



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: _____

Building Address: 5419 HARRIS FARM LANE
City: CLARKSVILLE State: MD Zip Code: 21029
Suite/Apt. #: _____ SDP/WP/BA #: _____
Subdivision: _____
Lot: _____ Tax Map: _____ Parcel: _____

Existing Use: BASEMENT
Proposed Use: BASEMENT
Estimated Construction Cost: \$ 60,000
Description of Work:
* BASEMENT REMODEL
FLIPPING - 135 BEDROOM & BATHROOM
NO. AND WILL BACK

Occupant/Tenant Name: OWNER
Was tenant space previously occupied? ☐ Yes ☐ No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height:	☒ SF Dwelling ☐ SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor:
	2 nd floor:
Area of construction (sq. ft.):	Basement:
	☐ Finished Basement
Use group:	☐ Unfinished Basement
	☐ Crawl Space
Construction type:	☐ Slab on Grade
☐ Reinforced Concrete	No. of Bedrooms:
☐ Structural Steel	Multi-family Dwelling
☐ Masonry	No. of efficiency units:
☐ Wood Frame	No. of 1 BR units:
☐ State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
> Roadside Tree Project Permit	Footings:
☐ Yes ☒ No	Roof:
Roadside Tree Project Permit #	☐ State Certified Modular
	☐ Manufactured Home

Property Owner's Name: BRADLEY SPENSINGER
Address: 5419 HARRIS FARM LANE
City: CLARKSVILLE State: MD Zip Code: 21029
Phone: 443.857.8637 Fax: _____
Email: BRADWPL@YAHOO.COM

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Contractor Company: RNP REMODELING SERVICE
Contact Person: RAY
Address: 307 BURGESS CT
City: FREDERICK State: MD Zip Code: 21722
License No.: _____
Phone: 301.602.3410 Fax: _____
Email: REINALDO.NICKOLAS.FLORES@YAHOO.COM

Engineer/Architect Company: AXIS REUNITECS
Responsible Design Prof.: _____
Address: 702 CARTER ROAD
City: ROCKVILLE State: MD Zip Code: 20852
Phone: 202.361.8211 Fax: _____
Email: STOSAN@AXIS-ARCHITECTS.COM

Utilities
Electric: ☒ Yes ☐ No
Gas: ☐ Yes ☐ No
Water Supply
☒ Public
☒ Private
Sewage Disposal
☐ Public
☒ Private
Heating System
☒ Electric ☒ Oil
☐ Natural Gas ☐ Propane Gas
☐ Other:
Sprinkler System:
☐ Yes ☒ No
Grading Permit Number:
Building Shell Permit Number:

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: BRADLEY SPENSINGER
Email Address: BRADWPL@YAHOO.COM
Title/Company: _____

Print Name: BRADLEY SPENSINGER
Date: 7/12/18

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	7/12/2018	Ray

Is Sediment Control approval required for issuance? ☐ Yes ☐ No
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? ☐ Yes ☐ No
Is Entrance Permit Required? ☐ Yes ☐ No
Historic District? ☐ Yes ☐ No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	#

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

5/24/2018 11:26:34 AM
C:\ANSI\01 PROJECTS\2018-011 HARRIS FARM LANE DRAWINGS\HARRIS FARM LANE.dwg

GENERAL NOTES

1. ALL CONSTRUCTION ASSOCIATED WITH THIS PROJECT SHALL CONFORM TO THE LISTED BUILDING CODES AS DICTATED AND INTERPRETED BY THE LOCAL AUTHORITY HAVING JURISDICTION. COMPLIANCE WITH THE BUILDING CODE REQUIREMENTS IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR

2. ALL BUILDING COMPONENTS AND SYSTEMS SHALL BE INSTALLED AS DIRECTED BY THE LOCAL CODE OFFICIAL HAVING JURISDICTION AND IN ACCORDANCE WITH THE CLIMATE AND GEOGRAPHICAL DESIGN CRITERIA

3. THE STRUCTURAL INTEGRITY OF THE BUILDING IS DEPENDENT UPON THE COMPLETION ACCORDING TO THE PLANS AND SPECIFICATIONS. THE METHOD OF CONSTRUCTION AND THE SEQUENCE OF OPERATIONS US THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE CONTRACTOR SHALL SUPPLY ANY NECESSARY BRACING, SHEATHING AND SHORING TO PROPERLY BRACE THE STRUCTURE AGAINST WIND, DEAD AND LIVE LOADS UNTIL THE BUILDING IS COMPLETED ACCORDING TO THE PLANS AND SPECIFICATIONS.

4. DO NOT START CONSTRUCTION UNTIL ALL THE REQUIRED PERMIT APPROVALS ARE OBTAINED.

5. VISIT THE SITE PRIOR TO CONSTRUCTION TO VERIFY EXISTING CONDITIONS. THOROUGHLY EXAMINE AND BE FAMILIAR WITH THE DRAWINGS, DRAWING NOTES AND SPECIFICATIONS. FIELD VERIFY ALL DIMENSIONS BEFORE ORDERING MATERIALS. ANY AND ALL DISCREPANCIES AND CONFLICTS BETWEEN EXISTING CONDITIONS AND THESE DOCUMENTS SHALL IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER.

6. DO NOT SCALE DRAWINGS FOR ANY PURPOSE. CONTACT ARCHITECT IF ADDITIONAL DIMENSIONS ARE NEEDED.

7. FURNISH AND INSTALL ALL THE ITEMS SHOWN OR IMPLIED ON THESE DRAWINGS UNLESS NOTE OTHERWISE.

8. GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL BUILDING TRADES ASSOCIATED WITH THE WORK OUTLINED IN THESE DOCUMENTS. PRIOR TO CONSTRUCTION, GENERAL CONTRACTOR SHALL BRING TO THE ATTENTION OF THE OWNER AND THE ARCHITECT ALL CONFLICTS AS THEY RELATE TO THE BUILDING TRADES AND SUB CONTRACTORS FOR RESOLUTION.

9. INFORMATION ON THESE DRAWINGS IS BASE ON LIMITED FIELD MEASUREMENT AND MAY REQUIRE ADJUSTMENTS OR MODIFICATIONS TO CONFORM WITH EXISTING CONDITIONS. IN CASES WHERE CHANGES IN DETAIL ARE NECESSARY, THESE DRAWINGS SHALL BE USED TO SHOW DESIGN INTENT ONLY. PERFORM WORK, SHOWN OR IMPLIED, THAT IS NECESSARY TO CARRY OUT THE INTERN OF THE DRAWINGS AND SPECIFICATIONS OR IS CUSTOMARILY PERFORMED AS IF FULLY AND CORRECTLY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS..

10. PROTECT EXISTING BUILDING ELEMENTS TO REMAIN FROM DEMOLITION AND CONSTRUCTION ACTIVITIES. PATCH AND REPAIR ALL DAMAGE FROM CONSTRUCTION ACTIVITIES.

11. GENERAL CONTRACTOR TO KEEP DISTURBANCE TO THE NEIGHBORS TO A MINIMUM.

12. GENERAL CONTRACTOR TO ENSURE FLUSH TRANSITION FROM EXISTING WORK TO NEW WORK.

13. ALL WALL SURFACES ARE TO BE MADE FLUSH AND SMOOTH AND SMOOTH TO PRIOR TO PAINTING OR INSTALLATION OF WALL COVERING.

14. PRIOR TO CUTTING OR DRILLING AFFECTING STRUCTURAL MEMBERS NOT INDICATED, SUBMIT WRITTEN NOTICE TO ARCHITECT SPECIFYING LOCATION AND REQUESTING CONSENT TO PROCEED WITH CUTTING OR DRILLING. CONTRACTOR SHALL DO CUTTING AND DRILLING OF EXISTING CONSTRUCTION REQUIRED FOR INSTALLATION OF NEW WORK, INCLUDING CUTTING OF HOLES FOR NEW ELECTRICAL WORK. COVER OPENINGS TEMPORARILY WHEN NOT IN USE AND PATCH AS SOON AS WORK IS INSTALLED. REFINISH ALL AFFECTED AREAS TO THEIR ORIGINAL CONDITION.

15. COORDINATE THE UNLOADING AND SAFE STORAGE OF OWNER DELIVERED MATERIAL ON SITE (CASEWORK, EQUIPMENT ETC...). INSTALLATION OF OWNER DELIVERED MATERIAL IS T BE INCLUDED IN THE BASE BID (UNLESS NOTED OTHERWISE)

5419 HARRIS FARM LANE CLARKSVILLE MD 21029 BASEMENT RENOVATION PERMIT APPLICATION

3/5/2018

PROJECT TEAM

OWNER: BRAD AND JAMIE PREISINGER
5419 HARRIS FARM LN CLARKSVILLE MD 21029
P: 240.444.0445
E-MAIL: bpreisinger@sandyspringbank.com

ARCHITECT: SAHNUR BOSTAN
AXIS ARCHITECTS
702 CARTER ROAD
ROCKVILLE MD 20852
P:202.361.8811
E-MAIL: sbostan@axis-architects.com

ENGINEER: CHARLES GAVIN
GAVIN AND ASSOCIATES
PO Box 5142
McLEAN, VA 22103
P: 703.409.9795
E-MAIL: c1gavin@cox.net

BUILDING CODE INFORMATION

International Residential Code for One and Two Family Dwellings, 2015 Edition with Local Amendments
International Energy Conservation Code, 2015 Edition

SCOPE OF WORK

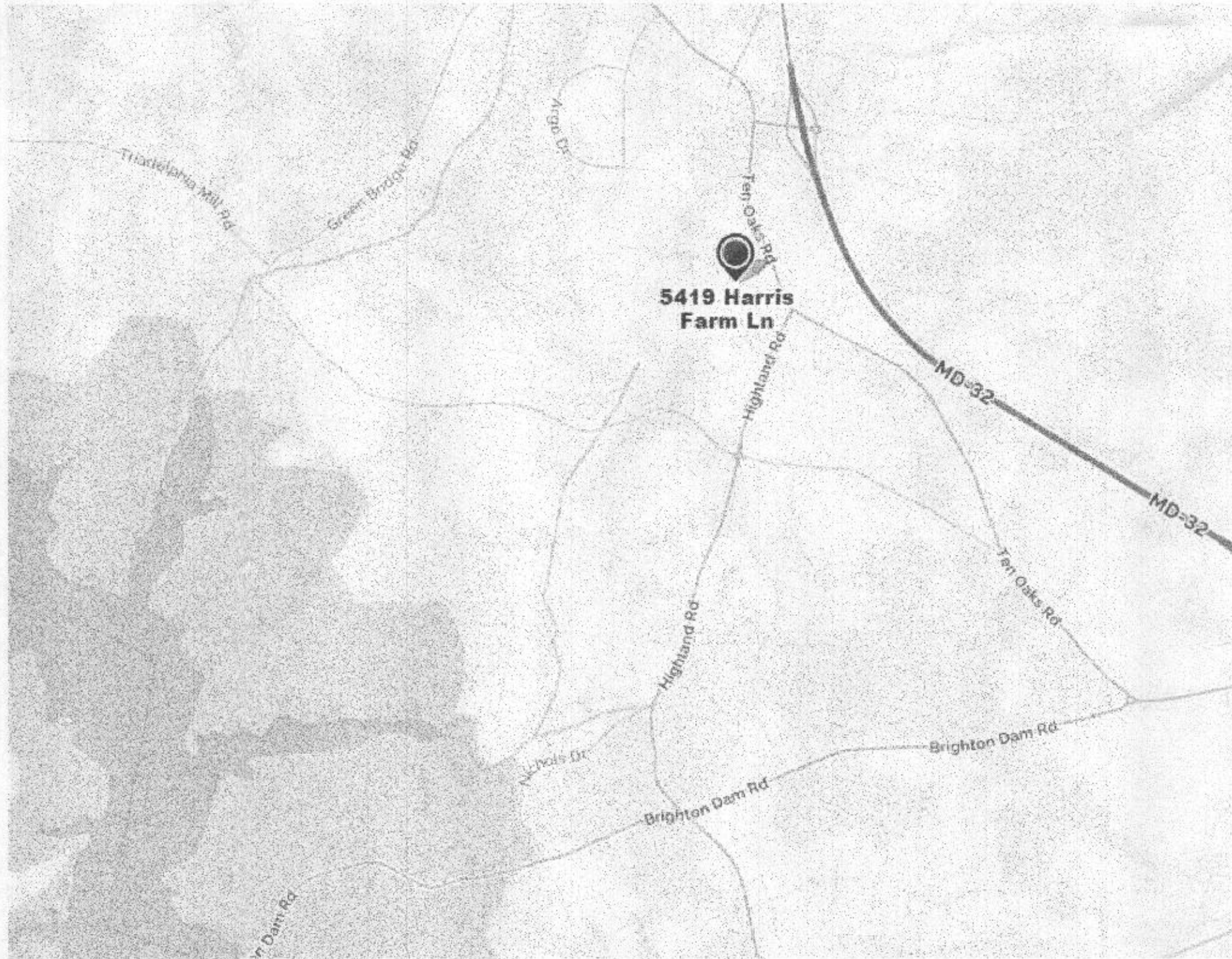
THIS PROJECT REMOVES A LOAD BEARING WALL AT THE WALK OUT BASEMENT TO CREATE A MORE OPEN BASEMENT PLAN AT A SINGLE FAMILY DETACHED HOME. IT ALSO REARRANGES EXISTING BEDROOM AND BATHROOM AS WELL AS WIDENING AN EXISTING EXTERIOR DOOR OPENING. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.

TOTAL SF OF REMODEL : 830

DRAWING LIST

Sheet Number	Sheet Name
A001	COVER SHEET
A101	BASEMENT DEMO AND PROPOSED PLANS
S1	STRUCTURAL PLANS, DETAILS AND NOTES

VICINITY MAP



702 CARTER ROAD
ROCKVILLE MD 20852
T 202.361.8811
sbostan@axis-architects.com

STRUCTURAL ENGINEER
PO BOX 5142
McLEAN, VA 22103
P: 703.409.9795
E-MAIL: c1gavin@cox.net

PROJECT NAME

**5419 HARRIS FARM
LN CLARKSVILLE
MD 21029**

PROJECT NUMBER 2018-010

OWNER

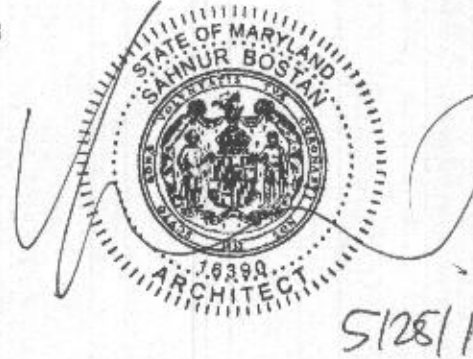
BRAD AND JAMIE PREISINGER
5419 HARRIS FARM LN
CLARKSVILLE MD 21029

OWNER'S PHONE 240.444.0445

ISSUE

MARK	DATE	DESCRIPTION
	5/25/2018	PERMIT APPLICATION

SEAL



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. Licence No. 16390 , Expiration Date 11/22/2018

DRAWING TITLE

COVER SHEET

DATE 05/25/2018

SCALE 1/4" = 1'-0"

A001

PROJECT NAME

**5419 HARRIS FARM
LN CLARKSVILLE
MD 21029**

PROJECT NUMBER 2018-010

OWNER
BRAD AND JAMIE PREISINGER
5419 HARRIS FARM LN
CLARKSVILLE MD 21029

OWNER'S PHONE 240.444.0445

ISSUE

MARK	DATE	DESCRIPTION
	05/25/2018	PERMIT APPLICATION

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Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. Licence No. 16390, Expiration Date 11/22/2018

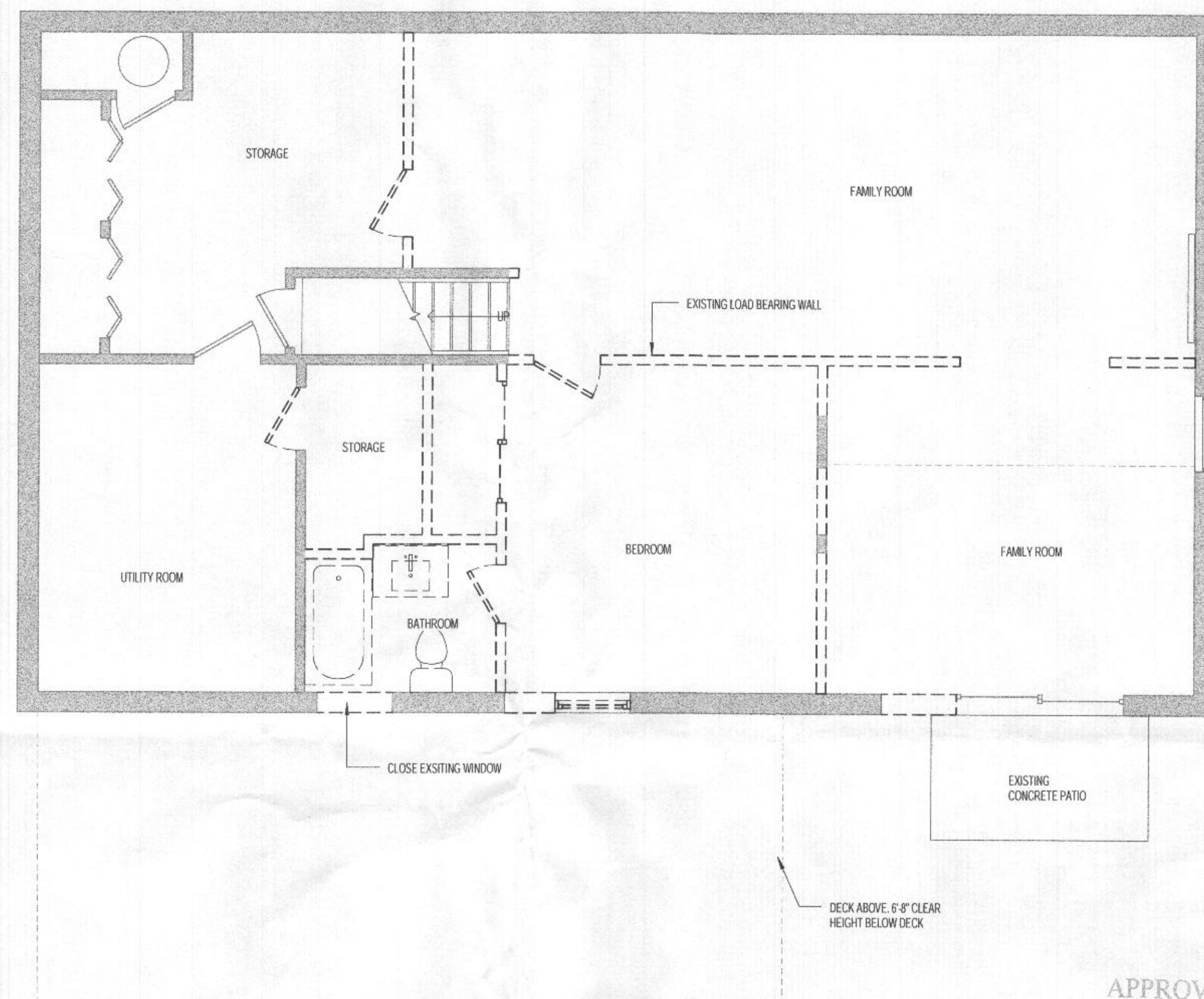
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**BASEMENT DEMO
AND PROPOSED
PLANS**

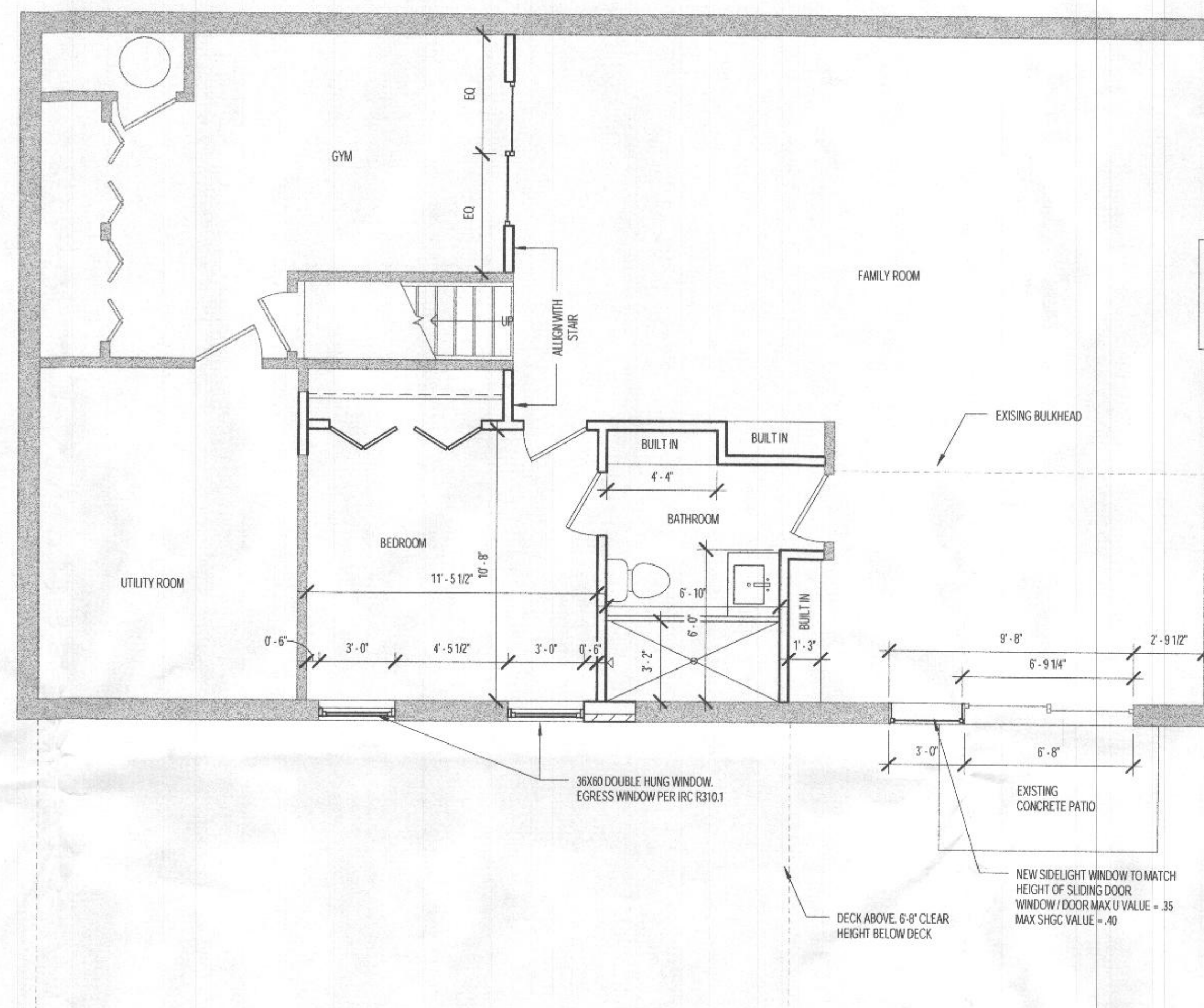
DATE 05/25/2018

SCALE 1/4" = 1'-0"

A101



1 BASEMENT DEMO
1/4" = 1'-0"



2 BASEMENT PROPOSED
1/4" = 1'-0"

APPROVED
WALK-THRU BUILDING PERMIT
BP# A#
APP. SAN Robert Freeman DATE: 7/1/18
DESC. OF WORK: Renovation Basement
Flipping Bedroom and Bathroom

- GENERAL NOTES:
1. CONTRACTOR TO VERIFY EXISTING DIMENSIONS AND INFORM THE ENGINEER AND ARCHITECT IF THERE ARE ANY DISCREPANCIES.
2. ALL DIMENSIONS ARE FROM FINISH
3. DOORS TO BE LOCATED 4" FROM WALL ON HINGE SIDE OR CENTER OF SPACE UNLESS NOTED OTHERWISE.

EXISTING WALLS
DEMO WALLS
PROPOSED WALLS

DESIGN NOTES

I. DESIGN LOADS

- A. ROOF LIVE LOAD
- 1. GROUND SNOW LOAD = 30 PSF
- B. WIND LOADS
- 1. BASIC WIND SPEED = 110 mph
- 2015 AS AMENDED BY MONTGOMERY COUNTY, MARYLAND.
- C. FLOOR LOADS
- 1. LIVE = 40 PSF
- 2. D.L. = 10 PSF (U.N.O.)

II. WOOD

- A. ALL LUMBER SHALL BE DOUGLAS FIR#2 AND SHALL BE PRESSURE TREATED IF EXPOSED TO THE EXTERIOR OR MASONRY OR CONCRETE.
- B. MINIMUM MEMBER PROPERTIES SHALL BE AS FOLLOWS:
- 1. WOOD LUMBERS, JOISTS AND BEAMS
- A) FLEXURE: F_b = 1200 PSI (REPETITIVE)
- B) SHEAR: F_v = 75 PSI
- C) MODULUS OF ELASTICITY = 1.5 x 10⁶ PSI
- 2. POSTS
- A) COMPRESSION PARALLEL: F_c = 1300 PSI
- B) MODULUS OF ELASTICITY = 1.5 x 10⁶ PSI
- 3. WALL STUDS
- A) FLEXURE: F_b = 775 PSI (REPETITIVE)
- B) SHEAR: F_v = 675 PSI (SINGLE MEM.)
- C) MODULUS OF ELASTICITY = 1.2 x 10⁶ PSI
- D. ALL ROOF SHEATHING SHALL BE GRADE C-C, C-D, OR STRUCTURAL II PER THE "AMERICAN PLYWOOD ASSOCIATION", 1/2" THICK.
- E. LAMINATED VENEER LUMBER (LVL) SHALL BE INSTALLED AND FASTENED PER THE MANUFACTURER'S RECOMMENDATIONS. MEMBER PROPERTIES SHALL BE AS FOLLOWS:
- 1. FLEXURE: F_b = 2850 PSI
- 2. MODULUS OF ELASTICITY: E = 2.0 x 10⁶ PSI
- 3. MODULUS OF ELASTICITY: E = 2.0 x 10⁶ PSI
- F. PROVIDE MINIMUM 3" BEARING FOR ALL LAMINATED VENEER BEAMS, 2" BEARING FOR STANDARD LUMBER BEAMS.
- G. ALL WOOD TOP PLATE SPLICES SHALL BE STAGGERED 6'-0" MINIMUM
- H. ALL WALL SHEATHING SHALL BE CONTINUOUS BETWEEN TOP PLATES AND BOTTOM PLATE OF WALL ABOVE.
- I. ALL MULTIPLE MEMBERS ARE TO BE FASTENED TOGETHER WITH 16D NAILS AT 12" O.C. TWO ROWS FOR BEAMS 9"-12" DEEP, THREE ROWS FOR BEAMS 14"-18" DEEP (STAGGERED)
- J. PROVIDE SOLID BLOCKING BETWEEN JOISTS AND RAFTERS AT ALL BEARING POINTS.
- K. ALL MISCELLANEOUS WOOD CONNECTIONS SHALL BE FASTENED PER ALL BUILDING CODE REQUIREMENTS.
- L. DOUBLE JOISTS SHALL BE LOCATED BENEATH ALL PARTITIONS WHEN LENGTH OF THE PARTITION EXCEEDS 1/2 THE SPAN.
- M. ALL UNTELS TO BE TWO (2x12) (U.N.O.) SUPPORTED ON DOUBLE STUDS. DOUBLE STUDS SHALL BE NAILED TOGETHER WITH 10D AT 6" O.C.
- N. JOIST HANGERS SHALL BE SIZED ACCORDING TO THE FOLLOWING SCHEDULE:
- O. SUPPORTED MEMBER REQUIRED HANGER CAPACITY (LBS)
- 2 x 8 650
- 2 x 10 825
- 2 x 12 1000
- 1-3/4" x 9 1/2" LAM. VENEER BEAMS 3150
- 1-3/4" x 11 7/8" LAM. VENEER BEAMS 3925
- 1-3/4" x 14" LAM. VENEER BEAMS 4650
- P. TABLE VALUES SHALL BE MULTIPLIED BY THE NUMBER OF MEMBERS FASTENED TOGETHER FOR ALL MULTIPLE MEMBERS.
- Q. CONTRACTOR SHALL PROVIDE ALL NECESSARY CUSTOM HANGERS OR FABRICATED STEEL BRACKETS, FOR ALL BEAMS, INCLUDING SLOPED AND SKEWED CONDITIONS.
- R. CONTRACTOR SHALL REMOVE EXISTING FINISHES AT ALL ADJACENT AREAS PRIOR TO STRUCTURAL WORK, AND NOTIFY ENGINEER FOR INSPECTION.

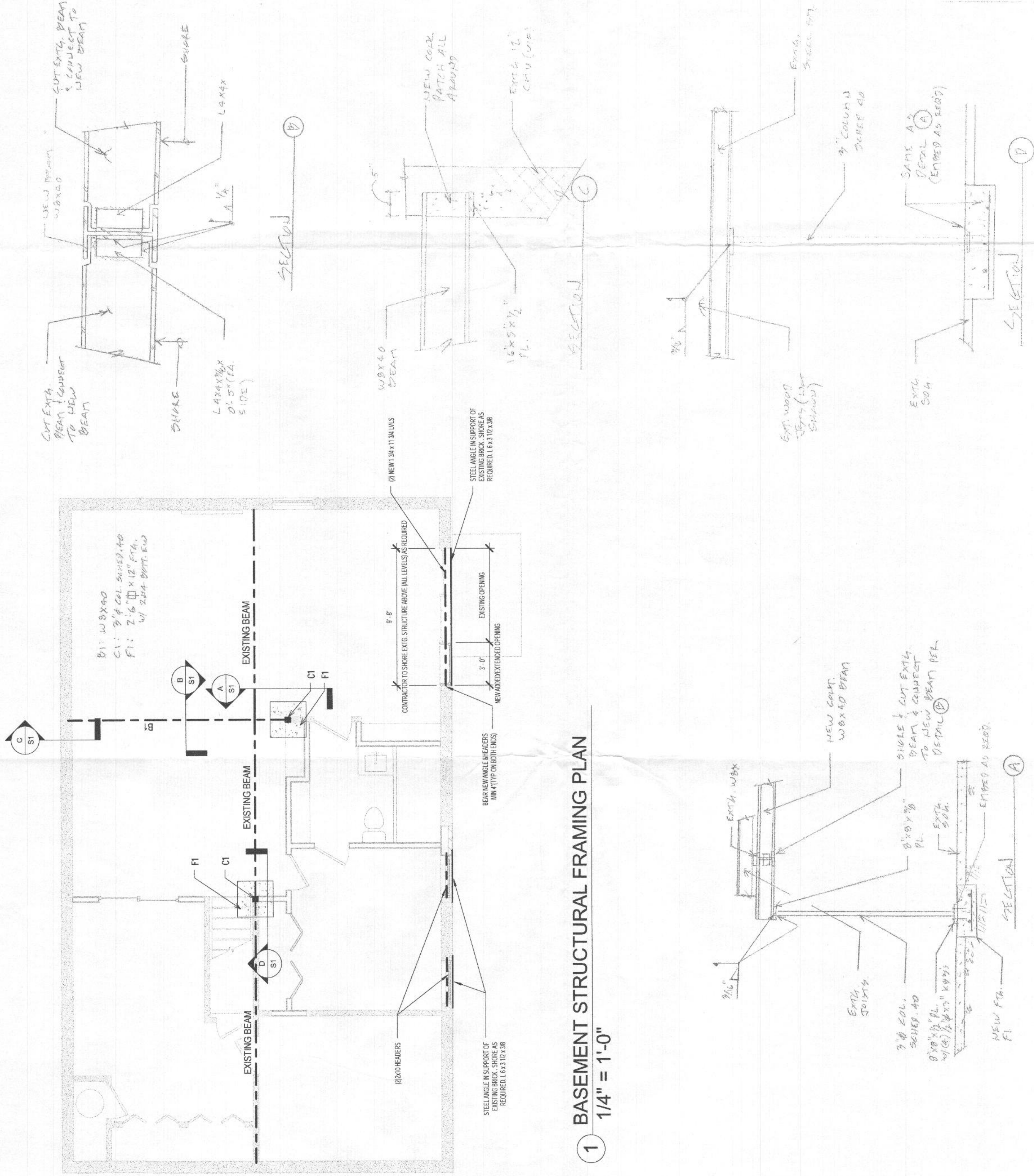
III. CONCRETE

- A. NEW CONCRETE SHALL BE 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS.
- B. ANY CONCRETE EXPOSED TO THE EXTERIOR SHALL BE 3500 PSI
- C. REINFORCEMENT SHALL BE 60 KSI GRADE.

IV. GENERAL

- A. ALL WATERPROOFING, ELECTRICAL, AND MECHANICAL WORK RELATED TO THE STRUCTURE IS SOLE RESPONSIBILITY OF THE CONTRACTOR.
- B. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION, AND MAKE ALL NECESSARY ADJUSTMENTS AS REQUIRED.
- C. THE STRUCTURAL NEW WORK IS DESIGNED IN ACCORDANCE WITH IRC 2015 CODE.
- D. NEW WOOD STAIRS AND HANDRAILS UP TO 3RD FLOOR LEVEL SHALL BE CONSTRUCTED BY CONTRACTOR AND SHALL COMPLY WITH ALL BUILDING CODE REQUIREMENTS AND WITH ARCHITECTURAL DRAWINGS. MAKE ALL MISC. FLOOR ADJUSTMENTS AS REQUIRED FOR NEW STAIRS.

1 BASEMENT STRUCTURAL FRAMING PLAN
1/4" = 1'-0"



GAVIN & ASSOC., INC.
STRUCTURAL ENGINEERS
P.O. Box 5142
McLEAN, VA 22182
PHONE (703) 409-9795
FAX: (703) 797-1395
WWW.GAVINENGINEERING.COM

5419 HARRIS FARM LN
CLARKSVILLE MD 21029

PERMIT SET 5.23.2018

DATE DESCRIPTION

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 19726, EXPIRATION DATE: 7-30-18

SEAL



TITLE
STRUCTURAL FRAMING PLANS

SHEET #

S1