



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: DPZC1112

Building Address: 12535 Westland Court
 City: Fulton State: MD Zip Code: 20759
 Suite/Apt. #: _____ SDP/WP/BA #: _____
 Census Tract: _____ Subdivision: Westland Farm Estate
 Section: _____ Area: _____ Lot: 9
 Tax Map: 45 Parcel: 28 Grid: _____
 Zoning: RR-BEO Map Coordinates: _____ Lot Size: 3.22 ac
140, 243 sq ft
 Existing Use: Vacant Lot
 Proposed Use: Single Family Home
 Estimated Construction Cost: \$ 592,419
 Description of Work: Model Rutledge w/ 5th Br + 3 car
2 story, full bant, 14R, 4FB, 1HR, 2FP + 3
car gar - (5BR) + 6th BR in bant
 Occupant/Tenant Name: _____
 Was tenant space previously occupied? ☐ Yes ☐ No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: Williamsburg Group LLC
 Address: 5165 Arpers Farm Rd #200
 City: Columbia State: MD Zip Code: 20644
 Phone: 410-497-8800 Fax: _____
 Email: marina.morris@williamsburgllc.com

Applicant's Name & Mailing Address, (if other than stated herein)

Applicant's Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Contractor Company: _____
 Contact Person: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 License No.: 155
 Phone: _____ Fax: _____
 Email: _____

Engineer/Architect Company: _____
 Responsible Design Prof.: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height: _____	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories: _____	Depth _____ Width _____
Gross area, sq. ft./floor: _____	1 st floor: _____
Area of construction (sq. ft.): _____	2 nd floor: _____
Use group: _____	Basement: _____
Construction type: _____	<input checked="" type="checkbox"/> Finished Basement
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Unfinished Basement
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Crawl Space
<input type="checkbox"/> Masonry	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Wood Frame	No. of Bedrooms: <u>6</u>
<input type="checkbox"/> State Certified Modular	Multi-family Dwelling
	No. of efficiency units: _____
	No. of 1 BR units: _____
	No. of 2 BR units: _____
	No. of 3 BR units: _____
	Other Structure: _____
	Dimensions: _____
Roadside Tree Project Permit	Footings: _____
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof: _____
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Sewage Disposal
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Heating System
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane Gas
<input type="checkbox"/> Other: _____
Sprinkler System:
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Grading Permit Number: <u>616000233</u>
Building Shell Permit Number: <u>616000304</u>

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Marina Morris Print Name: Marina Morris
 Email Address: marina.morris@williamsburgllc.com Date: 4/6/18
 Title/Company: Agent/WGLLC

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY

FOR OFFICE USE ONLY

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health		
Is Sediment Control approval required for issuance? <input type="checkbox"/> Yes <input type="checkbox"/> No		
<input type="checkbox"/> CONTINGENCY CONSTRUCTION START		

DPZ SETBACK INFORMATION

Front: _____

Rear: _____

Side: _____

Side St.: _____

All minimum setbacks met? ☐ Yes ☐ No

Is Entrance Permit Required? ☐ Yes ☐ No

Historic District? ☐ Yes ☐ No

Lot Coverage for New Town Zone: _____

SOP/Red-line approval date: _____

Filing Fee	\$
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# <u>086012</u>

Distribution of Copies: White: Building Officials

Green: PSZA, Zoning

Yellow: PSZA, Engineering

Pink: Health

Gold: SHA



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits

3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 8/9/18

Permit No.: B18002810

Building Address: 12535 WESTLAND COURT
City: FULTON State: MD Zip Code: 20759
Suite/Apt. # _____ SDP/WP/BA #: _____
Census Tract: _____ Subdivision: WESTLAND FARM
Section: _____ Area: _____ Lot: 9
Tax Map: 45 Parcel: 28 Grid: _____
Zoning: _____ Map Coordinates: _____ Lot Size: 3 AC

Existing Use: SFD
Proposed Use: SFD W/PROPANE TANK
Estimated Construction Cost: \$ 4,000
Description of Work: _____
INSTALL 1000 GAL UNDERGROUND PROPANE TANK
Occupant/Tenant Name: OWNER
Was tenant space previously occupied? ☐ Yes ☐ No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Property Owner's Name: WBG WESTLAND FARM LLC
Address: 5485 HARPERS FARM ROAD STE 200
City: COLUMBIA State: MD Zip Code: 21044
Phone: _____ Fax: _____
Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: MICHELLE CLANCY
Address: PO BOX 310
City: PERRY HALL State: MD Zip Code: 21128
Phone: 443-610-7514 Fax: _____
Email: MICHELLE@APPLIEDANDAPPROVED.COM

Contractor Company: TECH AIR
Contact Person: DENNIS FEAGA
Address: 1560 A-D CATON CENTER DRIVE
City: BALTIMORE State: MD Zip Code: 21227
License No.: 81215
Phone: 410-984-5681 Fax: _____
Email: _____

Engineer/Architect Company: CONTRACTOR
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height: _____	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
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Gross area, sq. ft./floor: _____	1 st floor: _____
Area of construction (sq. ft.): _____	2 nd floor: _____
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Construction type: _____	<input type="checkbox"/> Finished Basement
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<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Crawl Space
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	No. of 1 BR units: _____
	No. of 2 BR units: _____
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<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof: _____
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	<input type="checkbox"/> Manufactured Home

Utilities
Electric: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Sewage Disposal
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Heating System
<input type="checkbox"/> Electric <input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas
<input type="checkbox"/> Other: _____
Sprinkler System:
<input type="checkbox"/> Yes <input type="checkbox"/> No
Grading Permit Number: _____
Building Shell Permit Number: _____

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MICHELLE CLANCY
Applicant's Signature
MICHELLE@APPLIEDANDAPPROVED.COM
Email Address
PERMITS
Title/Company

MICHELLE CLANCY
Print Name
8/9/18
Date

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY

-FOR OFFICE USE ONLY-

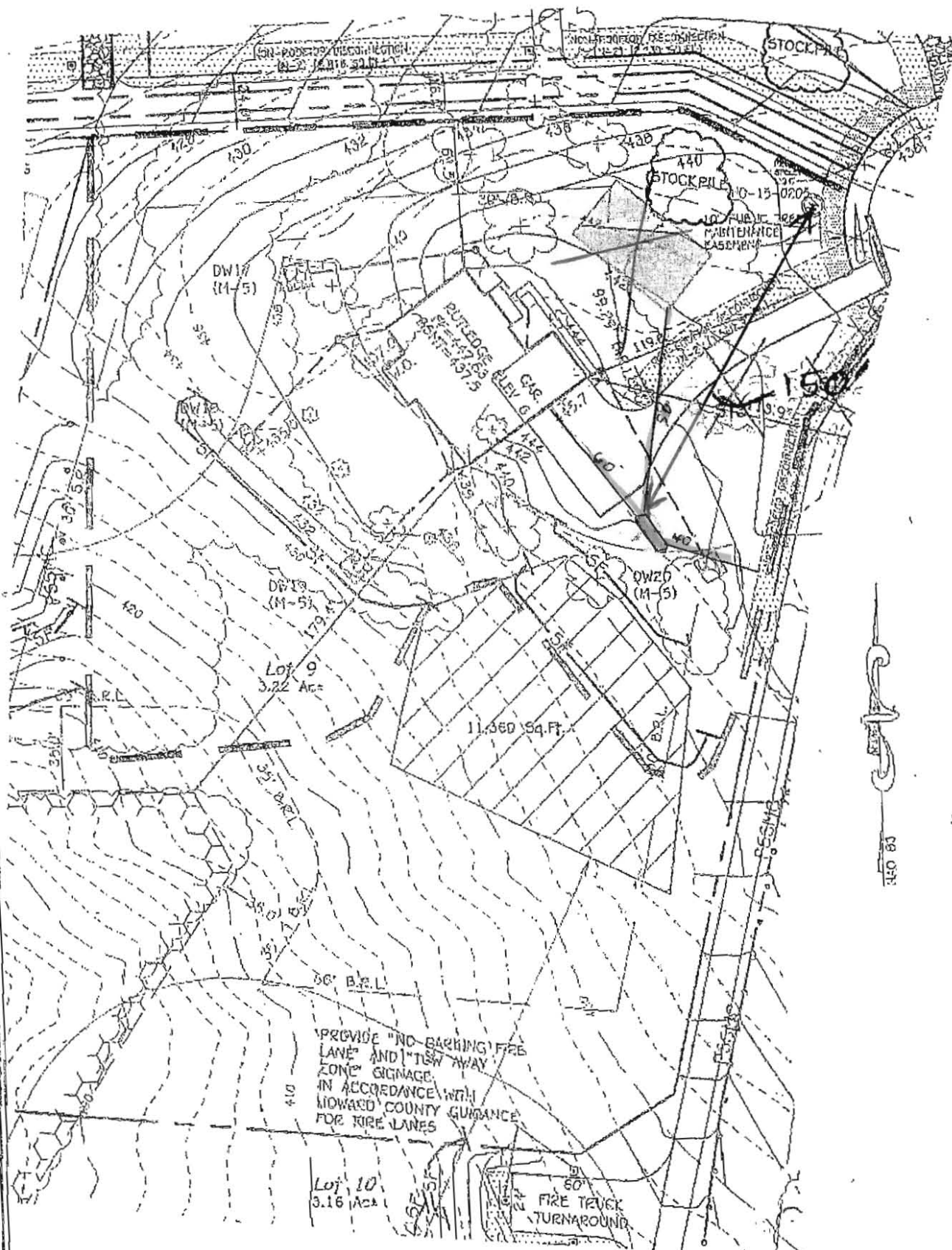
AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	9/12/18	H. Oswald

Is Sediment Control approval required for issuance? ☐ Yes ☐ No
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front: _____
Rear: _____
Side: _____
Side St.: _____
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone: _____
SDP/Red-line approval date: _____

Filing Fee	\$
Permit Fee	\$ 100
Tech Fee	\$ 10
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$ 110.00
Sub- Total Paid	\$
Balance Due	\$
Check	# 6736

Distribution of Copies: White: Building Officials Green: PSZA, Zoning Yellow: PSZA, Engineering Pink: Health Gold: SHA



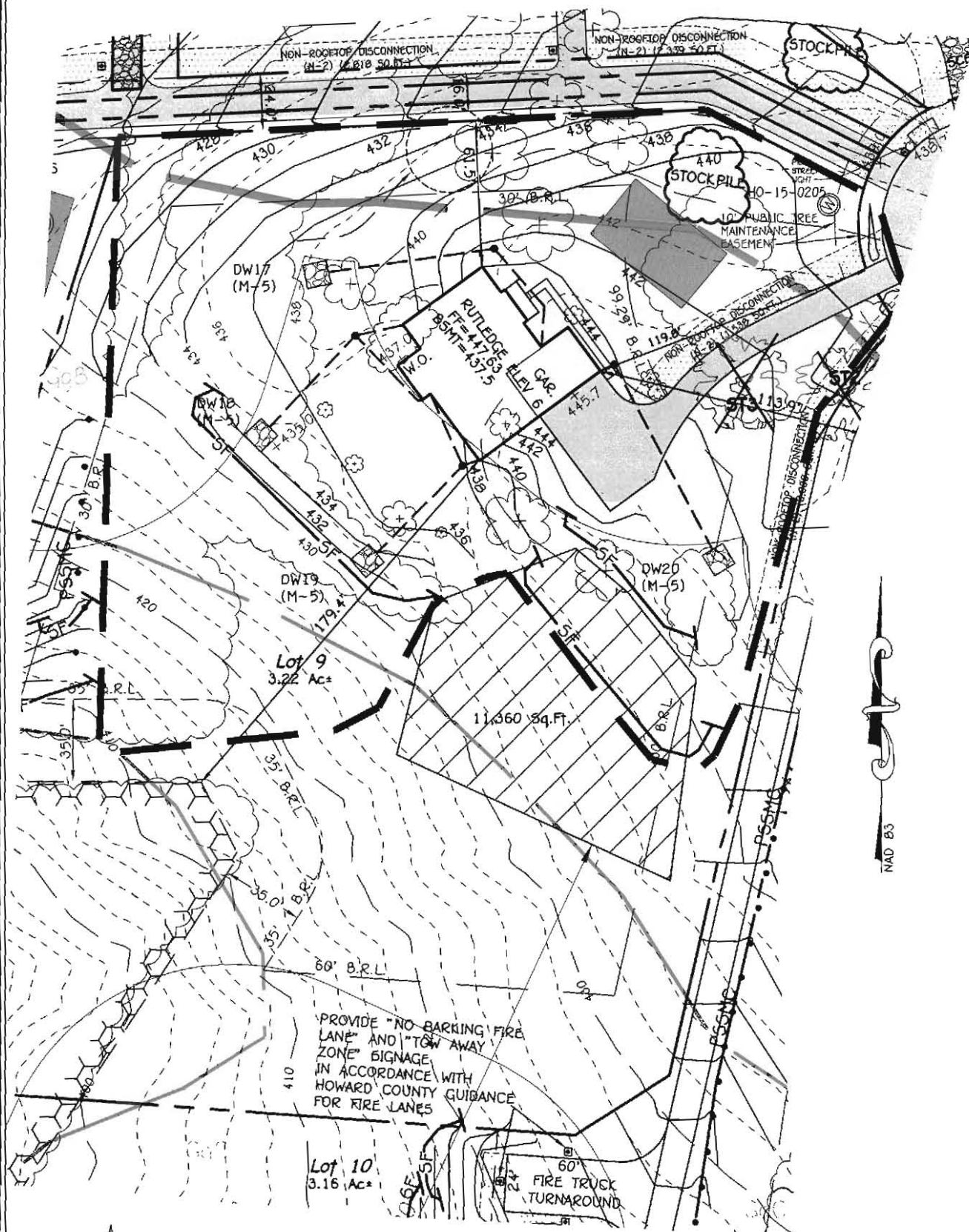
9/1/18 - Site plan approved
for B18002810 (UST)
H.O.

1" = 60'

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
(410) 461-2655

PERMIT PLAN
WESTLAND FARM ESTATES, LOT 9
12535 WESTLAND COURT
TAX MAP #45 PARCEL: 20
ZONED: RR-OEO
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 60' DATE: MARCH 2018

10000' under elevated



Approved 1318001112
R/E 5/24/18

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
(410) 461 - 2855

PERMIT PLAN
WESTLAND FARM ESTATES, LOT 9
12535 WESTLAND COURT
TAX MAP #45 PARCEL: 2B
ZONED: RR-DEO
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 60' DATE: MARCH 2018

The Rutledge
Williamsburg Group, LLC
5485 Harpers Farm Rd. #200
Columbia , MD 21044
(410) 997- 8800

[illegible]

PROJECT DATA	
CONSTRUCTION:	
GROUND FLOOR	CONCRETE
FIRST FLOOR	WOOD
SECOND FLOOR	WOOD
ROOF	WOOD
WALLS	WOOD
BUILDING AREA:	
FIRST FLOOR:	2780 SQ. FT.
SECOND FLOOR:	2416 SQ. FT.
TOTAL:	5196 SQ. FT.

PROJECT DESIGN CRITERIA

THE FOLLOWING STANDARDS ARE BASED ON THE GENERAL REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE (IRC) 2015 EDITION FOR ONE AND TWO FAMILY DWELLINGS & ALL STATE AND LOCAL AMENDMENTS CONSTRUCTION CLASSIFICATION TYPE 5B (UNPROTECTED) USE GROUP: R3

2015 IECC CODE COMPLIANCE

BUILDING DATA

CODE SECTION	STANDARD (MINIMUM)	CLIMATE & GEOGRAPHIC DESIGN CRITERIA
R301.1 CLIMATE ZONE R301.2 COMPLIANCE METHOD R302.1.1 VAPOR RETARDER	4A MANDATORY AND PRESCRIPTIVE PROVISIONS WALL ASSEMBLIES IN THE THERMAL ENVELOPE SHALL COMPLY WITH VAPOR RETARDER REQUIREMENTS OF SECTION R302.1 OF THE IRC 2015 R-49. R-36 WILL SATISFY THE REQUIREMENT IF FULL OVERTHE TOP PLATE @ BAYES (REQUIRES RAISED HEEL TRUSS). R-20 OR R3 + R5 CONTINUOUS INSULATION R-10 ROL FACED CONTINUOUS UNINTERRUPTED BATTS FULL HIGHT R-9 IN CAVITY IF FINISHED. R-20 ROL FACED CONTINUOUS BATTS FULL HIGHT. EXTENDING FROM FLOOR ABOVE TO FINISH GRADE LEVEL AND THEN VERTICALLY OR HORIZONTALLY AN ADDITIONAL 2'-0". R-19 BATT INSULATION	FLOOR LINE LOAD 40 PSF ROOF LINE LOAD 30 PSF WIND SPEED ULTIMATE 115 MPH EXPOSE C ATTICS W/VO STORAGE 10 PSF ATTICS W/VO STORAGE 20 PSF HABITABLE ATTICS 30 PSF STAIRS 40 PSF DECKS & BALCONIES (EXT) 40 PSF GUARDBANDS 200K (CONT.) SEISMIC CATEGORY 8 LIGHT FRAME STRUCTURAL WW SHEAR WALLS
R302.1.2 ATTIC INSULATION- R302.1.2 WOOD FRAME WALL R302.1.2 BASEMENT WALL INSULATION R302.1.2 CRAWL SPACE WALL INSULATION R302.1.2 FLOOR INSULATION OVER UNCONDITIONED SPACE R302.1.2 WINDOW U-VALUE/ SHGC R302.1.10 SLAB ON GRADE FLOORS LESS THAN 12 BELOW GRADE R302.2.4 ATTIC ACCESS: R302.4.1.2 BUILDING THERMAL ENVELOPE (AIR LEAKAGE)	0.35 (U-VALUE) & 0.40 (SHGC) R-10 RIGID FOAM BOARD UNDER SLAB EXTENDING EITHER 2'-0" HORIZONTALLY OR VERTICALLY. ATTIC ACCESS SCUTTLE WILL BE WEATHERSTRIPPED AND INSULATED R-49. EXTERIOR WALLS AND PENETRATIONS WILL BE SEALED PER THIS SECTION OF THE 2015 IECC WITH CAULK/GASKETS, WEATHERSTRIPPING OR AN AIR BARRIER OR SUITABLE MATERIAL. BUILDING ENVELOPE SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 3 AIR CHANGES PER HOUR TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E 779 OR ASTM E 1827 W/ BLOWER DOOR AT A PRESSURE OF 2 INCHES W.G. TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT FITTING FLUE DAMPERS AND OUTDOOR COMBUSTION AIR. ROOMS CONTAINING FUEL BURNING APPLIANCES WHERE OPEN COMBUSTION AIR DUCTS PROVIDE COMBUSTION AIR TO OPEN COMBUSTION FUEL BURNING APPLIANCES THE APPLIANCES AND COMBUSTION AIR SHALL BE LOCATED OUTSIDE THE BUILDING THERMAL ENVELOPE OR ENCLOSED IN A ROOM ISOLATED FROM INSIDE THE THERMAL ENVELOPE EXCEPTIONS: 1. DIRECT VENT APPLIANCES WITH BOTH INTAKE AND EXHAUST PIPES INSTALLED CONTINUOUS TO THE OUTSIDE. FIREPLACES AND STOVES COMPLYING WITH SECTION R302.4.2 AND SECTION R302.6 OF THE IRC. RECESSED LUMINAIRES INSTALLED IN THE THERMAL ENVELOPE SHALL BE DESIGNED TO LIMIT AIR LEAKAGE. ALL DWELLING UNITS WILL HAVE AT LEAST (1) PROGRAMMABLE THERMOSTAT FOR EACH SEPARATE HEATING AND COOLING SYSTEM. WHERE A HEAT PUMP SYSTEM HAVING SUPPLEMENTARY ELECTRIC RESISTANCE HEAT IS USED THE THERMOSTAT SHALL PREVENT THE HEAT FROM COMING ON WHEN HEAT PUMP CAN MEET HEATING LOAD. SUPPLY & RETURN DUCTS IN ATTIC R-8 MIN. SUPPLY DUCTS OUTSIDE OF CONDITIONED SPACE R-8 MIN. ALL OTHER DUCTS EXCEPT THOSE LOCATED INSIDE THE BUILDING THERMAL ENVELOPE R-6 MIN. DUCTS LOCATED UNDER CONCRETE SLABS MUST BE R-8 MIN. ALL DUCTS, AIR HANDLERS AND FILTER BOXES WILL BE SEALED. JOINTS AND SEAMS WILL COMPLY WITH SECTION M1601.4.1 OF THE IRC. A DUCT TIGHTNESS TEST (DUCT BLASTER LEAKAGE TEST) WILL BE PERFORMED ON ALL HOMES AND SHALL BE VERIFIED BY EITHER A POST CONS. TEST OR A ROUGH IN TEST. DUCT TIGHTNESS TEST IS NOT REQD. IF AIR HANDLER AND ALL DUCTS ARE LOCATED WITHIN CONDITIONED SPACE. OUTDOOR AIR WILL BE BROUGHT INTO THE HOME THRU: A DUCT WITH AN AUTOMATIC OR GRAVITY DAMPER TO COMPLY WITH TABLE R303.6.1. SHALL COMPLY WITH R303.7 A MIN. OF 75% OF ALL LAMPS MUST BE HIGH-EFFICIENCY LAMPS. MIN EFFICIENCY ESTABLISHED BY MAECA. ALL MECH. TESTING TO BE PERFORMED BY APPROVED THIRD PARTY. THE CONTRACTOR ALSO RESPONSIBLE FOR GENERATING CERTIFICATE OF COMPLIANCE AND AFFIXING TO ELECTRICAL.	CONCRETE WEATHERING TERMIITE DECAY PROBABILITY ICE UNDERLAYMENT FROST DEPTH NOTE: MINIMUM VALUES SHOWN- CONFORM WITH LOCAL CODE OFFICIAL RULING FOR CONSTRUCTION.

GENERAL NOTES

GENERAL NOTES ARE ACKNOWLEDGED AND SHALL BE
ADHERED TO DURING THE CONSTRUCTION

MISC. NOTES:

1. ALL WORK INCLUDING ALL STRUCTURAL, HVAC, ELECTRICAL,
AND OTHER SHALL BE PERFORMED IN ACCORDANCE WITH ALL
APPLICABLE NATIONAL, STATE AND LOCAL CODES AND
REGULATIONS.
2. CONTRACTOR TO VERIFY AND COORDINATE ALL THE
CONDITIONS AND DIMENSIONS AT THE SITE BEFORE
BEGINNING OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE
REPORTED TO ARCHITECTURE GROUP IMMEDIATELY.
3. ALL PRE-ENGINEERED MATERIALS, EQUIPMENT, FITTINGS,
AND ETC. SHALL BE INSTALLED PER MANUFACTURERS
INSTRUCTIONS AND REQUIREMENTS.
4. PRE-ENGINEERED WOOD ROOF TRUSSES AND FLOOR JOIST
SHALL BE DESIGNED FOR THE LOAD INDICATED BY A
PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE
STATE OF MARYLAND. SHOP DRAWINGS SHALL BE SUBMITTED
TO THE COUNTY PLAN REVIEWER FOR APPROVAL PRIOR TO
FABRICATION.

R303.6 MECHANICAL VENTILATION

R303.6.1 WHOLE HOUSE MECH. VENT
SYSTEM FAN EFFICIENCY
EQUIPMENT SOUND

R303.7 LIGHTING EQUIPMENT
R304.1 WATER HEATER
MECHANICAL TESTING

REVISÉD 6/17

Plymouth Road Architects
640 Plymouth Road, Catonsville, MD 21229 410-788-0281

[illegible]Date: 5/15
Scale:

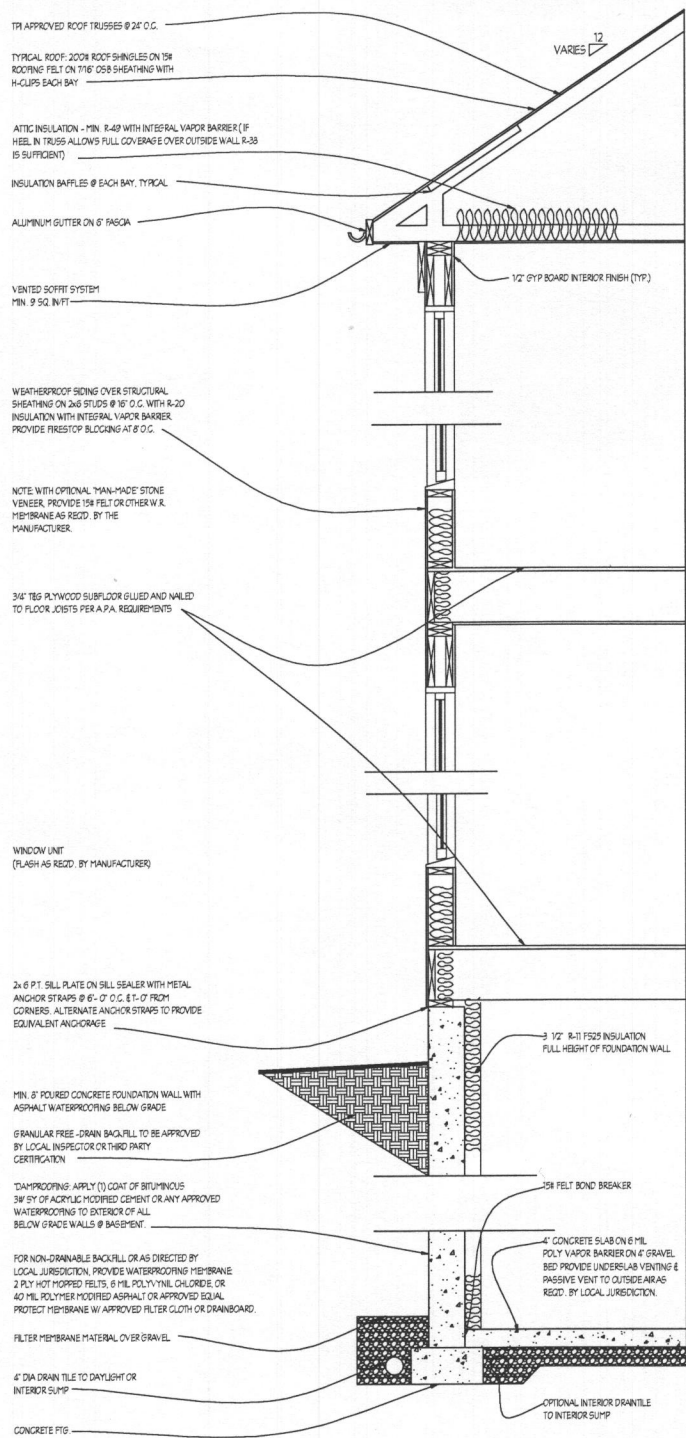
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Project: WILLIAMSBURG GROUP

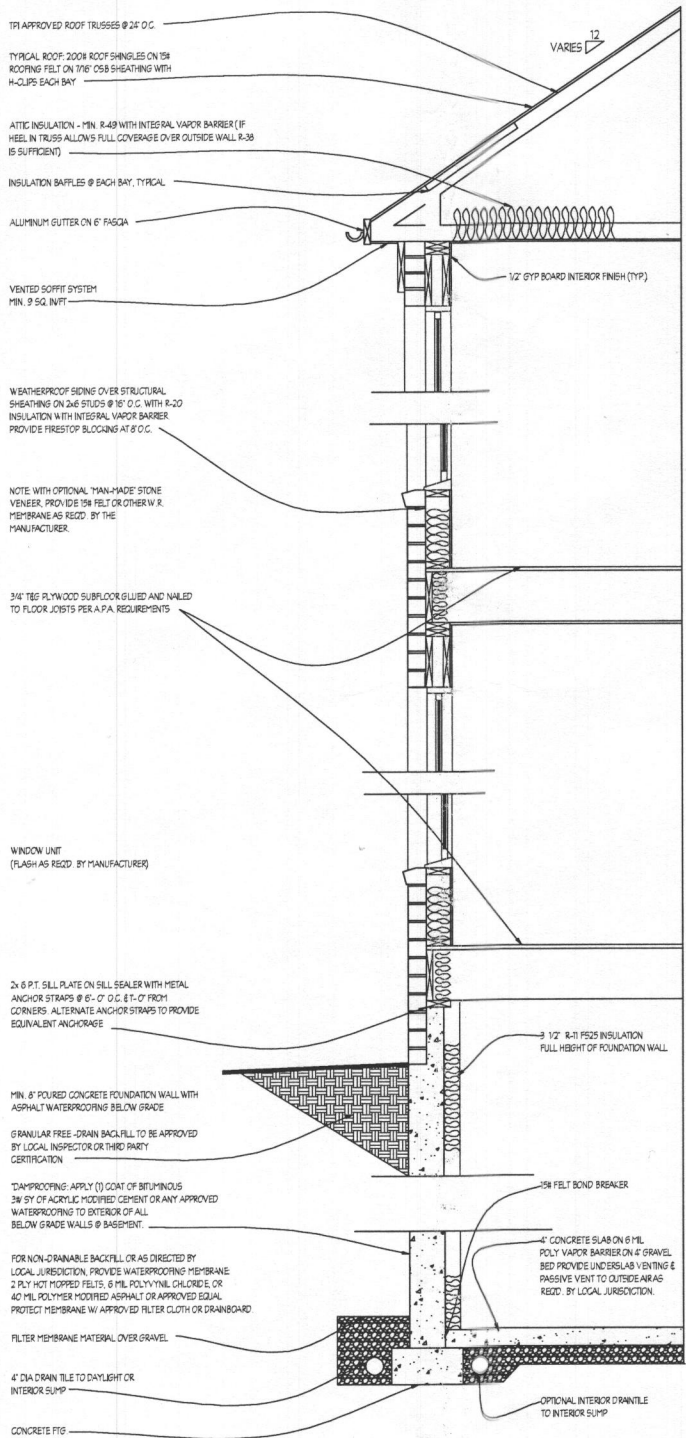
THE DIFFERENCE

1067 R
Project M

WF 009-12535 Westland Court, Fulton, MS 20759

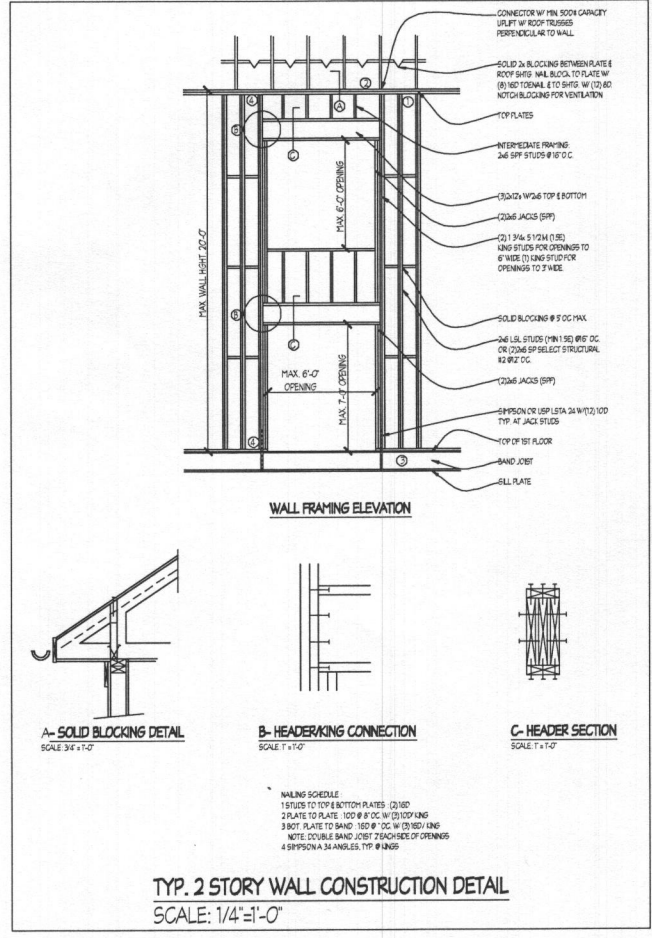


WALL SECTION W/ SIDING
SCALE: 3/4"=1'-0"



WALL SECTION W/ BRICK VENEER

FOUNDATION DESIGN SCHEDULES			
PLAIN CONCRETE WALLS			
BASED ON GROUP 1 SOILS (SW, SP, SW, SP)			
WALL THICKNESS	WALL HEIGHT	MAX. UNBALANCED FILL	
8"	8' OR 9'	7'	
10"	8' OR 9'	8'	
BASED ON GROUP 2 (SH, SC, SH, SC, SH, SC, SH, SC)			
WALL THICKNESS	WALL HEIGHT	MAX. UNBALANCED FILL	
8"	8' OR 9'	7'	
10"	8' OR 9'	8'	
12"	8' OR 9'	9'	
* MIN. 12" WALL THICKNESS W/ BRICK VENEER			
PLAIN CONCRETE WALLS			
BASED ON GROUP 2 OR 3 SOILS			
WALL THICKNESS	WALL HEIGHT	MAX. UNBALANCED FILL	
8" W/ REBAR	8'	7'	
8" W/ REBAR	9'	8'	
10" W/ REBAR	8'	7'	
10" W/ REBAR	9'	8'	
12" W/ REBAR	8'	7'	
12" W/ REBAR	9'	8'	
NOTE: PLACE REBAR MIN. 1 1/2" FROM INSIDE WALL FACE			
PERIMETER SPREAD FOOTINGS:			
MIN. WIDTHS BASED ON SOIL BEARING CAPACITY NOTED. MIN. THICKNESS IS 8"			
SUPPORTING	1500 PSF SOIL	2000 PSF SOIL	
1 FLOOR AND ROOF	16"	16"	
2 FLOORS AND ROOF	20"	16"	
3 FLOORS AND ROOF	24"	16"	
1 FLOOR AND ROOF W/ BRICK	20"	20"	
2 FLOORS AND ROOF W/ BRICK	26"	20"	
3 FLOORS AND ROOF W/ BRICK	32"	24"	
PIER FOOTINGS AND COLUMNS:			
MIN. PLAIN CONCRETE FOOTING SIZES BASED ON COLUMN DESIGN LOADS AND SOIL BEARING CAPACITY NOTED:			
KEY	MAX. VERT. LOAD	MAX. COLUMN HEIGHT	COLUMN SIZE
A	13,400#	100'	3" x 11" #4
B	11,500#	100'	3" x 11" #4
C	21,500#	100'	4" x 11" #4
D	32,400#	100'	3" x 11" #4
NOTE: FTG. DEPTHS MAYBE REDUCED TO MIN. 12" THICKNESS W/ REIN. 15 BARS @ 8" O.C. EACH WAY, 3' FROM BOTTOM			



TYP. 2 STORY WALL CONSTRUCTION DETAIL
SCALE: 1/4"=1'-0"

REVISED SET 5/12/15

Plymouth Road Architects
640 Plymouth Road, Catonsville, MD 21229 410-788-0281

REVISION	DATE	REVISION	DATE

Date: 5/15
Scale: NOTED
Drawn: TIM

Drawing: WALL SECTIONS
Project: WILLIAMSBURG GROUP
THE RUTLEDGE ESTATE HOME

1067 RE
Project No.

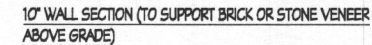
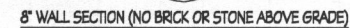
D1



- 1- THE AIRWAY STRAIN LANDING SHALL BE AT LEAST 6" BELOW THE INTERIOR FLOOR SLAB AND SLOPE TO DRAIN TO AN APPROVED GENERAL PURPOSE AREA DRAIN.
- 2- THE GENERAL PURPOSE DRAIN SHALL HAVE AN INTAKE OR STRAINER WITH A MINIMUM DIAMETER OF 6" AND A MINIMUM PIPE OUTFLOW OF 4".
- 3- THE DRAIN SHALL HAVE A STRAINER LID OR BODY THAT PROVIDES ACCESSIBILITY FOR MAINTENANCE OF DRAIN BODY AND PIPE.
- 4- THE AREA DRAIN SHALL BE CONNECTED TO A RISE PIPE WITH MINIMUM FALL OF 1/8" PER FOOT PIPED TO SUMP/PIPE CROCK OR EXISTING OUTLET OF THE SPACE.
- 5- THE RISE PIPE SHALL NOT BE CONNECTED TO THE INTERIOR OR EXTERIOR FOUNDATION DRAIN OR DRAIN LINE.
- 6- THE PIPE SHALL BE SLEEVED WHERE IT PASSES THROUGH THE FOUNDATION WALL OR FROST PROTECTED ROOFING.
- 7- THE GENERAL PURPOSE DRAIN ASSEMBLY AND RISE PIPE MAY BE CONSTRUCTED OF SCHEDULE 40 PIG CASTIRON OR EQUIVALENT APPROVED RISE PIPE.



NOTE
LADDER TO BE PROVIDED WHEN WINDOW WELL HAS A VERTICAL DEPTH GREATER THAN 44" BELOW GRADE. THE LADDER SHALL HAVE AN INSIDE DIMENSION OF NOT LESS THAN 12" (MIN.) W/ RINGS NOT MORE THAN 18" O.C. VERT. FOR THE FULL HEIGHT OF THE WALL. LADDER LOCATED ON SIDE WALL OF EGRESS WELL.



Plymouth Road Architects
640 Plymouth Road, Catonsville, MD 21229 410-788-0281

[illegible]

Date: 5/15
Scale: 1/4" =
Drawn: TIM

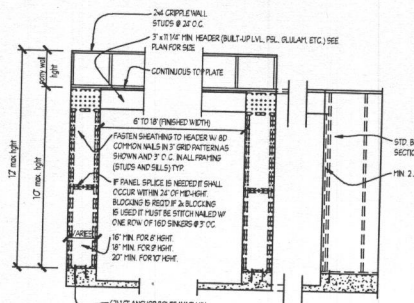
Drawing:

Project: WILLIAMSBURG GROUP
THE RUTLEDGE
ESTATE HOME

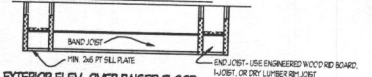
1067 RE
Project No.

(D2)

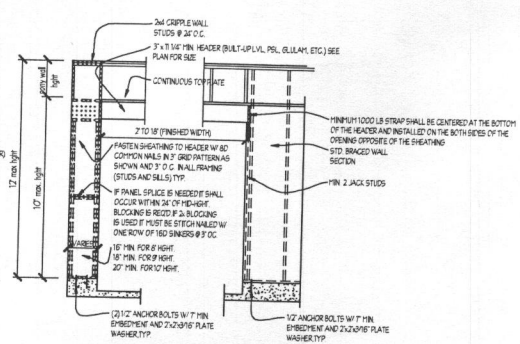
INTERIOR ELEVATION



TWO SIDED NARROW WALL PORTAL FRAME
EXTERIOR ELEV. DIRECT TO FOUNDATION



NARROW WALL PORTAL DETAILS - TYPE 1



ONE SIDE PORTAL FRAME FOR
SEISMIC DESIGN A,B AND C AT GARAGE

NARROW WALL BRACING DETAILS

NOTE: PORTAL FRAME ARE DESIGNED TO REPLACE THE REQ'D. BRACED WALL SEGMENT UP TO 40' LONG. FOR 9FT. WALL 8.31' FOR 10FT. WALL ADJACENT TO 88% OPENING. LOCATIONS AND SPACING TO FOLLOW IRC REQUIREMENTS.

LENGTH REQUIREMENTS FOR BRACED WALL PANELS IN A CONTINUOUSLY SHEATHED WALL.

3. FULL-HEIGHT SHEATHED WALL SEGMENTS TO EITHER SIDE OF GARAGE OPENINGS THAT SUPPORT LIGHT FRAME ROOFS ONLY, WITH ROOF COVERING DEAD LOADS OF 3PSF OR LESS SHALL BE PERMITTED TO HAVE A 4:1 ASPECT RATIO.

MINIMUM LENGTH OF BRACED WALL PANEL (INCHES)			MINIMUM OPENING HEIGHT NEXT TO THE BRACED WALL PANEL (% OF WALL HEIGHT)
48	54	60	100%
32	36	40	85%
24	27	30	65%

NOTE:

WALL BRACING
ALL EXTERIOR WALLS SHALL BE BRACED IN ACCORDANCE WITH THIS SECTION. IN ADDITION, INTERIOR BRACED WALL LINES SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 902.10.1.1. FOR BUILDINGS IN SEISMIC DESIGN CATEGORIES, D1 AND D2, WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ADDITIONAL REQUIREMENTS OF 902.10.3, 902.10.11, AND 902.11.
902.10.2

RECORD 101

BRACED WALL LINES SHALL CONSIDER CATEGORY OF BRACED WALL PANEL CONSTRUCTION METHODS IN ACCORDANCE WITH SECTION RECORD 102.3. THE AMOUNT AND LOCATION OF BRACING SHALL BE IN ACCORDANCE WITH TABLES RECORD 102 AND THE AMOUNT OF BRACING SHALL BE THE GREATER OF THAT REQUIRED BY THE SEISMIC DESIGN CATEGORY OR THE DESIGN WIND SPEED. BRACED WALL PANELS SHALL BE NOT MORE THAN 12' (3600 MM) FROM EACH END OF A BRACED WALL LINE. BRACED WALL PANELS THAT ARE COUNTED AS PART OF A BRACED WALL LINE MUST BE LOCATED WITHIN THE PLANE OF THE WALL. BRACING SHALL BE PERMITTED PROVIDED THAT THE TOTAL OUT-OF-PLANE DIMENSION IN A BRACED WALL LINE IS NOT MORE THAN 8' (2438 MM). A DESIGNATED COUNTER SHALL BE PROVIDED IF THE BRACING BEING USED IS NOT A DESIGNER'S CHOICE.

SPACING OF BRACED WALL LINES SHALL NOT EXCEED 35' (10,668 MM) ON CENTER IN BOTH THE LONGITUDINAL AND TRANSVERSE DIRECTIONS IN EACH STORY.

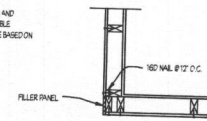
SPACING OF BRACED WALL LINES NOT EXCEEDING 50' SHALL BE PERMITTED WHERE

1. THE WALL BRACING PROVIDED EQUALS OR EXCEEDS THE AMOUNT OF BRACING REQUIRED BY TABLE R602.10.1 MULTIPLIED BY A FACTOR EQUAL TO THE BRACED WALL LINE SPACING DIVIDED BY 36, AND
2. THE LENGTH-TO-WIDTH RATIO FOR THE FLOORWALL DIAPHRAGM DOES NOT EXCEED 31.

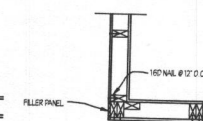
NOTE: WIND BRACING DESIGN AS REQUIRED BY SECTION 602.10 OF THE IRC HAVE BEEN SATISFIED BY THE ALTERNATIVE CONTINUOUS STRUCTURAL PANEL SHEATHING METHOD (S02.10 S) AND NARROW WALL (PORTAL FRAME) BRACING. REFER TO MIN. CONSTRUCTION DETAILS THIS SHEET. ADDITIONALLY, ALL STRUCTURAL MEMBERS SHALL BE FASTENED IN ACCORDANCE WITH TABLE 602.3(1) OF THE INTERNATIONAL RESIDENTIAL CODE, AND THE MANUFACTURERS' RECOMMENDATIONS IN THE CASE OF ENGINEERED COMPONENTS. MINIMUM BRACED WALL LENGTHS ARE BASED ON THE TABLE BELOW:

	MINIMUM LENGTH OF BRACED WALL PANELS									
MAX ADJACENT OPENING HEIGHT EQUivalent TO	30' VINT WINDOW	60' VINT WINDOW	60' VINT WINDOW	62' VINT WINDOW	62' VINT WINDOW	68' DOOR	68' OR W 10' OR	100' OR W 20' OR	FULL HEIGHT	
WALL HEIGHT	24'	26'	28'	30'	30'	32'	48"	NA	48"	48"
# WALL	2"	2"	2"	2"	3"	3"	3"	NA	54"	54"
# WALL	30'	30'	30'	30'	30'	30'	30'	NA	60'	60'

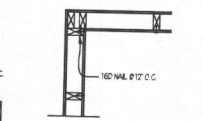
ALL BRACED EXTERIOR WALLS SHALL BE MIN. 7/16" OSB PANEL SHEATHING ATTACHED TO FRAMING WITH 8d COMMON NAILS 2' 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE FRAMING MEMBERS. SOLE PLATES SHALL BE FASTENED TO JOIST OR SOLID BLOCKING WITH (1)3/4" NAILS @ 15" O.C., REQUIRED TO PLATE OR SILL W/ 6d 2' 6" O.C. TOENAIL. ALL EXTERIOR WALL CORNERS SHALL BE FRAMED PER DETAIL. INTERIOR BRACED WALLS SHALL BE MIN. 1/2" GYP. BD. APPLIED TO EACH SIDE OF FRAMING W/ ADHESIVE AND 5 OR W SCREWS @ 24" O.C.



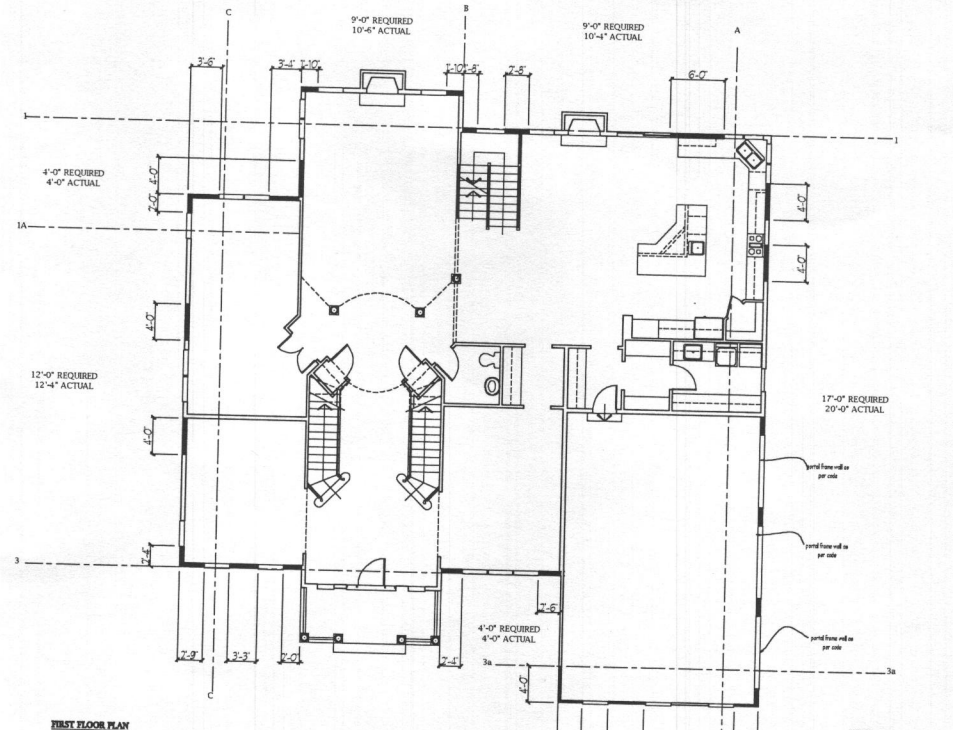
OUTSIDE CORNER DETAIL
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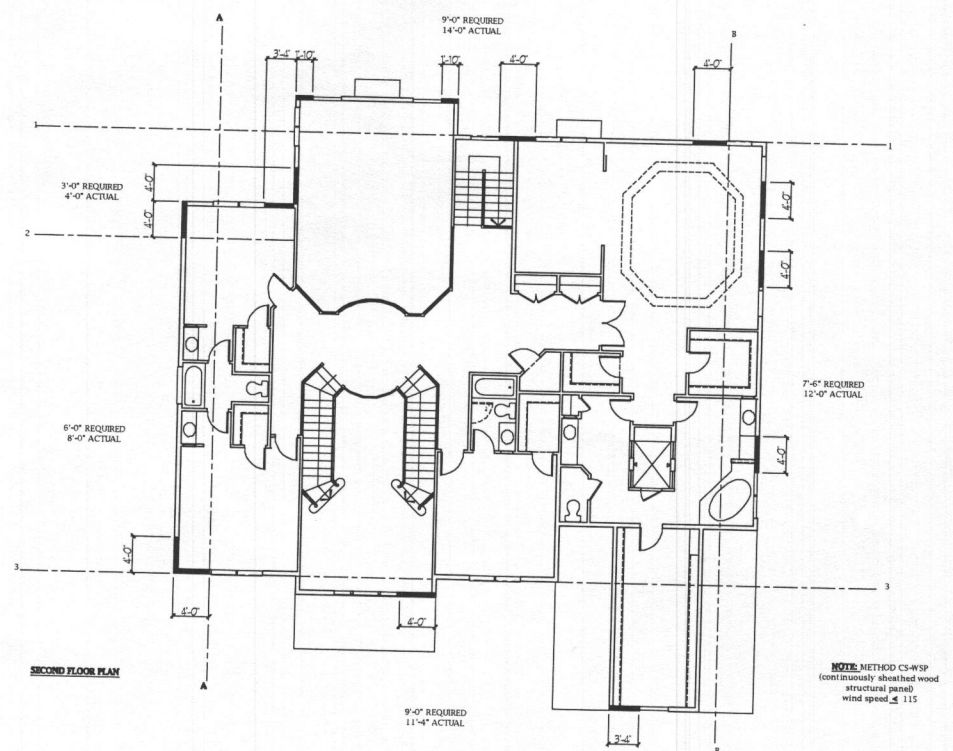
GARAGE CORNER DETAIL
not to scale



INSIDE CORNER DETAIL



FIRST FLOOR PLAN



SECOND FLOOR PLAN

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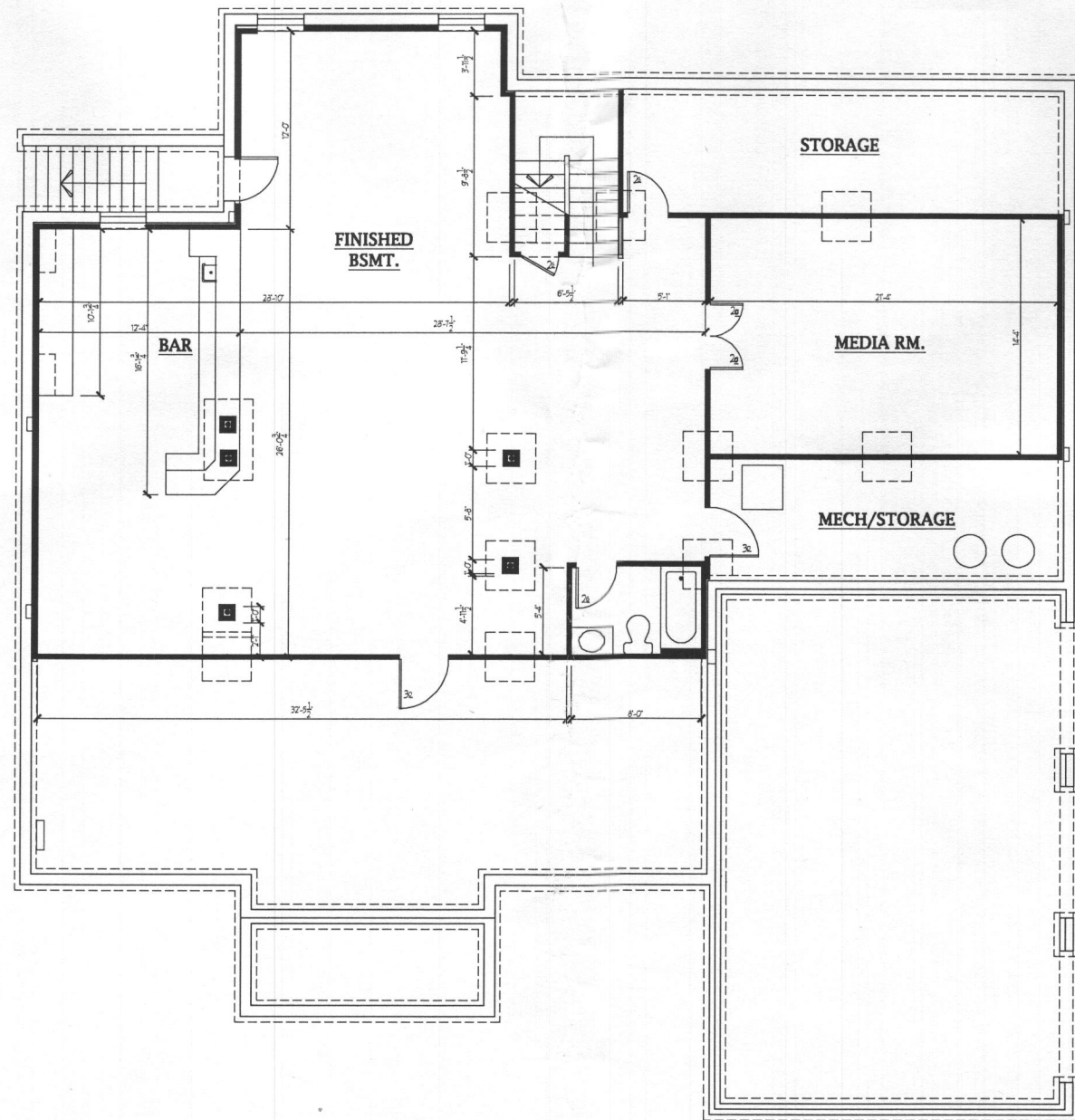
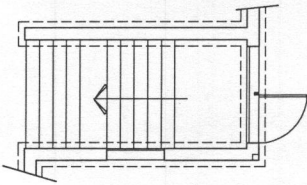
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Scale: N.A.
Drawn: TIM

Drawing: SHEAR WALL DETAILS

Project: WILLIAMSBURG GR
THE RUTLEDGE
ESTATE HOME

1067 RE
Project No.

D4



REVISED 1/16

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640 Plymouth Road, Catonsville, MD 21229 410-788-0281

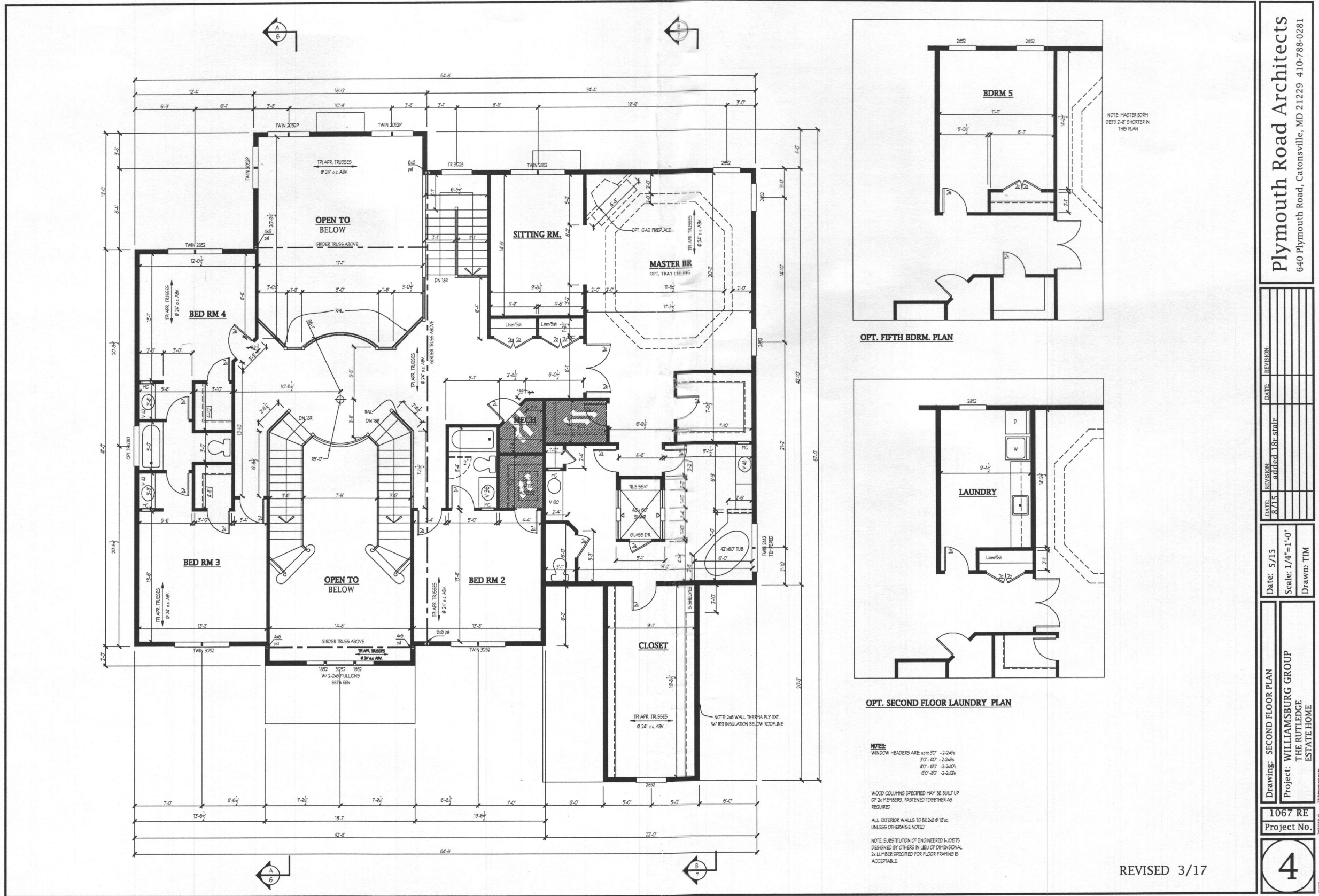
DATE	REVISION

Date: 5/15
Scale: 1/4"=1'-0"
Drawn: TIM

Drawing: FINISHED BASEMENT PLAN-1
Project: WILLIAMSBURG GROUP
THE RUTLEDGE
ESTATE HOME

1067RE
Project No.

2b



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Architectural drawings of a window frame. The main drawing shows a cross-section of a window with a custom elevation. It includes dimensions for the frame and glass panes. A smaller detail drawing on the right shows a simplified version of the frame. Labels include "SILVER TRUSS ABOVE", "CUSTOM PER ELEVATION", and "2x6".

Hand-drawn floor plan of a building. The plan shows a central rectangular area with a smaller rectangular extension on the left. Dimensions are given in feet and inches. The overall width is 64'-0", and the overall depth is 22'-0". The central area is 19'-0" wide and 13'-0" deep. The extension on the left is 17'-0" wide and 6'-0" deep. The plan includes walls, doors, and windows.

STEEL COLUMNS TO SUPPORT GARAGE BEAM ARE STANDARD WEIGHT PIPE COLUMNS A501 OR A53 GRADE B, TO CARRY 13,000 LBS.

REVISÉ 3/17

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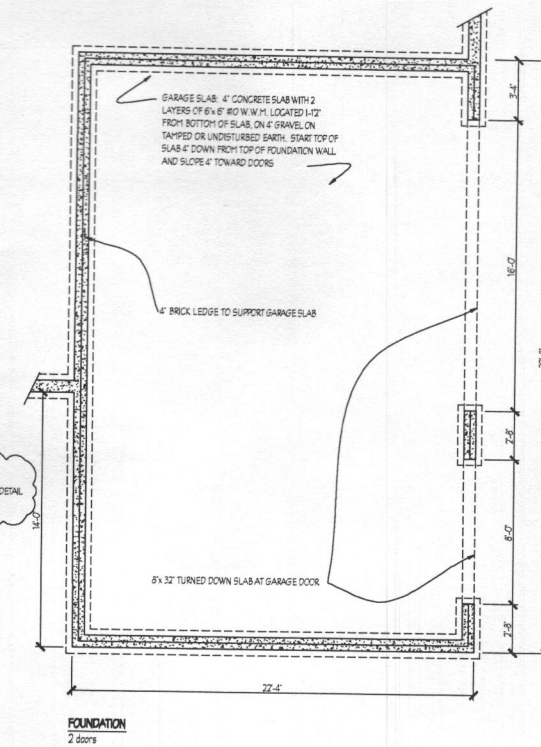
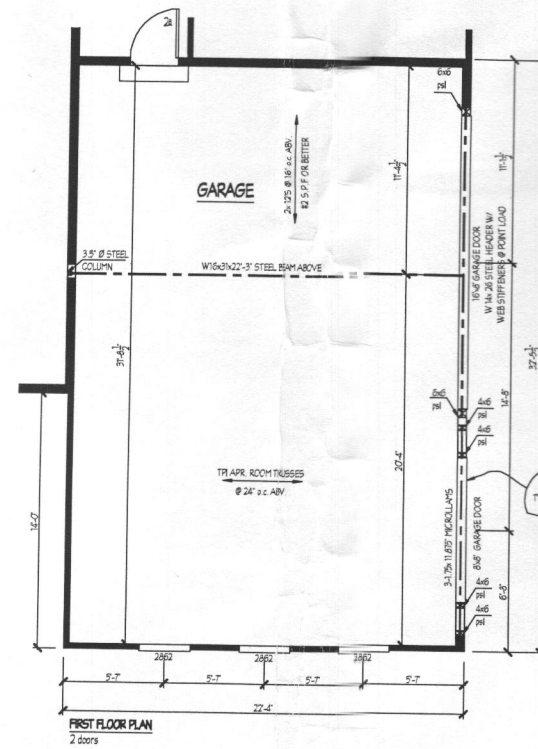
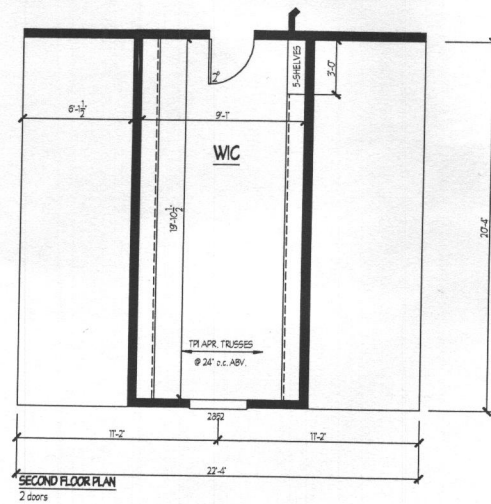
Date: 5/15
Scale: 1/4" =
Drawn: TIM

Drawing: PARTIAL PLANS-LEVATION 6

Project: WILLIAMSBURG GROUP
THE RUTLEDGE
ESTATE HOME

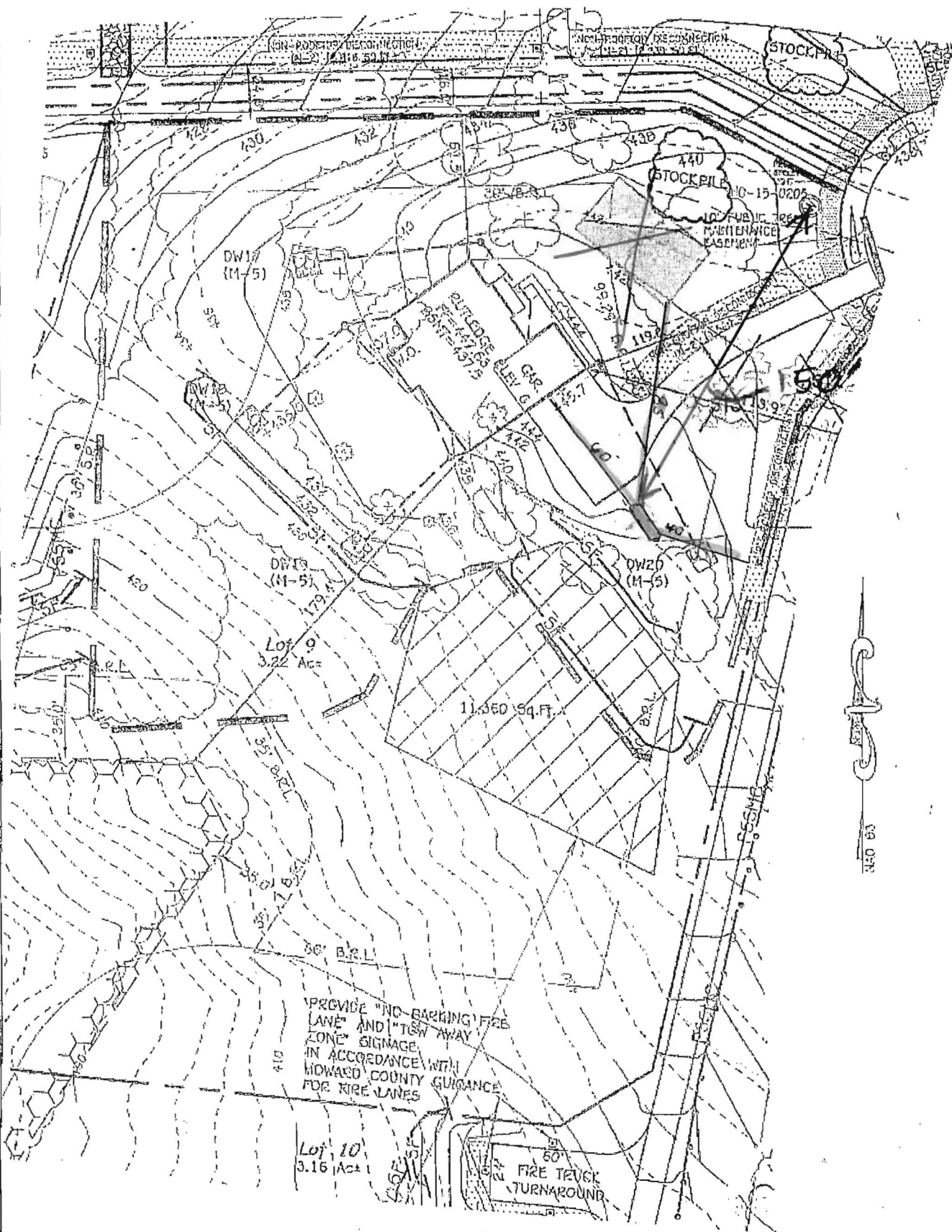
1067 RE
Project No.

5f



REVISED 3/17

	1067.R Project No.	Drawing: 3 CAR SIDE LOAD GARAGE PLANS Project: WILLIAMSBURG GROUP RUTLEDGE	Date: 5/13 Scale: 1/4"=1'-0" Drawn: TIM	<table border="1"> <tr> <th>DATE</th> <th>REVISION</th> <th>DATE</th> <th>REVISION</th> </tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </table>	DATE	REVISION	DATE	REVISION																	Plymouth Road Architects 640 Plymouth Road, Catonsville, MD 21229 410-788-0281
	DATE	REVISION	DATE	REVISION																					



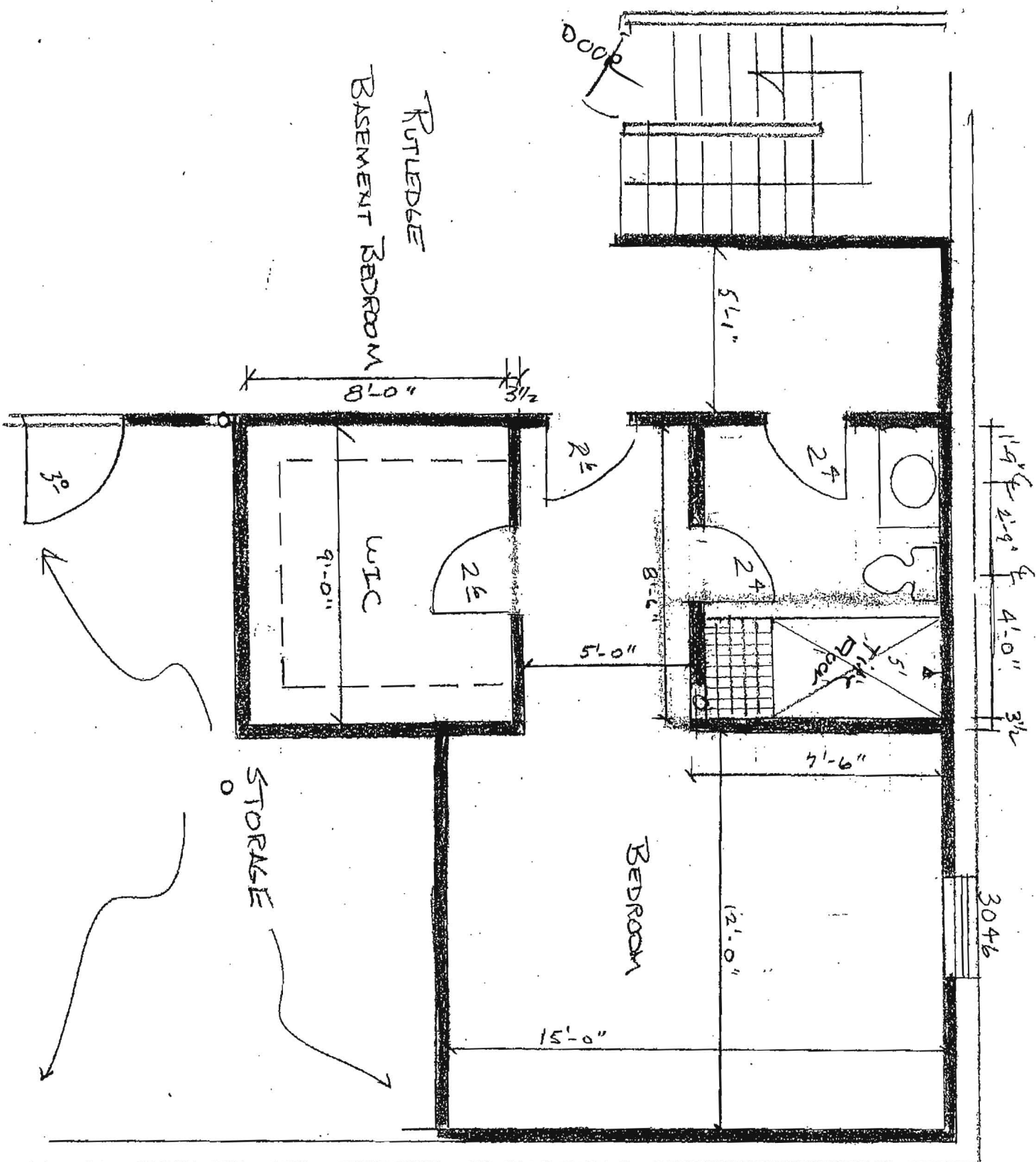
9/1/18 - Site plan approved
for B18002810 (43T)
H.O.

1"=60'

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2555

PERMIT PLAN
WESTLAND FARM ESTATES, LOT 9
12535 WESTLAND COURT
TAX MAP #45 PARCEL: 20
ZONED: RR-DEO
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1"= 60' DATE: MARCH 2018

10000 under enclosed



Approved
RLE
5/21/18

PROJECT DATA	
CONSTRUCTION:	
GROUND FLOOR	CONCRETE
FIRST FLOOR	WOOD
SECOND FLOOR	WOOD
ROOF	WOOD
WALLS	WOOD
BUILDING AREA:	
FIRST FLOOR:	2780 SQ. FT.
SECOND FLOOR:	2416 SQ. FT.
TOTAL:	5196 SQ. FT.

PROJECT DESIGN CRITERIA

THE FOLLOWING STANDARDS ARE BASED ON THE GENERAL REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE (IRC) 2015 EDITION FOR ONE AND TWO FAMILY DWELLINGS & ALL STATE AND LOCAL AMENDMENTS CONSTRUCTION CLASSIFICATION TYPE: SB (UNPROTECTED) USE GROUP: R3

2015 IECC CODE COMPLIANCE

BUILDING DATA

CODE SECTION	STANDARD (MINIMUM)	CLIMATE & GEOGRAPHIC DESIGN CRITERIA
R301.1 CLIMATE ZONE R401.2 COMPLIANCE METHOD R402.1.1 VAPOR RETARDER	4A MANDATORY AND PRESCRIPTIVE PROVIDED WALL ASSEMBLIES IN THE THERMAL ENVELOPE SHALL COMPLY WITH VAPOR RETARDER REQUIREMENTS OF SECTION R402.1 OF THE IRC 2015 R-9, R-38 WILL SATISFY THE REQUIREMENT IF FL. OVER THE TOP PLATE @ EAVES (REQUIRES RAISED HEEL TRUSS). R-20 OR R-38 + R5 CONTINUOUS INSULATION. R-20 FOIL FACED CONTINUOUS, UNINTERRUPTED BATTS FULL HEIGHT, R-13 IN CAVITY FINISHED. R-10 FOIL FACED CONTINUOUS BATT FULL HEIGHT, EXTENDING FROM FLOOR ABOVE TO FINISH GRADE LEVEL AND THEN VERTICALLY OR HORIZONTALLY AN ADDITIONAL 2'-0". R-19 BATT INSULATION	FLOOR LIVE LOAD 40 PSF ROOF LIVE LOAD 30 PSF WIND SPEED ULTIMATE 15 MPH EXPOSE C ATTICS W/O STORAGE 10 PSF ATTICS W/ STORAGE 20 PSF HABITABLE AREAS 30 PSF STAIRS 40 PSF DECKS & BALCONIES(EXT) 40 PSF GUARDHANDRAILS 200# (CONT.) B LIGHT FRAME STRUCTURAL W SHEAR WALLS
R402.1.2 BASEMENT WALL INSULATION: R402.1.3 CRAWL SPACE WALL INSULATION: R402.1.4 FLOOR INSULATION OVER UNCONDITIONED SPACE R402.1.5 WINDOW U-VALUE/ SHGC R402.1.10 SLAB ON GRADE FLOOR LESS THAN 12" BELOW GRADE R402.2.4 ATTIC ACCESS: R402.4.1.2 BUILDING THERMAL ENVELOPE (AIR LEAKAGE) R402.4.1.2.2 BUILDING ENVELOPE TEST OPTION: R402.4.2 FIREPLACES R402.4.4 FUEL-BURNING APPLIANCES R402.4.5 RECESSED LIGHTING R402.1.1 THERMOSTAT R402.1.2 HEAT PUMP SUPPLEMENTARY HEAT R402.3.1 MECHANICAL DUCT INSULATION R402.3.2 DUCT SEALING R402.6 MECHANICAL VENTILATION 402.6.1 WHOLE HOUSE MECH VENT SYSTEM FAN EFFICIENCY R402.7 EQUIPMENT SIZING R402.1 LIGHTING EQUIPMENT R402.1 MECHANICAL TESTING	R-10 FOIL FACED CONTINUOUS BATT FULL HEIGHT, EXTENDING FROM FLOOR ABOVE TO FINISH GRADE LEVEL AND THEN VERTICALLY OR HORIZONTALLY AN ADDITIONAL 2'-0". R-19 BATT INSULATION R-10 RIGID FOAM BOARD UNDER SLAB EXTENDING EITHER 2'-0" HORIZONTALLY OR VERTICALLY. ATTIC ACCESS SCUTTLE WILL BE WEATHERSTRIPPED AND INSULATED R-9. EXTERIOR WALLS AND PENETRATIONS WILL BE SEALED PER THIS SECTION OF THE 2015 IECC WITH CAULK, GASKETS, WEATHERSTRIPPING OR AN AIR BARRIER OR SUITABLE MATERIAL. BUILDING ENVELOPE SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 3 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E 179 OR ASTM E 1827 W/ BLOWER DOOR AT A PRESSURE OF 2 INCHES W.G. TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. NEW WOODBURNING FIREPLACES SHALL HAVE TIGHT FITTING FLUE DAMPERS AND COMBUSTION AIR. ROOMS CONTAINING FUEL BURNING APPLIANCES WHERE OPEN COMBUSTION AIR DUCTS PROVIDE COMBUSTION AIR TO OPEN COMBUSTION FUEL BURNING APPLIANCES, THE APPLIANCES AND COMBUSTION AIR SHALL BE LOCATED OUTSIDE THE BUILDING THERMAL ENVELOPE OR ENCLOSED IN A ROOM ISOLATED FROM INSIDE THE THERMAL ENVELOPE EXCEPTS: 1. DIRECT VENT APPLIANCES WITH BOTH INTAKE AND EXHAUST PIPES INSTALLED CONTINUOUS TO THE OUTSIDE. FIREPLACES AND STOVES COMPLYING WITH SECTION R402.4.2 AND SECTION R006 OF THE IRC. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE. ALL DWELLING UNITS WILL HAVE AT LEAST (1) PROGRAMMABLE THERMOSTAT FOR EACH SEPARATE HEATING AND COOLING SYSTEM. WHERE A HEAT PUMP SYSTEM HAVING SUPPLEMENTARY ELECTRIC RESISTANCE HEAT IS USED THE THERMOSTAT SHALL PREVENT THE HEAT FROM COMING ON WHEN HEAT PUMP CAN HEAT HEATING LOAD. SUPPLY & RETURN DUCTS IN ATTIC R-6 MIN. SUPPLY DUCTS OUTSIDE OF CONDITIONED SPACE R-6 MIN. ALL OTHER DUCTS EXCEPT THOSE LOCATED INSIDE THE BUILDING THERMAL ENVELOPE R-6 MIN. DUCTS LOCATED UNDER CONCRETE SLABS MUST BE R-6 MIN. ALL DUCTS, AIR HANDLERS AND FILTER BOXES WILL BE SEALED. JOINTS AND SEAMS WILL COMPLY WITH SECTION M601.4.1 OF THE IRC. A DUCT TIGHTNESS TEST (DUCT BLASTER LEAKAGE TEST) WILL BE PERFORMED ON ALL HOMES AND SHALL BE VERIFIED BY EITHER A POST COMB. TEST OR A ROUGH IN TEST. DUCT TIGHTNESS TEST IS NOT REQD. IF AIR HANDLER AND ALL DUCTS ARE LOCATED WITHIN CONDITIONED SPACE. OUTDOOR AIR WILL BE BROUGHT INTO THE HOME THRU A DUCT WITH AN AUTOMATIC OR GRAVITY DAMPER TO COMPLY WITH TABLE R402.6.1. SHALL COMPLY WITH R402.7 A MIN. OF 75% OF ALL LAMPS MUST BE HIGH-EFFICIENCY LAMPS, MIN EFFICIENCY ESTABLISHED BY NAESA. ALL MECH. TESTING TO BE PERFORMED BY APPROVED THIRD PARTY. THE CONTRACTOR ALSO RESPONSIBLE FOR GENERATING CERTIFICATE OF COMPLIANCE AND AFFIXING TO ELECTRICAL PANEL.	
		CONCRETE WEATHERING SEVERE DECAY PROBABILITY MODERATE ICE UNDERLAYMENT YES FROST DEPTH 32 NOTE: MINIMUM VALUES SHOWN- CONFIRM WITH LOCAL CODES OFFICIAL PRIOR TO CONSTRUCTION.
		GENERAL NOTES
		GENERAL NOTES ARE ACKNOWLEDGED AND SHALL BE ADHERED TO DURING THE CONSTRUCTION MISC. NOTES: 1. ALL WORK INCLUDING ALL STRUCTURAL, HVAC, ELECTRICAL AND OTHER SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AND REGULATIONS. 2. CONTRACTOR TO VERIFY AND COORDINATE ALL THE CONDITIONS AND DIMENSIONS AT THE SITE BEFORE BEGINNING OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO ARCHITECTURE GROUP IMMEDIATELY. 3. ALL PRE-ENGINEERED MATERIALS, EQUIPMENT, FITURES, AND ETC. SHALL BE INSTALLED PER MANUFACTURERS INSTRUCTIONS AND REQUIREMENTS. 4. PRE-ENGINEERED WOOD ROOF TRUSSES AND FLOOR JOISTS SHALL BE DESIGNED FOR THE LOAD INDICATED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF MARYLAND. SHOP DRAWINGS SHALL BE SUBMITTED TO THE COUNTY PLANNING REVIEWER FOR APPROVAL PRIOR TO FABRICATION.

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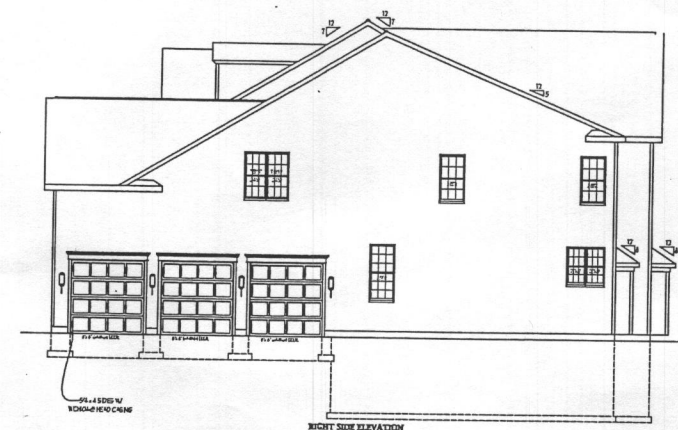
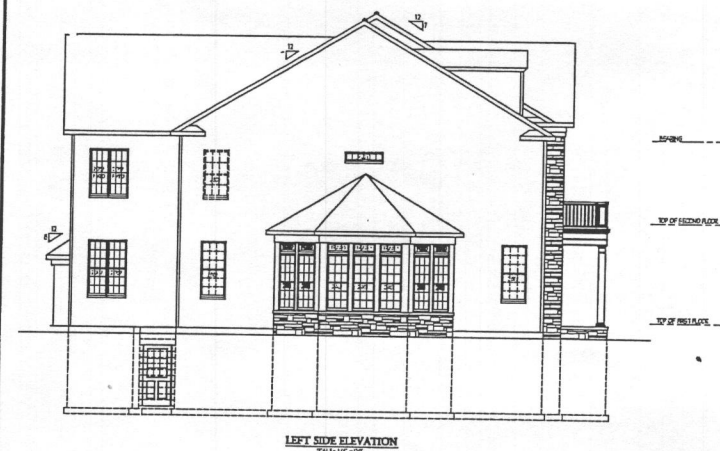
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1067 RE
Project No.



WFE009- 12535 Westland Court, Fulton, ms 20759
6 Bedrooms



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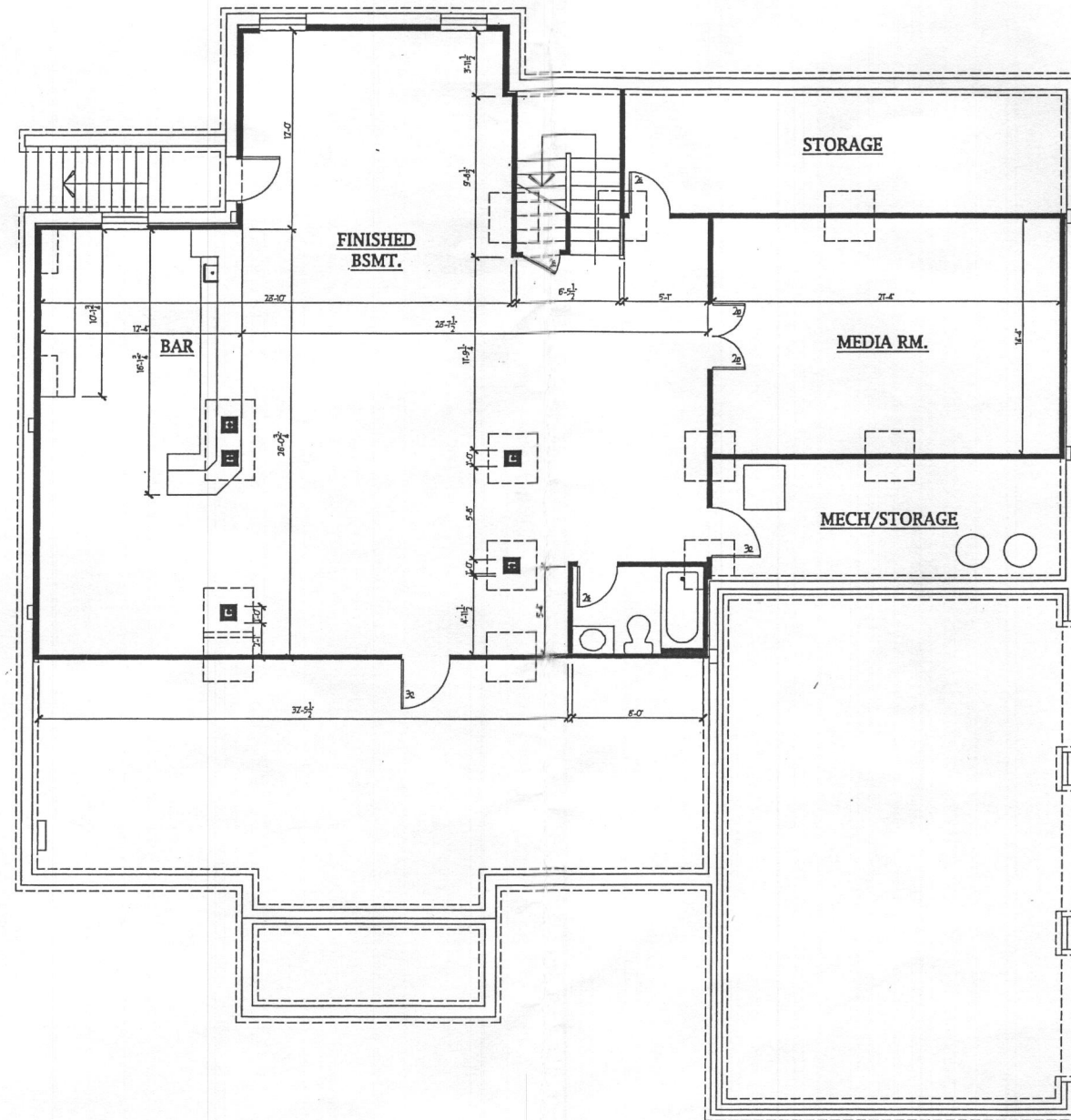
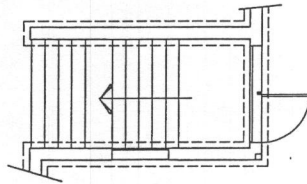
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Project: WILLIAMSBURG GROUP
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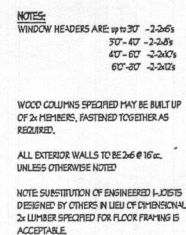
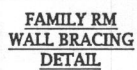
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Date: 5/15
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Drawn: TIM

Drawing: FINISHED BASEMENT PLAN-1
Project: WILLIAMSBURG GROUP
THE RUTLEDGE
ESTATE HOME

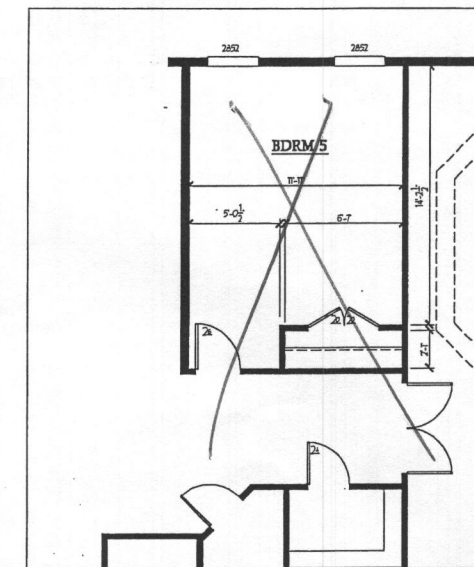
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Project No.

2b



tim graham	2/16/2017 8:55 AM	2015 Rutledge plan stolr back.dwg
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3

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NOTES:
WINDOW HEADERS ARE: up to 30' - 2-26's
30' - 40' - 2-28's
40' - 60' - 2-30's
60' - 80' - 2-32's

-NOTE: SUBSTITUTION OF ENGINEERED I-JOISTS
DESIGNED BY OTHERS IN LIEU OF DIMENSIONAL
2x LUMBER SPECIFIED FOR FLOOR FRAMING IS
ACCEPTABLE.

4