



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 3/11/16

Permit No.: B16001056

Building Address: 4992 Wild Olive Ct
City: L. H. County State: MD Zip Code: 21042
Suite/Apt. # SDP/WP/BA #: F-13-20
Census Tract: Subdivision:
Section: Area: Lot: 105
Tax Map: 28 Parcel: 49 Grid: 11
Zoning: Map Coordinates: Lot Size: 5.759
Existing Use: VPOA 1st floor
Proposed Use: SFD
Estimated Construction Cost: \$ 250,000
Description of Work: Modded 1st floor - Kennedy
Occupant or Tenant:
Was tenant space previously occupied? ☐ Yes ☐ No
Contact Name:
Address:
City: State: Zip Code:
Phone: Fax:
Email:

Property Owner's Name: W. C. P. LLC
Address:
City: State: Zip Code:
Phone: Fax:
Email:
Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name:
Address:
City: State: Zip Code:
Phone: Fax:
Email:
Contractor Company: CRAFTMARK
Contact Person:
Address:
City: State: Zip Code:
License No.:
Phone: Fax:
Email:
Engineer/Architect Company:
Responsible Design Prof.:
Address:
City: State: Zip Code:
Phone: Fax:
Email:

Commercial Building Characteristics	Residential Building Characteristics
Height:	☐ SF Dwelling ☐ SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1st floor: 2nd floor:
Area of construction (sq. ft.):	Basement:
Use group:	☐ Finished Basement
Construction type:	☐ Unfinished Basement
☐ Reinforced Concrete	☐ Crawl Space
☐ Structural Steel	☐ Slab on Grade
☐ Masonry	No. of Bedrooms: 7
☐ Wood Frame	Multi-family Dwelling
☐ State Certified Modular	No. of efficiency units:
	No. of 1 BR units:
	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
➤ Roadside Tree Project Permit	Footings:
☐ Yes ☐ No	Roof:
Roadside Tree Project Permit #	☐ State Certified Modular
	☐ Manufactured Home

Utilities	
Water Supply	
☐ Public	
☐ Private	
Sewage Disposal	
☐ Public	
☐ Private	
Electric: ☐ Yes ☐ No	
Gas: ☐ Yes ☐ No	
Heating System	
☐ Electric ☐ Oil	
☐ Natural Gas ☐ Propane Gas	
☐ Other:	
Sprinkler System:	
☐ Yes ☐ No	
Grading Permit Number: G16000060	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: [Signature]
Print Name: [Name]
Email Address: [Email]
Date: 3/11/16
Title/Company:

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	4/1/2016	[Signature]

Is Sediment Control approval required for issuance? ☐ Yes ☐ No
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? ☐ Yes ☐ No
Is Entrance Permit Required? ☐ Yes ☐ No
Historic District? ☐ Yes ☐ No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$
Permit Fee	\$ 100
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	#

Freemon, Robert

From: David Schoen <dschoen@CraftmarkHomes.com>
Sent: Friday, April 01, 2016 12:12 PM
To: Freemon, Robert
Subject: RE: 4992 Wild Olive Court

Hi Robert,

I received and understand the comment letter you generated. I will furnish a copy of this to the buyer for their future reference. I do not intend to change any of the documentation submitted for review. Is this permit being approved as submitted and if so, when will the health clearance be entered into the system? I am trying to pull this building permit on Monday morning.

Thanks,

Dave Schoen
Production Manager
Craftmark Homes, Inc.
703-898-0377

From: Freemon, Robert [<mailto:rfeemon@howardcountymd.gov>]
Sent: Friday, April 01, 2016 12:08 PM
To: David Schoen <dschoen@CraftmarkHomes.com>
Subject: 4992 Wild Olive Court

Hi David,

I reviewed the Building Permit B16001056 for 4992 Wild Olive Court. On the Floor Plans the unfinished attic shows optional space with access to rough plumbing for a full bathroom. If installed this space could potentially lead to a 6th bedroom upon future completion. The shared sewer system allows for a maximum of 5 bedrooms per house. I have attached Sec. 3.801(b) of the Howard County Code regarding the bedroom definition for your review. Let me know if you have any questions and what you plan to do.

Thanks,

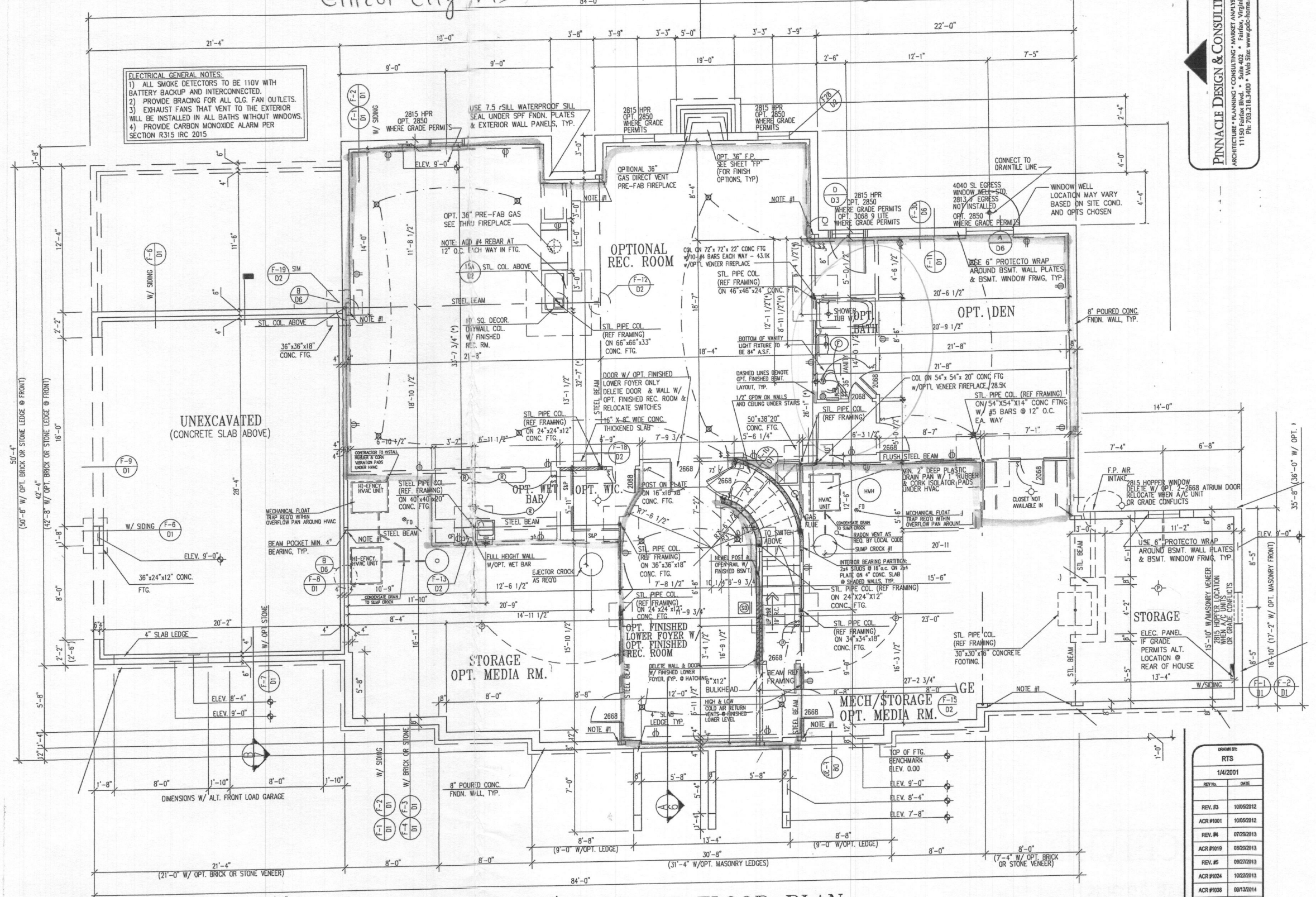
Robert Freemon
Howard County Health Department
Well and Septic Program
Phone: 410-313-6357
Email: rfeemon@howardcountymd.gov

Walnut Creek - Lot 105
4992 Wild Olive Ct.
Ellicott City, MD 21042

(5) Bedrooms
(5) Full Baths
(2) 1/2 Baths

= Finished Areas

Pinnacle Design & Consulting Inc.
ARCHITECTURE • PLANNING • CONSULTING • MARKET ANALYSIS • BROCHURES
11150 Millers Branch Road, Suite 200
Ellicott City, MD 21042
PH: 761.213.9400 • WWW.PDC-INC.COM

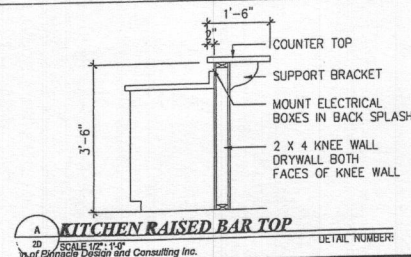


ELECTRICAL GENERAL NOTES:
1) ALL SMOKE DETECTORS TO BE 110V WITH BATTERY BACKUP AND INTERCONNECTED.
2) PROVIDE BRACING FOR ALL CLG. FAN OUTLETS.
3) EXHAUST FANS THAT VENT TO THE EXTERIOR WILL BE INSTALLED IN ALL BATHS WITHOUT WINDOWS.
4) PROVIDE CARBON MONOXIDE ALARM PER SECTION R315 IRC 2015

FOUNDATION/BASEMENT FLOOR PLAN

W/ OPT. EXTENDED STUDY @ FIRST FLOOR OR ALTERNATE FIRST FLOOR
SHOWN W/ ELEVATION #6
UNLESS OTHERWISE NOTED SET WINDOW HEAD HEIGHT @ 6'-6" ABOVE TOP OF SLAB

1/4"=1'-0"



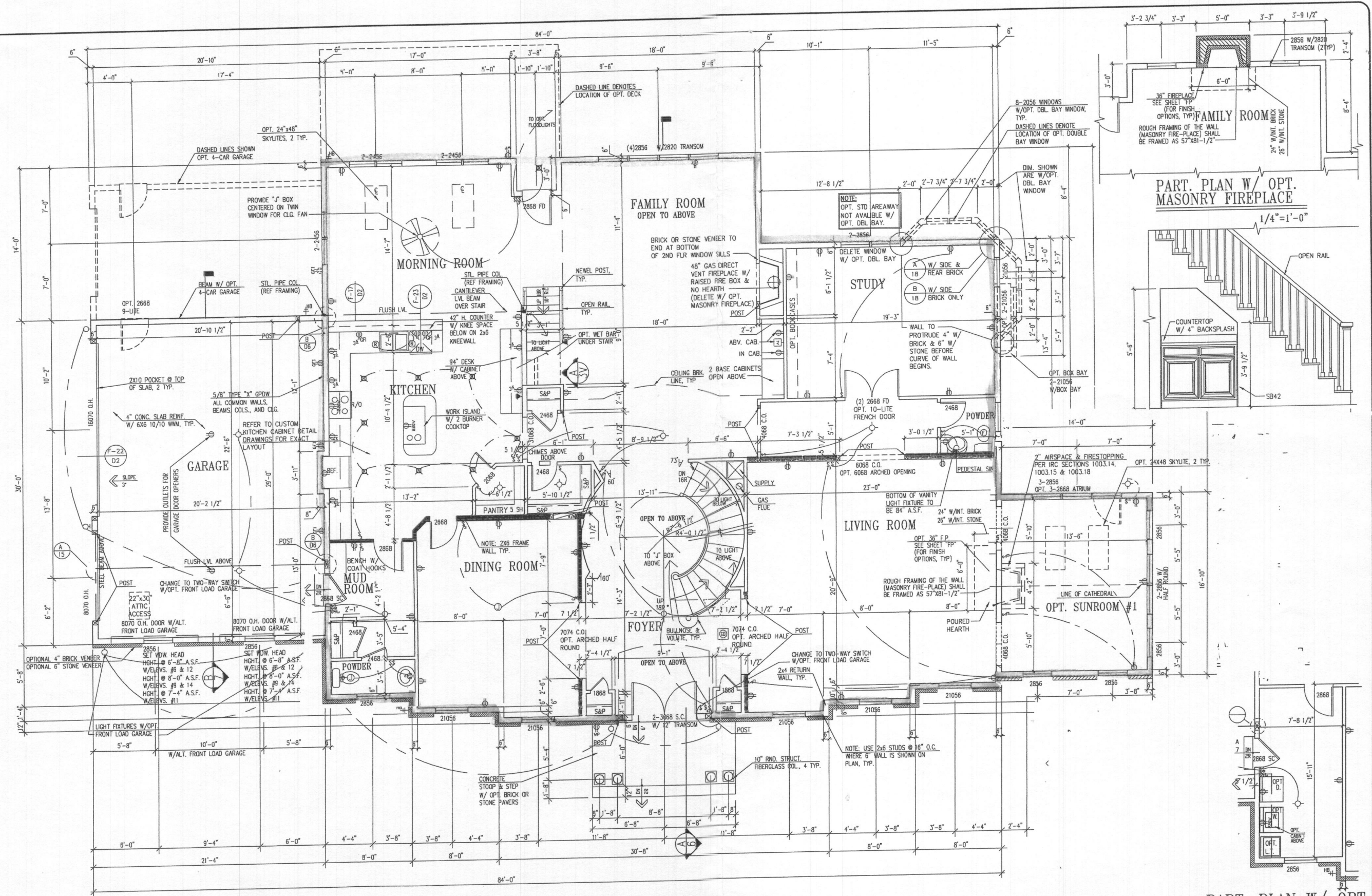
Approval BP B316001056

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 9438, EXPIRATION DATE 03/09/17.

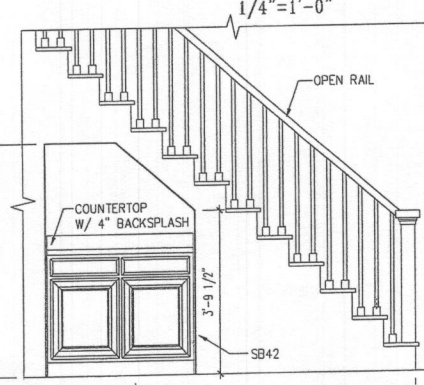
REVISIONS	
REV. NO.	DATE
REV. #3	10/06/2012
ACR #1001	10/06/2012
REV. #4	07/29/2013
ACR #1019	08/20/2013
REV. #5	08/27/2013
ACR #1024	10/22/2013
ACR #1038	03/13/2014
REV. #6	08/21/2014
REV. #9	10/10/2014
REV. #10	05/05/2015

PS040020
SHEET NO.
20

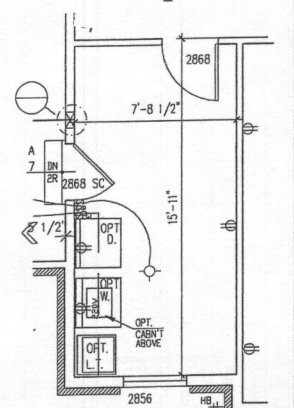
■ = Finished Areas



PART. PLAN W/ OPT. MASONRY FIREPLACE



PART. PLAN W/ OPT. 1ST FLR LAUNDRY



ALT. LOWER FLOOR PLAN

SHOWN W/ ELEVATION #6
UNLESS OTHERWISE NOTED WINDOW HEAD HEIGHT SHALL BE 8'-0" ABOVE SUBFLOOR

1/4"=1'-0"

NOTE:
WINDOWS WHERE THE OPERABLE OPENING IS LOCATED MORE THAN 72" ABOVE THE GRADE OR SURFACE BELOW SHALL HAVE THE LOWEST PART OF THE CLEAR OPENING A MINIMUM OF 24" (OR PER LOCAL CODE) ABOVE THE FINISHED FLOOR UNLESS EQUIPPED WITH AN APPROVED OPENING LIMITING OR FALL PREVENTION DEVICE.

NOTE:
1) WASHING MACHINE WILL ALWAYS BE ON THE LEFT, DRYER WILL ALWAYS BE ON THE RIGHT EVEN IN THE REVERSE PLAN.

OPT. ALTERNATE LOWER FLOOR PLAN
CRAFTMARK HOMES / KENWOOD II

Pinnacle Design & Consulting Inc.
ARCHITECTURE • PLANNING • CONSULTING • MARKET ANALYSIS • BROCHURES
11110 W. 20th St. Suite 100
P.O. Box 200000 • Overland Park, KS 66220-0000
TEL: 781.203.2184 FAX: 781.203.2184

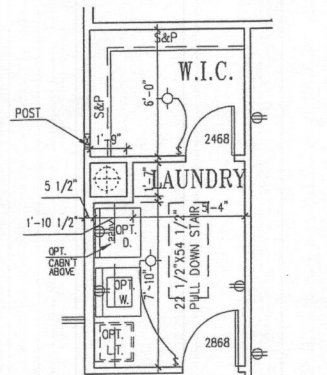
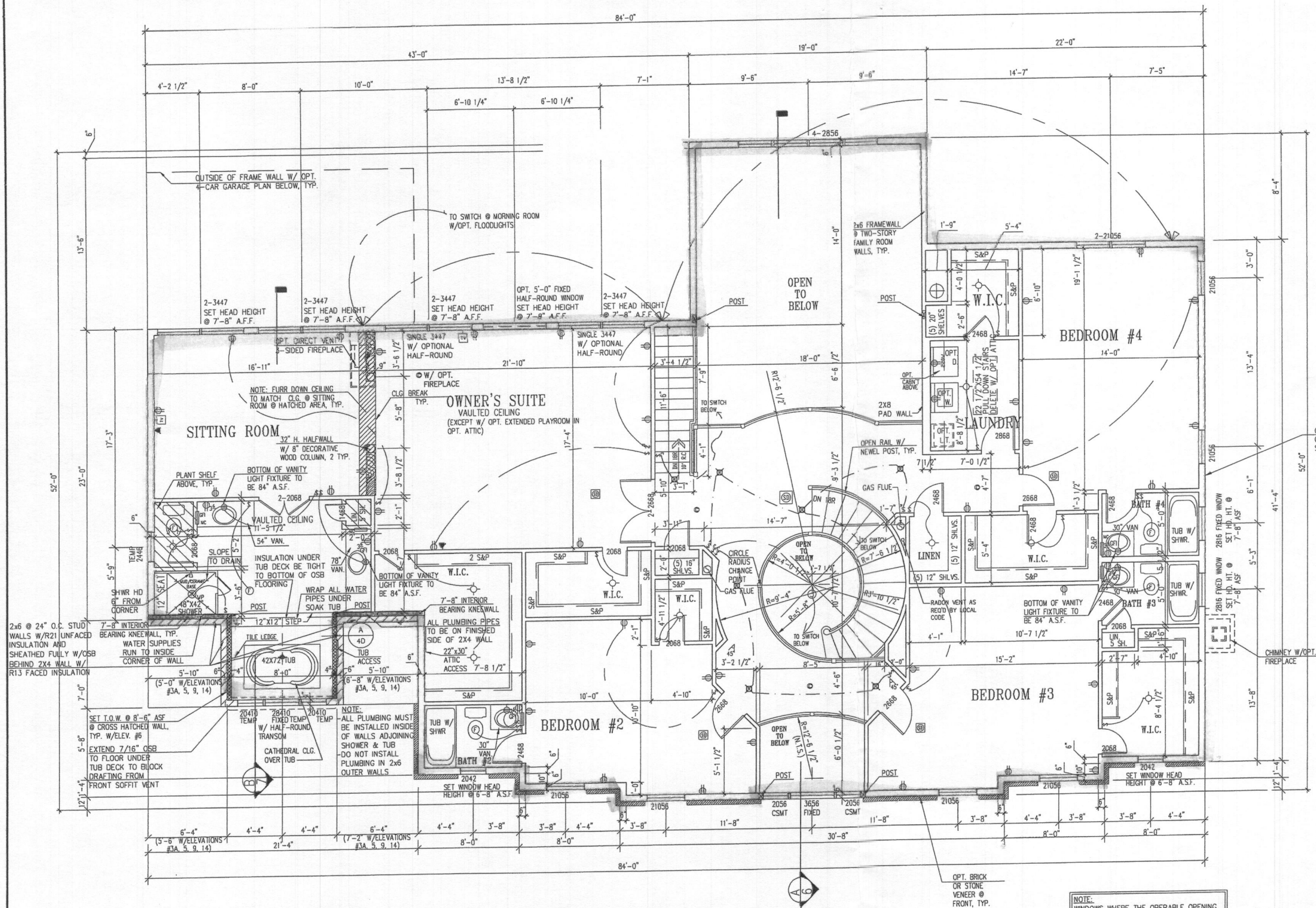
REV	DATE	DESCRIPTION
1	10/05/2012	10/05/2012
2	10/05/2012	10/05/2012
3	07/20/2013	07/20/2013
4	08/20/2013	08/20/2013
5	09/27/2013	09/27/2013
6	10/22/2013	10/22/2013
7	03/13/2014	03/13/2014
8	08/21/2014	08/21/2014
9	10/10/2014	10/10/2014
10	06/05/2015	06/05/2015

SHEET NO.

3A

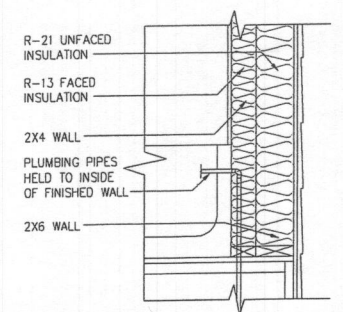
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= finished Areas



PART. PLAN W/ OPT. SEE-THRU FIREPLACE @ FIRST FLOOR
1/4"=1'-0"

NOTE:
1) WASHING MACHINE WILL ALWAYS BE ON THE LEFT, DRYER WILL ALWAYS BE ON THE RIGHT EVEN IN THE REVERSE PLAN.



INSULATED DOUBLE WALL @ TUB
SCALE 1/2"=1'-0"

OPT. ALT. UPPER FLOOR W/ ALT. FLOOR PLAN
SHOWN W/ ELEVATION #6
UNLESS OTHERWISE NOTED WINDOW HEAD HEIGHT SHALL BE 7'-4" ABOVE SUBFLOOR

1/4"=1'-0"

NOTE:
WINDOWS WHERE THE OPERABLE OPENING IS LOCATED MORE THAN 72" ABOVE THE GRADE OR SURFACE BELOW SHALL HAVE THE LOWEST PART OF THE CLEAR OPENING A MINIMUM OF 24" (OR PER LOCAL CODE) ABOVE THE FINISHED FLOOR UNLESS EQUIPPED WITH AN APPROVED OPENING LIMITING OR FALL PREVENTION DEVICE.

ELECTRICAL GENERAL NOTES:
1) ALL SMOKE DETECTORS TO BE 110V WITH BATTERY BACKUP AND INTERCONNECTED.
2) PROVIDE BRACING FOR ALL CLG. FAN OUTLETS.
3) EXHAUST FANS THAT VENT TO THE EXTERIOR WILL BE INSTALLED IN ALL BATHS WITHOUT WINDOWS.
4) PROVIDE CARBON MONOXIDE ALARM PER SECTION R315 IRC 2012

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 9438, EXPIRATION DATE 03/09/17.

Pinnacle Design & Consulting, Inc.
ARCHITECTURE • PLANNING • CONSULTING • MARKET ANALYSIS • BROCKHURST
11150 Fairfax Blvd. • Suite 402 • Fairfax, Virginia 22030
PH: 703.218.3400 • Web Site: www.pdc-home.com

ALT. UPPER FLOOR W/ ALT. FLOOR PLAN
CRAFTMARK HOMES / KENWOOD II

REV. NO.	DATE
REV. #3	10/05/2012
ACR #1001	10/05/2012
REV. #4	07/29/2013
ACR #1010	08/20/2013
REV. #5	09/27/2013
ACR #1024	10/22/2013
ACR #1038	03/13/2014
REV. #6	08/21/2014
REV. #9	10/10/2014
REV. #10	06/05/2015

SHEET NO.

4D

ARCHITECTURE • PLANNING • CONSULTING • MARKET ANALYSIS • BROCHURES
11150 Fairfax Blvd. • Suite 402 • Fairfax, Virginia 22030
Blk. 703 319 3400 • Mch. Eng. 319 3400 • 1-800-368-2222

CLIENT INFORMATION:

CRAFTMARK HOMES / KENWOOD II

SHEET TITLE: **OPT. ATTIC PLAN**

DRAWN BY:	
RTS	
1/4/2001	
REV No.	DATE
REV. #3	10/05/2012
ACR #1001	10/05/2012
REV. #4	07/29/2013
ACR #1019	08/20/2013
REV. #5	09/27/2013
ACR #1024	10/22/2013
ACR #1038	03/13/2014
REV. #8	08/21/2014
REV. #9	10/10/2014
REV. #10	05/05/2015

SHEET No.



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Unfinished ATTIC
w/ plywood floor
~~ONLY~~ ONLY (unconditioned space)
UPPER HALL W/

UPPER HALL W/ OPT.	
ATTIC STAIR	

FOR ADDITIONAL NOTES SEE UPPER FLOOR PLAN SHEET

$$1/4'' = 1' - 0''$$

Access panel
@ top of stairs
to unfinished
attic space

OPTIONAL ATTIC FLOOR PLAN

UNLESS OTHERWISE NOTED WINDOW HEAD HEIGHT SHALL BE 7'-0" ABOVE SUBFLOOR

PARTIAL ATTIC FLOOR PLAN

W/ OPT. STUDY

$$1/4'' = 1' - 0$$
$$1/4'' = 1' - 0$$