
1	YES	STANDARD UNIT	FRAME	1 full	
<b>Value Information</b>					
<b>Base Value</b>		<b>Value</b>		<b>Phase-In Assessments</b>	
		As of		As of	
		01/01/2017		07/01/2016	
				As of	
				07/01/2017	
<b>Land:</b>	149,900	149,900			
<b>Improvements</b>	105,300	96,500			
<b>Total:</b>	255,200	246,400		255,200	246,400
<b>Preferential Land:</b>	0				0
<b>Transfer Information</b>					
<b>Seller:</b> GILBERT ROBERT B &		<b>Date:</b> 09/23/1982		<b>Price:</b> \$67,875	
<b>Type:</b> ARMS LENGTH IMPROVED		<b>Deed1:</b> /01120/ 00127		<b>Deed2:</b>	
<b>Seller:</b>		<b>Date:</b>		<b>Price:</b>	
<b>Type:</b>		<b>Deed1:</b>		<b>Deed2:</b>	
<b>Seller:</b>		<b>Date:</b>		<b>Price:</b>	
<b>Type:</b>		<b>Deed1:</b>		<b>Deed2:</b>	
<b>Exemption Information</b>					
<b>Partial Exempt Assessments:</b>	<b>Class</b>			<b>07/01/2016</b>	<b>07/01/2017</b>
<b>County:</b>	000			0.00	
<b>State:</b>	000			0.00	
<b>Municipal:</b>	000			0.00 0.00	0.00 0.00
<b>Tax Exempt:</b>	<b>Special Tax Recapture:</b>				
<b>Exempt Class:</b>	NONE				
<b>Homestead Application Information</b>					
<b>Homestead Application Status:</b> Approved 01/25/2011					
<b>Homeowners' Tax Credit Application Information</b>					
<b>Homeowners' Tax Credit Application Status:</b> No Application					
<b>Date:</b>					

1. This screen allows you to search the Real Property database and display property records.

2. Click [here](#) for a glossary of terms.

3. Deleted accounts can only be selected by Property Account Identifier.

4. The following pages are for information purpose only. The data is not to be used for legal reports or documents. While we have confidence in the accuracy of these records, the Department makes no warranties, expressed or implied, regarding the information.