

Building Permit Application
Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455 www.howardcountymd.gov

Date	Received:	

		J.		
Building Address: 12535 W	extland Cours	1	Property Owner's Name: 4	lilliams bury 6 couplic
city: Fulton state:		2000	Address: 5485 Agric	K Farm Rd #200
H		ω_{7}	City: Colymbia	State: MA 200 Zip Code: 2044
Suite/Apt. #SDI	1110110	I Fac Fift	Phone: 4/0-497-88	S Builliamsburgle.com
Section: Are Tax Map: 45 Parcel:	_ Subdivision: Www.tuna	A IMM POICE		C
Section: Are	a:Lot:	9	Applicant's Name & Mailing	Address, (If other than stated herein)
Tax Map: 45 Parcel:	28 Grid:		Applicant's Name:	
Zoning: RR-BED Map Coordina		: 3.22 ac	Address:	State: Zip Code:
zoning: 717- 920 Map Coordina	14.0	, 263 80 C	City:	
Existing Use: Vacant Lo	7	1-43 414	Email:	
			1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	
Proposed Use: Single Fo		2_	Contractor Company:	
Estimated Construction Cost: \$ 59	2,419		Contact Person:	
Description of Work: Model Ru	Hedee w/ 52 B	R + 3 can	Address:	Zio Cada
2 story full bent, 1	40 RIFE 140 2	F0 + 2	Uman No. 155	e:Zlp Code:
			Phone:	Envi
Carpar-(582) + 6"	-KK IN BAINT		Email:	
Occupant/Tenant Name:			Emon.	
Was tenant space previously occupied	? □Yes	□No	Engineer/Architect Company:	
) ((1)3/20)	10-10-10-1		
Contact Name:			Responsible Design Prof.:	
Address:			Address:	
Gty:	State: Zlp Code:		City:State	e: Zip Code:
Phone:	Fax:		Phone:	Fax:
Email:	*01 2000 *		1 CANCELONAL I	
Eman,			Email:	
Commercial Building Characteristics	Residential Building Cha	aracteristics	Utilities	全型基本企业和进步200%。
Height:	☐ SF Dwelling ☐ SF Tow	nhouse	Electric: Pes 🗆	No
No. of stories:	Depth	Width	Gas: Yes 🗆	No
Gross area, sq. ft./floory	1 st floor:		Water Supply	
Account construction from the bu	2 nd floor: Basement:		Public	
Area of construction (sq. ft.):	Finished Basement		Brivate	
Use group:	☐ Unfinished Basement		Sewage Dapadi	(C.LA
	☐ Crawl Space		☐ Public	
Construction type:	☐ Slab on Grade		**Pivate	422 C 6 2008
Reinforced Concrete	No. of Bedrooms: 💪		Heating System	
Structural Steel	Multi-family Dwe	illing	Electric QILICE	NSES & PERMITS
☐ Masonry / ☐ Wood Frame	No. of efficiency units: No. of 1 BR units:	-	Natural Gas Propane	
☐ State Certified Modular	No. of 2 BR units:		Other:	
	No. of 3 BR units:		5prinkler System:	
	Other Structure:		es 🗆 No	
- married and appropriate the second	Dimensions:		1	6/6000233
Roadside Tree Project Parmit ElVes 506			Grading Permit	THE RESERVE OF THE PROPERTY OF
Roadside Tree Project Permit #	Roof: State Certified Modula	-	(B)	* 6180000 30x
The second secon	☐ Manufactured Home	<u> </u>	Building Shelf Perm	
				ORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY
WITH ALL REGULATIONS OF HOWARD COUNTY W THE APPLICATION; IS THAT HE/SHE GRANTS COU				EFERENCED PROPERTY NOT SPEOFICALLY DESCRIBED IN E WORK PERMITTED AND POSTING NOTICES.
/ Illas W./Ynnnv	2		Mank 11	morris
Applicant's Signature		Pri	int Name	
mariamorris@wil Emoll Address Qut/WELL	lliamsburg 1/c	·com_	4/6/1	5
Email Address		Da	ne //	
West woll	<u></u>		250	
Title/Company /			NAME OF CO.	
		: DIRECTOR OF FL LEASE WRITE NEA	NANCE OF HOWARD COUNTY	
		-FOR OFFICE		
AGENCY DATE SI	GNATURE OF APPROVAL	DPZ SETBACK	INFORMATION	Filing Fee \$
,		Front:		Permit Fee \$
state Highways		Rear:		Tech Fee \$
Building Officials		Side: Side St.:		Excise Tax 5 PSFS 5
PSZA (Zoning)		All minimum s	setbacks met?	Guaranty Fund \$
PSZA (Engineering)			rmit Required? 🗆 Yes 🗀 No	Add'l per Fee \$
Health 5/21/18	BAI W	Historic Distric		Total Fees \$
Is Sediment Control approval required fo	r issuance Y Yes No	Lot Coverage f	or New Town Zone:	Sub-Total Paid \$ Balance Due \$
CONTINGENCY CONSTRUCTION START		SUP/Red-ante	approval date:	Check # DSC2/162
				- 360 A

Green: PSZA,Zoning

Building Permit Application

Howard County Maryland

Department of Inspections, Licenses and Permits

3430 Court House Drive Permits: 410-313-2455 www.howardcountymd.gov

Date Received: 8/9/18

Permit No.: B18002810

Building Address: 12535 WEST	LAND COURT		Property Owner's Name: W	BG WESTLAND FARM LLC
City: FULTON State:	MDZip Code:	20759	Address: 5485 HARPER	RS FARM ROAD STF 200 tate: MD Zip Code: 21044
Suite/Apt. #SDP/			Phone:	Fax:
Census Tract:	Subdivision: WEST	LAND FARM	Email:	
Section: Area:	Lot:	9	Applicant's Name & Mailing A	ddress, (if other than stated herein)
Tax Map: 45 Parcel:			Applicant's Name: MICH	
Zoning: Map Coordinate				State: MD Zip Code: 21128
			Phone: 443-610-7514	PLIEDANDAPPROVED.COM
Existing Use: SFD .	11/DD OD 13ID T 13	TTZ		Consolination of the Consolina
Proposed Use: SFD V	W/PROPANE TAI	<u> </u>	Contractor Company: TEC	
Estimated Construction Cost: \$4,	000		Contact Person: DENNIS Address: 1560 A-D CAT	ON CENTER DRIVE
Description of Work:				e: <u>MD</u> zip Code: <u>21227</u>
INSTALL 1000 GAL UNDER	GROUND PROPA	ANE TANK	License No.: 812	
			Phone: 410-984-5681	Fax:
Occupant/Tenant Name: O'	WNER		Email:	
Was tenant space previously occupied?			Engineer/Architect Company	CONTRACTOR
			The state of the s	
Contact Name:				
Address:			Address:	
City: S	itate: Zip Code	·	City:State	e: Zip Code:
Phone:	Fax:		Phone:	Fax:
Email:			Email:	
5 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0				
Commercial Building Characteristics	Residential Building C		<u>Utilitles</u>	
Height:	SF Dwelling SF To			No
No. of stories: Gross area, sq. ft./floor:	Depth 1 st floor:	Width	21	No
dioss area, sq. re, noor.	2 nd floor:		Water Supply	KROPT
Area of construction (sq. ft.):	Basement:		D Public	
	☐ Finished Basement		Private	AUG 0.0 2000
Use group:	Unfinished Basemen	ıt	Sewage Disposor	1 7 7 7 7 1 1 1 N
Construction tunos	☐ Crawl Space ☐ Slab on Grade		Public	LICENSES & PERMITS
Construction type: ☐ Reinforced Concrete	No. of Bedrooms:		Private Private	DIVISION
☐ Structural Steel	Multi-family D	welling	Heating System	
□ Masonry	No. of efficiency units:		☐ Electric ☐ Oil	
☐ Wood Frame	No. of 1 BR units:		☐ Natural Gas ☐ Propane	Gas
☐ State Certified Modular	No. of 2 BR units:		☐ Other:	1 25
	No. of 3 BR units:		Sprinkler System	1
	Other Structure: Dimensions:		· 🗆 Yes 🗆 No	
> Roadside Tree Project Permit	Footings:			*
□Yes ⊠No	Roof:		Grading Permit	Number:
Roadside Tree Project Permit #	State Certified Modu	ular		:•
	☐ Manufactured Home	e	Building Shell Pern	nit Number: '
	HICH ARE APPUCABLE THERETO NTY OFFICIALS THE RIGHT TO EX	O; (4) THAT HE/SHE W NTER ONTO THIS PROP — Pri	ILL PERFORM NO WORK ON THE ABOVE REPTY FOR THE PURPOSE OF INSPECTING THE MICHELLE CLANCY INTO Name	
	Checks Paynhle	to: DIRECTOR OF F	INANCE OF HOWARD COUNTY	
		*PLEASE WRITE NEA		

-FOR OFFICE USE ONLY

DATE	SIGNA	TURE (OF APP	ROVAL
1/12	118	H.	25	Na
	1/12	1/2/18	1/2/18 H.	1 required for issuance? \(\text{Yes}

DPZ SETBACK INFORMATION		
Front:		
Rear:		
Side;		
Side St.:		
All minimum setbacks met?	☐ Yes	□No
Is Entrance Permit Required?	☐ Yes	□No
Historic District?	☐ Yes	□No
Lot Coverage for New Town Z	one:	
SDP/Red-line approval date:		

Filing Fee	\$.
Permit Fee	\$ 100
Tech Fee	\$ 10
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'I per Fee	\$
Total Fees	\$ 110.00
Sub- Total Pald	\$
Balance Due	\$
Check	# 10721

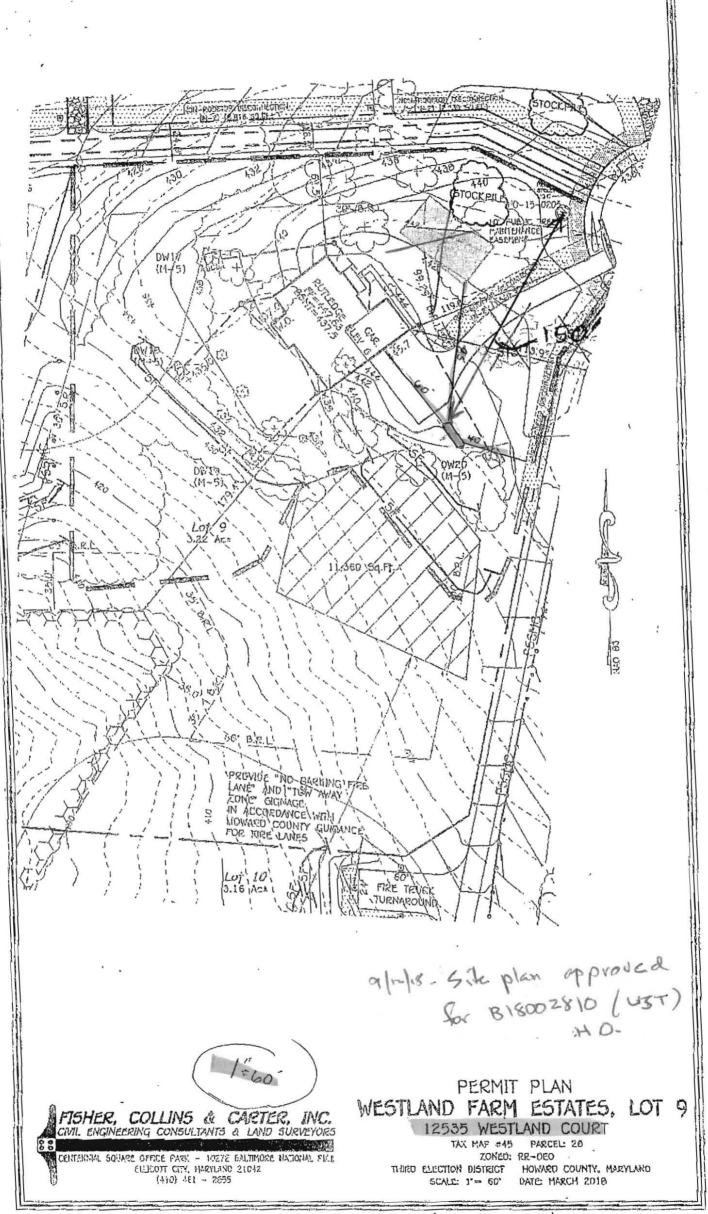
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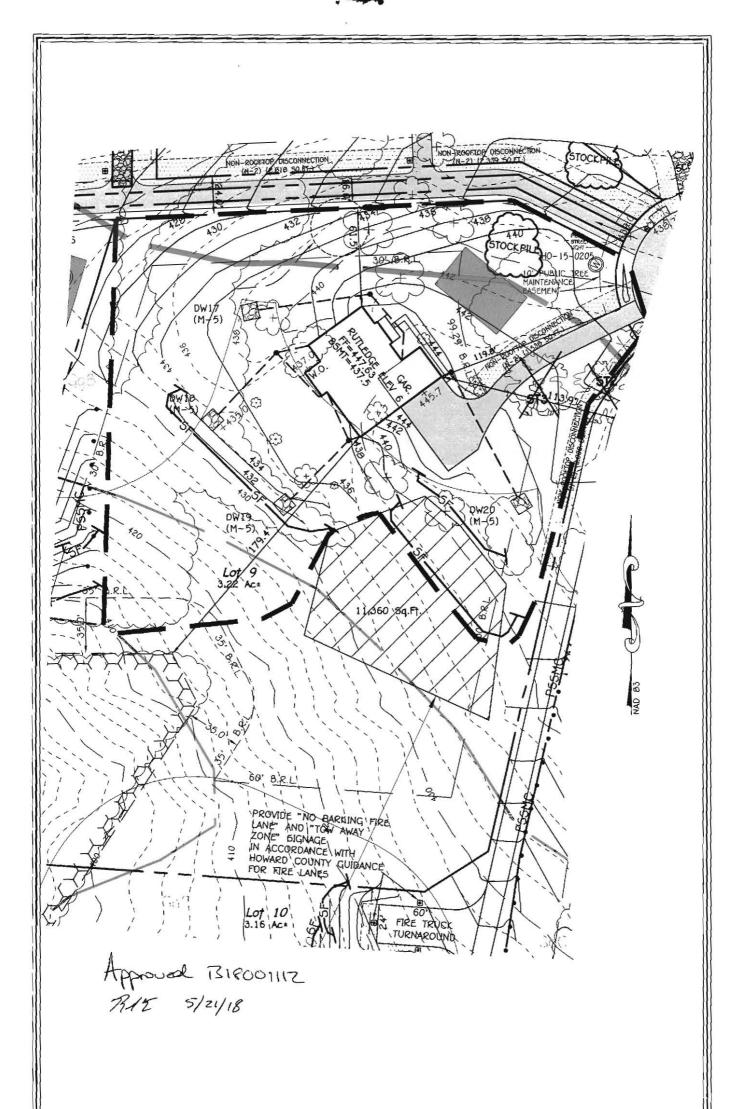
White: Bullding Officials

Green: PSZA,Zoning

Yellow: PSZA,Engineering

Gold: SHA





F15HER, COLLINS & CARTER, INC. CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS

CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE ELLICOTT CITY, MARYLAND 21042 (410) 461 - 2855

PERMIT PLAN WESTLAND FARM ESTATES, LOT 9

12535 WESTLAND COURT

TAX MAP #45 PARCEL: 20

ZONED: RR-DED

THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE: 1" = 60" DATE: MARCH 2010

The Rutledge
Williamsburg Group, LLC
5485 Harpers Farm Rd. #200
Columbia, MD 21044
(410) 997- 8800

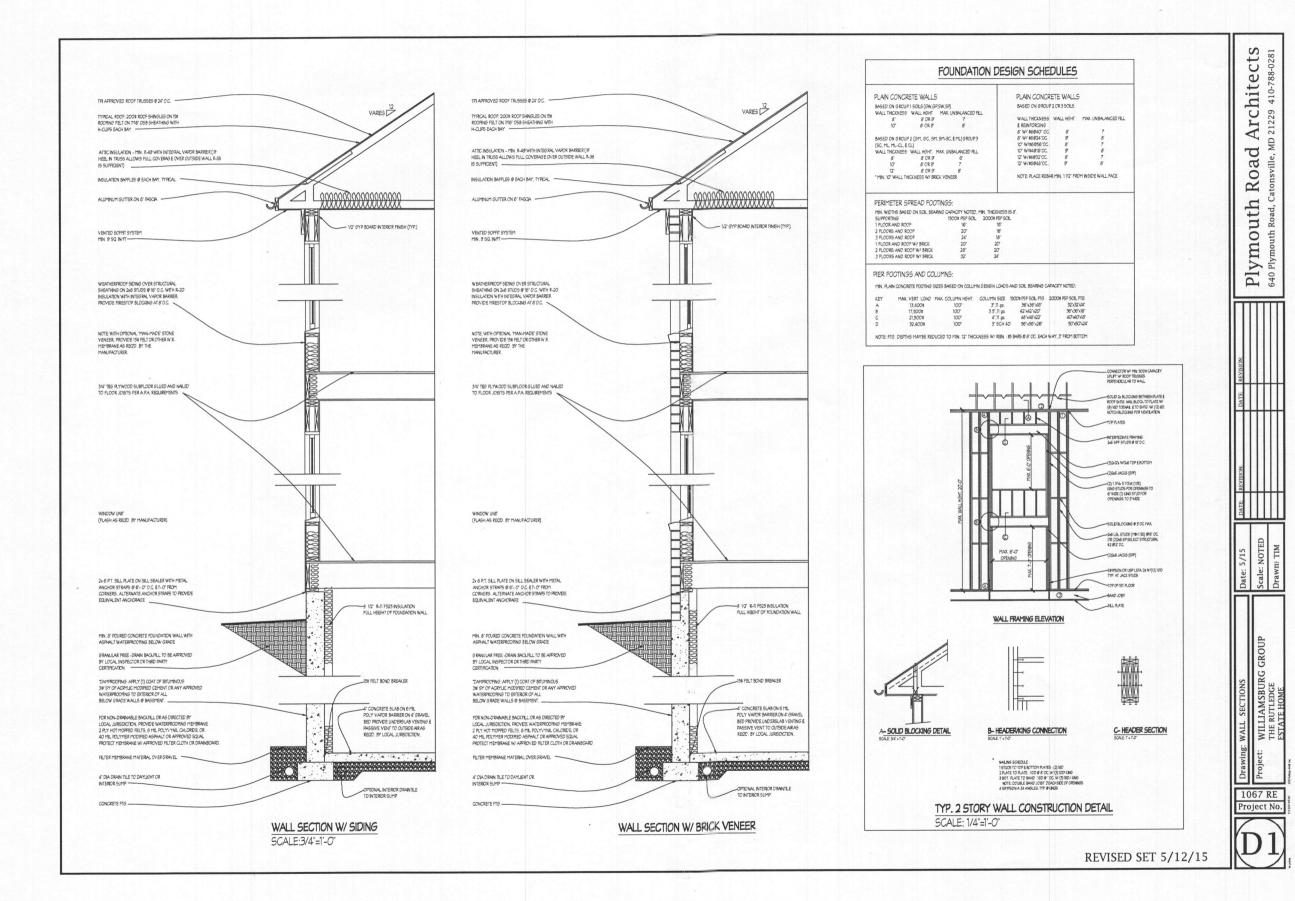
COV	ER SHEET		
D1	WALL SECTIONS	5A	PARTIAL PLANS ELEV.2
D2	AREAWAY DETAILS	5B	PARTIAL PLANS ELEV.3
D3	GENERAL REQUIREMENTS	5C	PARTIAL PLANS ELEV.4
D4	SHEAR WALL DETAILS &	5D	PARTIAL PLANS ELEV.5
	LOCATIONS	5E	PARTIAL PLANS ELEV.6
1A	ELEV. 1 STANDARD	6	SECTION A
1B	ELEV. 1 W/ CONSERVATORY	7	SECTION B
1C	ELEV. 2		
1D	ELEV. 3	8A	TWO STORY ADDITION
1E	ELEV. 4	8B	MORNING RM.
1F	ELEV. 5	8C	CONSERVATORY
1G	ELEV. 6	8D	OPT. SECOND FL. FAMILY RM
		8E	OPT. ELEVATOR
2A	BASEMENT/FOUNDATION PLAN	8F	OPT. WALL OF WINDOWS
2B	FINISHED BASEMENT PLAN	8G	THREE CAR SIDE LOAD
3A	FIRST FLOOR PLAN	8H	GRADE BEAM DETAILS
4A	SECOND FLOOR PLAN	8I	SEPERATE GARAGE ELEV
		8J	SEPERATE GARAGE PLAN
			X

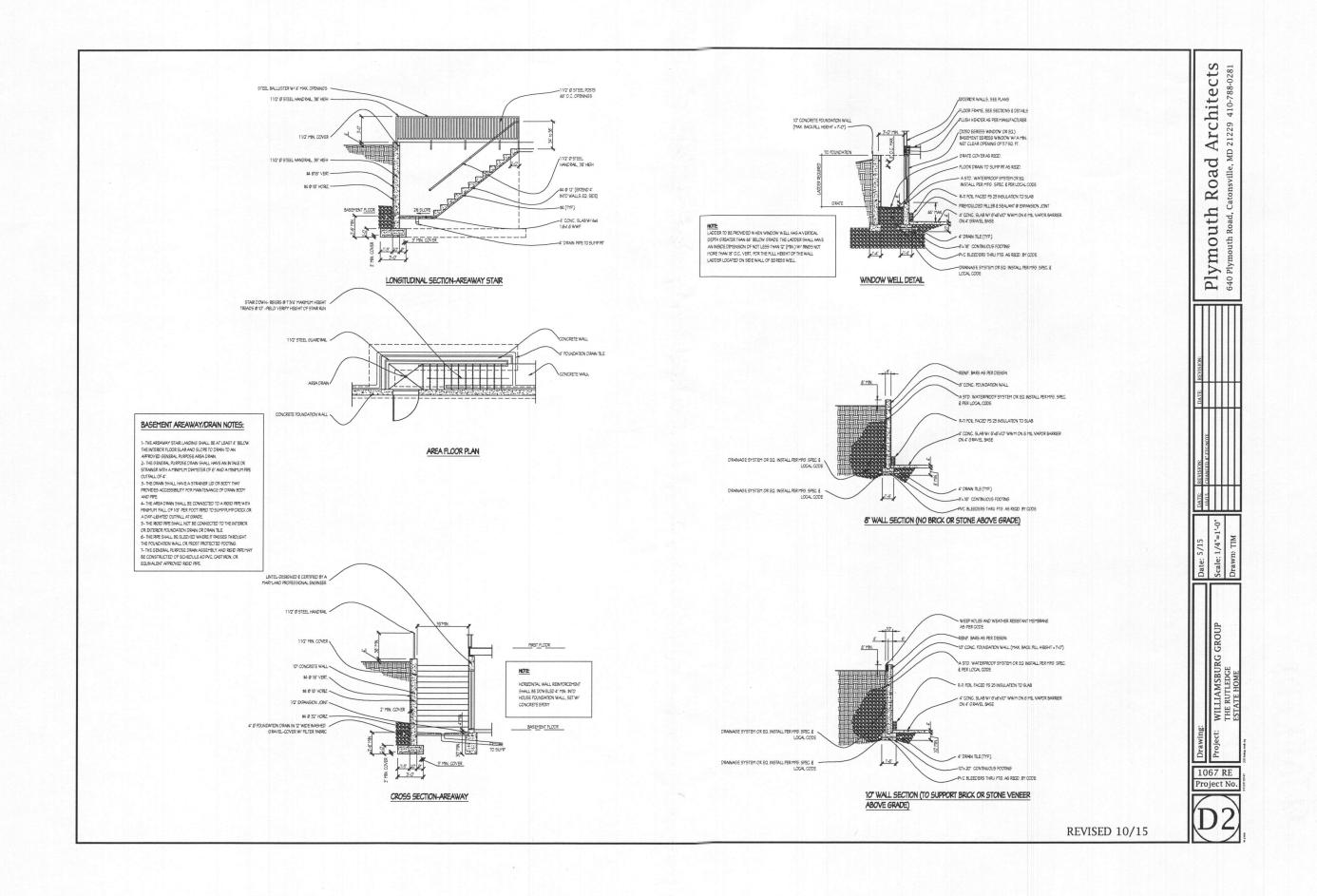
	PRO	JECT DATA	
CONSTRUCTION:			
GROUND FLOOR FIRST FLOOR SECOND FLOOR ROOF WALLS		CONCRETE WOOD WOOD WOOD WOOD	
BUILDING AREA:			
FIRST FLOOR: SECOND FLOOR:		SQ. FT. SQ. FT.	
TOTAL:	5196	SQ. FT.	

	STATE AND LOCAL AMENDMENTS, CONSTRUCTION CLASSIFICATION TYPE, 5B (UNPR	
2015 IECC CO	ODE COMPLIANCE	BUILDING DATA
CODE SECTION	STANDARD (MINIMUM)	CLIMATE & GEOGRAPHIC DESIGN CH
301.1 CLIMATE ZONE 401.2 COMPLIANCE METHOD 402.1.1 VAPOR RETARDER:	4A MANDATORY AND PRESCRIPTIVE PROVISIONS WALL ASSEMBLES IN THE THERMAL ENVILOPE SHALL COMPLY WITH VAPOR REMADER REQUIREMENTS OF SECTION RIOTO OF THE RC 2015	FLOOR LIVE LOAD 40 PSF ROOF LIVE LOAD 30 PSF WIND SPEED ULTIMATE 115 MPH, EXPOSE C ATTICS W/O STORAGE 10 PSF
402.1.2 ATTIC INSULATION-	R-49, R-36 WILL SATISFY THE REQUIREMENT IF FULL OVERTHE TOP PLATE @ EAVES (REQUIRES RAISED HEEL TRUSS).	ATTICS W STORAGE 20 PSF HABITABLE ATTICS 30 PSF STAIRS 40 PSF
2021.2 WOOD FRAME WALL 2021.2 BASEMENT WALL INSULATION:	R-20 OR RB + RS CONTINUOS INSULATION. R-10 FOIL FACED CONTINUOUS, UNINTERRUPTED BATTS FULL. HGHT.R-13 IN CAVITY IF FINISHED.	DECKS & BALCONIES(EXT) 40 PSF GUARD&HANDRAILS 200# (CONT.) SEISMIC CATEGORY B LIGHT FRAME ST
2402.1.2 CRAWL SPACE WALL INSULATION:	R-10 POIL FACED CONTINUOUS BATTS FULL HIGHT. EXTENDING FROM FLOOR ABOVE TO FINISH GRADE LEVEL AND THEN VERTICALLY OR HORZONTALLY AN ADDITIONAL Z-O".	W/ SHEAR WALLS CONCRETE WEATHERING SEVERE TERMITE MODERATE TO HEA
2402.1.2 FLOOR INSULATION OVER UNCONDITIONED SPACE:	R-19 BATT INSULATION	DECAY PROBABILITY MODERATE ICE UNDERLAYMENT YES
2402.1.2 WINDOW U-VALUE/ SHGC 2402.1.10 SLAB ON GRADE FLOORS	0.35 (L-VALUE) £ 0.40 (SH5C)	FROST DEPTH 32' NOTE: MINIMUM VALUES SHOWN- CONFIRM WITH OFFICIAL PRIOR TO CONSTRUCTION.
LESS THAN 12' BELOW GRADE	R-10 RIGID FOAM BOARD UNDER SLAB EXTENDING EITHER 2-0" HORIZANTALLY OR VERTICALLY. ATTIC ACCESS SCUTTLE WILL BE WEATHERSTRIPPED AND INSULATED	GENERAL NOTES
RAO2.2.4 ATTIC ACCESS:	ATTIC ACCESS SCUTTLE WILL BE WEATHERSTRIPPED AND INSUCATED R49.	GENERAL NOTES
RAO2.4.1.2 BUILDING THERMAL ENVELOPE (AIR LEAKAGE)	EXTERIOR WALLS AND PENETRATIONS WILL BE SEALED PER THIS SECTION OF THE 2015 IECC WITH CAULK, GASKETS, WEATHERSTRIPPING OR AN ARE BARRIER OR SUITABLE MATERIAL.	GENERAL NOTES ARE ACKNOWLEDGED AND SHA ADHERED TO DURING THE CONSTRUCTION
R4Q2.4.1.2 BUILDING ENVELOPE TEST OPTION:	BULDING ENVELOPE SHALL BE TESTED AND VEHED AS HAVING AN AR LEAKAGE RATE OF ROTT EXCEEDING 3 AR CHANGES PER POUR TESTING SHALL BE CONDUCTED M CACORDANCE WITH AGTME T/B O'R ASTME 1827 W/ BLOWER DOOR AT A PRESSURE OF .2 INCHES W.G. TESTING SHALL BE CONDUCTED BY AN APPROVED THEO PARTY.	MISC. NOTES: 1. ALL WORK INCLUDING ALL STRUCTURAL, HVACA AND OTHER SHALL BE PERFORMED IN ACCORDAN APPLICABLE NATIONAL, STATE AND LOCAL CODE RESULATIONS. 2.CONTRACTOR TO VERIFY AND COORDINATE ALL
R402.4.2 FIREPLACES	NEW WOODBURNING FIREPLACES SHALL HAVE TIGHT FITTING FLUE DAMPERS AND OUTDOOR COMBUSTION AIR.	CONDITIONS AND DIMENSIONS AT THE SITE BEFORE BEGINNING OF CONSTRUCTION, ANY DISCREPEN
R402.4.4 FUEL-BURNING APPLIANCES	ROOMS CONTAINING FUEL BURNING APPLIANCES WHERE OPEN COMBUSTION AIR DUCTS PROVIDE COMBUSTION AIR TO OPEN COMBUSTION FUEL BURNING APPLIANCES, THE APPLIANCES AND	REPORTED TO ARCHITECTURE GROUP IMMEDIATE 3- ALL PRE-ENGINEERED MATERIALS, EQUIPMEN
	COMBUSTON AR SHALL BE LOCATED OUTSIDE THE BULDING THERPAL ENVELOPE OR ENCLOSED IN A ROOM BOUATED FROM NSDE THE THERPAL ENVELOPE EXCEPTIONS 1.1 DRECT VENT APPLIANCES WITH BOTH INTAKE AND ENVALST PIPES INSTALLED CONTINUOUS TO THE CUTSIDE. PREPIANCES AND STOVES COMPANY WITH SECTION AROUS 2 AND SECTION BROOF OF THE RC.	AND ETC. SHALL BE INSTALLED PER MANUFACI INSTRUCTIONS AND REQUEREMENTS. 4-PRE-ENGINEERED WOOD ROOF TRUSSES AND SHALL BE DESIGNED FOR THE LOAD INDICATED PROPESSIONAL ENGINEER LICENSED TO PRACTIC STATES OF MARYLAND. SHOP DRAWINGS SHALL I TO THE COUNTY PLAN REVIEWER FOR APPROVIL
R402.4.5 RECESSED LIGHTING R403.1.1 THERMOSTAT	RECESSED LUMINARES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE. ALL DWELLING UNITS WILL HAVE AT LEAST (1)	FABRICATION.
	PROGRAMMABLE THERMOSTAT FOR EACH SEPERATE HEATING AND COOLING SYSTEM.	
R403.1.2 HEAT PJMP SUPPLEMENTARY HEAT	WHERE A HEAT PUMP SYSTEM HAVING SUPPLEMENTARY ELECTRIC RESISTANCE HEAT IS USED THE THERMOSTAT SHALL PREVENT THE HEAT FROM COMING ON WHEN HEAT PUMP CAN MEET HEATING LOAD.	
R403.3.1 MECHANICAL DUCT INSULATION	SUPPLY & RETURN DUTS IN ATTO R-8 IMIN. SUPPLY DUCTS OUTS DE OF CONDITIONED SPACE R-8 IMIN. ALL OTHER DUCTS ENCEPT HOSE LOCATED INSDETINE BULDING THERMAL ENVELOPE R-6 IMIN. DUCTS LOCATED UNDER CONCRETE SIABS MUST BE R-6 IMIN.	
R403.3.2 DUCT SEALING	ALL DUCTS, AR HANDLERS, AND FILTER BOXES WILL BE SEALED, JOINTS AND SEAMS WILL COMPLY WITH SECTION MIGGILAT OF THE RC. A DUCT TIGHTNESS TEST (DUCT BLASTER LEAKAGE TEST), WILL BE	
	PERFORMED ON ALL HOMES AND SHALL BE VERRIED BY ETHERA POST CONS. TEST OR A ROUGH IN TEST, DUCT TISHINESS TEST IS NOT READ, IF ARK HANDLER AND ALL DUCTS ARE LOCATED WITHIN CONDITIONED SPACE.	
R403.6 MECHANICAL VENTILATION	OUTDOOR AIR WILL BE BROUGHT INTO THE HOME THRU. A DUCT WITH AN AUTOMATIC OR GRAVITY DAMPER.	
403.6.1 WHOLE HOUSE MECH, VENT SYSTEM FAN EFFICIENCY	TO COMPLY WITH TABLE R403.6.1. SHALL COMPLY WITH R403.7	
R403.7 EQUIPMENT SIZING R404.1 LIGHTING EQUIPMENT WATER HEATER MECHANICAL TESTING	A MIN, OF 75% OF ALL LAMPS MUST BE HIGH-EFFICIENCEY LAMPS. MIN.EFFICIENCY ESTABLISHED BY NAECA. ALL MECH, TESTING TO BE PERFORMED	
MECHANICAL TESTING	ALL MECH. TESTING TO BE PERFORMED BY APPROVED THIRD PARTY, THIS CONTRACTOR ALSO RESPONSIBLE FOR GENERATING CERTIFICATE OF COMPLIANCE AND AFFINING TO ELECTRICAL. PANEL.	

Plymouth Road Architects 640 Plymouth Road, Catonsville, MD 21229 410-788-0281

REVISED 6/17





GENERAL REQUIREMENTS

- PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL. DIMENSIONS AND CONDITIONS ON THE JOB AND SHALL NOTIFY THE ARCHITECT OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS, SHOP DRAWINGS MIGHT BE SUBMITTED TO THE OWNER BEFORE PROCEEDING WITH FABRICATION OF STARS, ROOF AND/OR FLOOR TRUGSES.
- DRAWINGS SHALL NOT BE SCALED FOR CONSTRUCTION. WHERE DRAWINGS ARE IN CONFLICT WITH OTHER DRAWINGS, SPECS OR DETAILS, THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION LARGE SCALE DRAWINGS AND WRITTEN SPECIFICATION HAVE
- NOT FULLY SHOWN, CONTACT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK
- 3 ALL PRODUCTS AND MATERIALS MUST BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATION, CONTACT THE ARCHITECT FOR CLARIFICATION THE CONTRACTOR SHALL VERIFY THAT ALL MATERIAL INSTALLED SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS
- A PROVIDE 22 % 30" ATTL ACCESS WITH SWITCHED LIGHT, UNLESS OTHERWISE NOTED

 FROVIDE HANDRAILS 34"-36" ABOVE NOSNOS ON ALL STARS WITH REE OR HORE RISERS, RETURN RAILS TO WALL OR NEWEL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE PULL LENGTH OF STAR. HANDRAILS MAY BE INTERRUPTED BY A NEWEL AT A TURN PROVIDE CLOSURES SPACED TO PREVENT PASSAGE OF A 4" SPHERE, HANDRALS SHALL HAVE MAX, 2 % GRIP CROSS
- PROVIDE NOMINAL OX FIRE BLOCKING AT EVERY FLOOR NUTRIVAL 24 RESULTAND AT EYEST FLOOR INTERVAL, BULLHEADS, CHASES, AND MINH-FEIGHT FOR WALLS OVER 9" TALL IF O'PEN WEB PLOOR TRUSSES ARE UTILIZED, PROVIDE 15" GYP, BRD DRAPTSTOPPING, NOT TO EXCEED 500 S.F. UNLESS DWELLINGS ARE FULLY SPRINKLERED.
- PROVIDE A MINIMUM OF 5-9" HEAD CLEARANCE FOR ALL STARS, STAR REERS SHALL NOT EXCEED TWAND
 TREADS SHALL BE AT LEAST 10" WITH 1" NOSINS, UNLESS
 LOCAL JURISDICTION REQUIRES OTHERWISE, MAX REER AT EXTERIOR DOORS HALL BE 7 %
- 8. THE CONTRACTOR SHALL SEAL ALL PENTRATIONS AND OPENINGS IN FLOORS AND WALLS TO MINIMIZE THE TRANSFER OF DRAFTS & MOISTI DE SHEATHANS
- PENETRATION SHALL BE PATCHED AND REPARED TO HANDFACTURERS SPECIFICATIONS

 9. SLOPE ALL CONCRETE STOOPS, PORCHES, WALKS AND GARAGE SLABS 1/8" IN 12" TO DRAIN, OR AG NOTED ON
- 10. ALL DESIGNS FOR MANUFACTURED FLOOR JOISTS, RAFTERS, AND TRUSSES SHALL BE CERTIFIED BY THE
- TI. CHIMNEYS SHALL EXTEND A MINIMUM OF 2 ABOVE ANY ROOF STRUCTURE WITHIN 10 FEET, BUT NO LESS THAN 3 AT POINT OF ROOF PENETRATION
- FLOOR JOISTS/TRUSSES AND ROOF TRUSSES SHALL ALIGN WITH BEARING STUDS 4'-1", OR PROVIDE TRIPLE
- PLATES.

 13. PRIVATE GARAGES SHALL BE SEPARATED FROM ADJACENT DWELLING AND ATTIC WITH MINIMUM 5/8" GYP. BRD. ON GARAGE SIDE, AND 20 HINUTE SELF-CLOSING DOOR. WHEN BENEATH LIVING SPACE INSTALL 5/8" RATED

SPECIFICATIONS

- 11 GENERAL CONDITIONS
 CONSTRUCTION SHALL COMPLY WITH THE LATEST
 ADDITION OF THE CODES NOTED ON THE COVER
 SHEET AND ALL APPLICABLE LOCAL CODES AND
 AMENDMENTS, AND FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS.
 ALL CONSTRUCTION SHALL BE CLASSIFED AS NOTED ON COVER SHEET.
- DIMENSIONS GIVEN ON SCHEDULES ARE NOMINAL
- OF EMBOLIS ON AN OWN SOURCE CLESS ARE NOT HAVE
 GENERAL CONTRACTORS AND MANUFACTURERS ARE TO
 COORDINATE ALL DIMENSIONS CONCERNING
 DOORS, MANUELS, WINDOWS AND THEIR OPENINGS
 PRIOR TO FABRICATION AND CONSTRUCTION
- THE CONTRACTOR SHALL VERBY ALL DIMENSIONS, GRADES, BOUNDARES, AND CONSTRUCTION BEFORE PROCEEDING WITH THE WORK AND REPORT IMPEDIATE DISCREPANCIES TO THE ARCHITECT AND/OR OWNER.

SITE WORK

- PROVIDE HOUSE NUMBERS CLEARLY VISIBLE FROM THE STREET EXCAVATION SHALL BE SUPPLIENT TO PROVIDE FULL DESIGN DIMENSIONS OR TO ALLOW FORMING AS REQUIRED. NO FOOTINGS SHALL BE PLACED ON UNSUITABLE MATERIAL.
- CONTRACTOR

 SOCIAL SPALL DATA DE CLEAN BRATH CONTRAINO NO DISSE AND THE CLEAN BRATH CONTRAINO NO DISSEMENT FOR THE CONTRACTOR OF THE STORY OF THE ST

CONCRETE

- ACI-3/8, E ACI-306
- 3.2 CONCRETE POOTINGS SHALL HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2500 PSI (UNLESS OTHERWISE NOTED).

 ALL INTERIOR CONCRETE SLABS EXCEPT GARAGES SHALL HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 250
- INVECTION OF CONTRIBUTION STREAMS OF THE CONTRIBUTION OF THE CONTR
- STRENSTH OF 3000 PSI FOR MODERATE WEATHER AND 3500 FOR SEVERE WEATHER AND 3500 FOR SEVERE WEATHER AND 3500 FOR SEVERE WEATHER AND 3500 FEET OR MORE IN ANY DIMENSION SHALL HAVE WIVE, CONTROL JOINTS, OR FIBER REINFORCEMENT. PROVIDED 15" EXPANSION MATERIAL AT ALI
- COLD POUR JOINTS
- COLD POIR JOINS
 3.6 PROVIDED VAPOR BARRIERS UNDER ALL SLABS, 6 ML
 POLITEITHEME, LAP ALL EDGES G, LAY OVER A FOROUS FILL
 3.9 THE BOTTON OF ANY FOOTING SHALL BE PLACED AT YMMUM
 PROST DEPTHAS NOTED ON LOVER SHEET.
 3.10 POURED WALL VERTICAL REMOTICING WHEN REGULRED SHALL
- BE PLACED MIN. 5' FROM SOIL FACE .

VERTICAL MASONRY

- 41 ALL MASONRY CONSTRUCTION & MATERIAL SHALL CONFORM
- 41 ALL MISSINST CORRECTIONS (MISSINS, SHALL CONDON)
 TO ASSOCIO CA ALABOLI (XZ.
 42 THE MINISTRUM, ESPINAZE OF URBALANED PILL
 HEASER DEVIACE TO THE OTHER CHES ALSO THE
 OUTSICE PRINCED GRADE SHALL NOT SUCCED THE COLLOWING
 HERIFF AS REPORTSOCIO UNIONAL WHERE MACAIL
 SOL, ROLVES HERIFF TO FOR CRANAGE.
 THE CHEST CONTROL TO POOR CRANAGE.
 THE CHEST CONTROL TO THE CONTROL THE MISSING THE LETTER OF THE CHEST CONTROL THE CHEST CONTROL
- TO CHILL (POLLOW)

 12" CHILL (POLLOW)

 14" CHILL (POLLOW)

 6" CHEDHIS NAVI E MOZRAFEDI WITH HE APPROVALO (HEDHIS NAVI E MOZRAFEDI WITH HE APPROVALO (HEDHIS NAVI E MOLLOW)

 CONDERE I MEGNETI WISS SHALL EL MANUFACILIZED TO DEFERSION SHAD RESULTED AND RES
- PARGING OVER CMU WALLS TO BE NOT LESS THAN 38' PORTLAND CEMENT PARGING FROM POOTING TO FINISHED GRACE.
 MASONRY LINTELS: PROVIDE LIGHT WEIGHT PRE-CAST LINTELS
- FOR ALL DPENINGS AND RECESSES IN CMU WALLS. PRÓVIDE 10.48 LINTEL POR BACH 4 OF WALL THICKNESS REINFORCE
 BACH LINTEL WITH TWO 44 BARS AT TOP AND BOTTOM AND
 WITH 12 TIES SPACED 9" O.C., UNLESS OTHERWISE NOTED.
 PRECAST LINTEL TO HAVE MINIMUM 8" BEARING AT BACHEND. SUCH LINTELS SHALL NOT SUPPORT ANY SUPERIMPOSED
- LONG THE THREAD THE PROPERTY IN CONTRACT WITH EARTH LISE THREE THREE THREAD THREAD THREAD THREAD THREAD THREE THRE
- AT ALL LOCATIONS WHERE WATER MAY POTENTIALLY ENTER
- AT ALL LOCATIONS WHERE WATER HAY DYDRINGLY SHIRE THE BLADING POR GALFIE EA.

 49 MIGHORY VEREES SHALL BE AN OHING A LEDGE WITES TO SHOCK HAT JOY CHIEF I. STYLL SHOW THE STO WARDS TO PORTHOUGH DUEST GALFIE SHOW HAT BE SHIVE.

 10 FROM LEDGES ARE EXCESSED INTO TOMORATION WALLS. THE RESULTING STATE WALLS HAVE BE THAT WALL SHALL BE FINE IS THAT FOR CHILL WALLS HAVE OF THE FORMED IN TACK WALLS. PROVIDE WEEP HOLES ABOVE ALL FLASHING AT A MAX. OF 33" O C MAINTAIN MIN IT AIR SPACE BETWEEN VENEER & SHEATHING.

- 4.10 OUT FARILAGE AND SHOWN IN THE INSHINGS, FOR ATTACHED INVESTIGATE PHACEMENT PRESENTATION OF A STATE CONSTRUCTION OF A STATE ACCOUNTAGE WITH LUGGS TO PROVIDE SHARE SERVATION PROVIDED SHARE SERVATION PROVIDED SHARE SERVATION PROVIDED SHARE SHARE SERVATION PROVIDED SHARE SHARE SHARE SHARE SHARE AND SHARE SHARE
- PER MANUFACTURER'S REQUIREMENTS AND NERGOZ

METALS

- 51 ALL STRUCTURAL STL SHALL CONFORM TO ABBH SPECIFICATION
- 52 STRAP ANCHORS OR ANCHOR BOLTS SHALL BE BUILDING 5.2 STRAP ANCIONS OR ANCINE BOLLS SHALL BE INJURIED SHEETEN AND STREETEN SHEETEN OR RAINE, IT PROMESEN SHEETEN WITH INTERHEINE BOLDS AT 6-70 CC. HANNELS SHEETEN SHOWS NOT TO EXCEED HANA FACTURES SHEETEN SHEETEN
- CONNECTIONS TO SUPPORT THE FULL CAPACITY OF THE JOIST OR BEAM CONNECTORS USED FOR PT LUMBIR SHALL BE CORROSION RESISTANT AS APPROVED BY THE HANDFACTURER ALLM. FLASHING SHALL BE USED IN DIRECT CONTACT WITH P.T.
- CALLED FOR IN THE CURRENT MODEL CODE OR MANUFACTURER'S RECOMMENDED STANDARD 5.5 VENEER TES SHALL BE I'WIDE, 22GA, GALVANITED STEEL
- NISTALLED 24" O.C. HORELDWIALLY AND IS "O IL VERTICALLY.

 56 PROVIDE STEEL LIMITELS FOR ALL OPENINGS AND RECESSES IN

 BRICK OR BRICK FACED MASONRY WALLS OF HOT

 SPECIFICALLY DETAILED PROVIDE (I) STEEL AND IS FOR EACH 4" OF WALL THICKNESS. STEEL ANGLES TO HAVE PRINTED IS BEARING AT EACH END. HORIZONTAL LEG SHALL BE 3 1/2"
- UNLESS OTHERWISE SHOWN L-1 313' x 313' x 516' STEEL ANGLE UP TO 3' OPG L-2 4' x 315' x 516' STEEL ANGLE 3' TO 5' OPG. STRUTIANAL INNORMAND DOOR JACK STUDS SHALL IN STUD GAMEL, DO RESTITES, ROPES SHALL IN A STUDS AT CREMINGS LESS THAN 4 OF AND DOUBLE PACK STUDS AT CREMINGS LESS THAN 4 OF AND DOUBLE PACK STUDS AT CREMINGS LESS THAN A CORE OF THE PACK 4.22 AND PACKED OF THE DIS. ATTACH SHACK SHALL PACKED TO SHALL WITH STUDS AT STORY SHALL PROVIDED SHALL THAN SHALL PACKED AND THE SHALL PACKED SHALL PACKED THAN SHALL PACKED AND THE SHALL PACKED SHALL PACKED THAN SHALL PACKED THE SHALL PACKED SHALL PACKED SHALL PACKED SHAPPING TO THE POLICIESTS. L-3 5'x31/2'x3/8" STEEL AND 5'TO 6'-6' OPG L4 6'x3%'x%' STEEL ANGLE UP TO 9 OPG.
- 5.8 LINTELS SHOWN SHALL NOT SUPPORT ANY SUPERIMPOSED
- 5.9 ALL STEEL ANGLES IN MASONRY WALLS SHALL BE FLASHED 510 COAT ALL PERROUS METALS EXCEPT COMPLETELY PRE-PINGHED
- FACTORY ITEMS, WITH RUST INHIBITIVE PAINT 511 ADJUSTABLE STEEL COLUMNS SHOWN ON THE DRAWINGS SHALL BE MANUFACTURED IN ACCORDANCE WITH CURRENT
- MODEL CODE STANDARDS N.O.D. SIZES SPECIFED.
 WCOD PLATE ATTACHMENT TO STEEL BEAMS SHALL BE WITH 15" DIA BOLTS AT 24" STAGGERED O.C.

WOOD

- 6.1 ALL STRUCTURAL LUMBER SHALL BE STAMPED IN ACCORDANCE WITH THE "CONSTRUCTION MANUAL" OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION AND STORE IN DRY
- M4. FOR THE SPECIES, PRODUCT, PRESERVATIVE, AND END USE. 6.3 JOISTS AND GROERS: SEE PLANS FOR SIZE, SPACING AND MINIMUM GRADE AND SPECIES HEM FIR AND SPRUCE-PINE-FIR (SPP) SHALL BE NORTHERN SPECIES ONLY. HAV. MOISTURE
 CONTENT SHALL NOT EXCEED 19%.
 64 PROVIDE DOUBLE SOLID JOSTS UNDER ALL SHAKALLEL.
- PARTITIONS OVER 5'-0" IN LENGTH UNLESS MANUFACTURERS SHOP DRAWINGS SHOW OTHERWISE.
- 6.5 WHEN ENGINEERING BEAMS ARE SPECIFED ON THE DRAWINGS AS LVL OR PSI, THEY ARE INTERCHANGABLE. (MIN Fb = 2600 PSI) NO OTHER SUBSTITUTIONS ARE TO BE MADE WITHOUT ARCHITECTS APPROVAL ALL SUCH BEAMS SHALL BE NSTALLED IN STRICT ACCORDANCE WITH THE HANUFACTURERS WRITTEN INSTRUCTIONS.
- 6.6 BEARING WALL STUDY SHALL BE MINIMUM SHE STUD GRADE, KD OR BETTER AT 16" O.C. LAP ALL DOUBLE TOP FLATE JOINTS A 6.7 EXTERIOR WALLS, UP TO 10" SUPPORTING (1) PLOOR & ROOF MAY
- BE 244 @ 16" O.C. SUPPORTING (2) PLOORS AND ROOF SHALL BE 246 # 16" O.C. COMPLY W/ RG-86023 6.8 INTERIOR NON-BEARING WALLS MAY BE SPF #3 244 STLDS, 24"
- APPROVED STRUCTURAL SHEATHING INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECS. ALTERNATIVE WALL BRACING MUST COMPLY W/ SECTION 60210
- 6.10 RAFTERS- SEE PLANS FOR SIZE, SPACING, HINITUM GRADE AND SPECIES.

DESIDIA, PASICATION AND INSTALLATION OF WOOD TRUSSE AND SHEET METAL CONNECTORS SHALL BE IN ACCORDANCE WITH TRUSS PLATE INSTITUTE TIPLB2. STRUCTURAL DESIGN O MODIFICATION SHALL BE BY A REGISTERED PROPESSIONAL

- OF WOOD TRUSSES TO BE IN ACCORDANCE WITH TH
- 6.0 SEALOR OF WOOR TRESSES TO BE IN SCORDINGS WITH THE ARROYMENT AND TO PERSON AREA AND THE SERVE AFER STRING. IN CREATING SEALOR WOOD TRESSES COMPENSATIVE AND SECONDARY AND SECONDARY SEASON SERVED, SERVED SEASON SEASON
- COMMENDATIONS OWOOD ROOF SHEATHING SHALL BE INSTALLED WITH RANEL
- SH 1207 ARE NOTED STRENGTON 20 OF DESCRIPTION OF THE PROPERTY OF THE PROPERT

THERMAL & MOISTURE PROTECTION

WATERFROOTING: APRLY (1) COAT OF BITUMINOUS 3M SY OF ACRYLIC MODIFIED CEMENT OR ANY APPROVED WATERFROOTING TO EXTERIOR OF ALL BELOW GRADE WALLS

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DECKS, FROMES, ETC. ARE ATTRIANED TO WOOD RAW'E

CONSTRUCTION. A YAAL AAN ROOP RINESECTIONS. AT TO

CHINEY AND ROOP INTERSECTIONS, IN ROOP VALLEYS, AT

ALL BOOP FENETRATIONS, AND AT WALL OPENINGS F

RECOMPENCED BY WINDOW AND DOOR PAULIFICITIES.

WILLESS OTHERWISE SECTIED ON DIRECTIONS, TRAVORTORISES.

DIRECTION FROMES SECTIED ON THE CONTROL OF THE CONTROL

BEFORE ALL REGISTORS WHILE DILECTION AND THE CONTROL

BARRIER POSITIONED IN DIRECT CONFACT WITH THE WHITH SEE

OF THE WALL REGISTOR OF RECORDERS THE ALL THAN IN.

PARAMENTALITY OF THE WALL CENTRAL WITH THE WALL THE OF THE WALL CENTRAL FOR EXPOSED INSULATION IN UNFINISHED SPACE SHALL HAVE A MIN 16-25 FACING. BLOWN OR SPRAYED INSULATION SHALL BE INSTALLED FER INTO 3.31 OF THE IRC WITH DEPTH MARKERS. PROVIDE SLAB PERMETER

OF THE RC WITH DEPTH MAKEERS PROVIDE SLAP PERMETER NEWLATION WHERE PIN GRADE IS LESS THAN 12" ABOVE SLAB. ROOTHO, THERWISE, ROOTHO SHALL BE HIN CASES TO REPREJUES BASED ASPHALT BASED ASPHALT SHNGLES OVER 15 LIBS FELT. ATTACH STRP SHNGLES WITHIN

SHOULD CYCE IS US FILL TATACH SIZE SHOULD WITH OF A PASTERSES SHOW RANGING TO A POINT SHOULD ON INTEROR FACE OF WALL USE HIM SE INSTALLED AT THE OWARTS DISCIPLING AS SHEETED ON OWARTS DISCIPLING AS SHEETED ON CONSESS SHEETED AS THE OWART POINT OF FROME DATE OF THE OWART OF THE OWART POINT OF FROME DATE OF THE OWART OF THE OWART OF PROVIDE DATE OF THE OWART OF THE OWART OWART OF PROVIDE DATE OF THE OWART OF THE OWART OWART OF PROVIDE DATE OF THE OWART OWART OF PROVIDE DATE OF THE OWART OWART OF PROVIDE DATE OF THE OWART OWA

RECOMPENDATIONS AND MODEL CODE RECIREMENTS PROVIDE SIDING PAHEBRAL AS FARMIN ON DRAWINGS AND INSTALLED PER MANUFACTURER'S INSTRUCTIONS. INSTALL OVER 189 RELT ON EQUIVALENT WEATHER RESERTIME MATERIALS, ARE INITIATION BEARER OR MOSTURE RESISTANT SHEATHING ASTH DT79 STANDARDS.

GUTTERS SHALL BE .032" PREPINISHED ALUMINUM GUTTERS

WITH .0241 PREFINISHED ALLMINUM LEADERS. LEAD TO SPLASH BLOCKS OR AS REQUIRED BY THE LOCAL JURISDICTION COORDINATE WITH SITE PLAN.

DECKS, PORCHES, ETC. ARE ATTACHED TO WO

- DAGES 170 SOUTH THAT HOT BE WITHIN TO THE WITHIN T
- SEE RAI E ANAS, OR IN HANDA RICEPINAL TO LOCA.

 JEROCITION
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 - CELNOS () COAT ROPER,
 () COAT PLAT L'INEX
 PINSH WALLS () COAT RAPER,
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 PINSH TIRM! () COAT ROPER,
 () COAT SERVER,
 () COAT SE
 - COAT PRIMER (1) COAT EXTERIOR GRADE EXTERIOR LATE
 - GYBUN BOMO AND INT-SET LATEX PRITIABLY PICKEN AND STORMA (WEST AND S) OWER CHENT BOARD FLORE SHALL ISE GLAZED MOSAIC TILE OVER HINNIUM SIG TILTWOOD UNDERLAYTEM, SCIENCED IZ OL. TO SUBHIOOR CR AS RECOMMENDED BY HAMILPACTURES USE EPODY MORKET AND GROUP APPLICATION (ANSI A18 3) JOIST SPACING SHALL NOT BICKED 19.2" O.C.
 9.9 RESILENT FLOORS SHALL BE SHEET VIMIL. RESILENT FLOORING, OVER IS HINHUM REFEROARD OR PLYWOOD UNDERLAYMENT OR AS DIRECTED BY THE OWNER.

- 101 IF APPLICABLE PRE BUILT FREE ACES AND CHIMNEYS SHALL F AMULANDE, INC. BULL TREILFULES AND OFFINETS SHALL BE ULL APPROVED AND INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS AND CHAPTERS TO E 24 OF THE RIC. TOILET AND BATH ACCESSORIES SHALL BE AS SPECIFED BY THE OWNER.
- 10.3 MIRRORS: MIRROR QUALITY & SIZES PER PLANS, OR AG
- SPECIFIED BY THE OWNER 10.4 PROVIDE EITHER SHOWER RODS 80" A F.F. OR TEMPERED OR SAFETY LAMINATE GLASS DOORS, AS SPECIFIED BY THE

MECHANICAL

- HYAC AND PUTIMONE CONTRICTIONS PHAIL COORDINATE ALL OPENINGS IN 1/05TS. TRUSSES, ETC. WITH GENERAL, CONTRACTOR BEFORE PROCEEDING WITHAMY WORK. ALL WORK SHALL BE IN COMPLIANCE WITH ALL LOCAL HECHANICAL AND PLINTENS CODES. PROVIDE ONE DAYINGR REGISTER PER 400 SOLARE REET OF
- III. WOULD USE SAMPLER REUSERY FOR ALLY SOURCE FEEL UNIFIED BASEPHOR FORCE FAMPLOADE.

 II.3 PROVIDE EXHAUST FAMS AT EACH BATH, AND VENT TO EXTENDE OF THE FAMPLAGE IS REQUIRED BY THE GOVERNING LAWS, PROVIDE FIRE SUPPRESSION SYSTEMS IN ACCORDANCE.
- COCONNEW WITH SITE PAN

 PROVIDE SOME VISIES, RODE VENTS, OR GABLE END VENTS

 AS SHOWN ON THE DRAWNIGS HARVINN IMPRILIT 1930 PREE

 VENTLARION FOR HORICONICLE PROJECTION PROP

 REPORT LANGER OF CARRISONION PARTIES HAVE

 TRUSP-GATTER BY TO PANISAN FREE AR FLOW ALL REVISIES

 GRALES SHALL SE OPEN TO HAN ROCY ATTO TO ALLOW FREE

 AR FLOW. NPA 13D. CONFRI SUCH REQUIREMENTS WITH THE LOCAL JURISDICTION BEFORE PROCEEDING WITH ANY WORK ALL DUCTNORK THAT FENETRATES A RATED WALL OR FLOOR ASSEMBLY SHALL BE PROVIDED WITH FIRE DAMPERS.

DOORS AND WINDOWS

- THE CONTRACTOR SHALL VERIPY & COORDINATE ROUGH
 OPENINGS FOR ALL DOORS & WINDOWS PRIOR TO START OF
 CONSTRUCTION INSTALLATION SHALL BE IN ACCORD W/
 MANUFACTURERS INSTRUCTIONS.
- 8.2 EACH SLEEPING ROOM AND BASE/PENT SAXCE (UNLESS AMENICED OTHERWISE BY LOCAL LINEDICTION) SHALL HAVE AT LEAST ONE OPERAGE, WINDOW PROVIDING 5.15 (S.4.5.F. AT GRADE CONCINIONS) OF HET LEAST OPENINGS AS CERTIFIED THE MANUFACTURER, PERS. WITH ALL SELL HEIDHT NOT MORE THAN 44" A.F.F. OR OTHER CLEAR DIRECT MEANS OF EGRESS TO THE OUTSIDE. WINDOW WELLS, IF REQUIRED, SHALL BE MIN. If x
- 8.3 SAFETY (TEMPERED) GLAZING SHALL BE PROVIDED IN:
- CHARSE DOKALING SHALL BE WONDED IN CAUSS DOKES, SEPELIFIES SHOWER AND THE BIXLOSINES AND WINDOWS WITHIN 60 OF ILL ANDINGS GREEN ON STAR LANDINGS PRED PANELS GREATER THAN 9.5 F., WITHIN 8" AFF.

 GLADING WITHIN 12" OF A STAR PAULING GLADING WITHIN 12" RADIUS OF CLOSED DOCRES
- If applicable, provide self-closing door between divelling and garage, door shall be 1 % thick soll wood or insulated steel W/Min. 20 Min. Rating.

FINISHES

- 91 DRYWALL: N: TAPRED EDGE O'PISUM BOARD APPLED, TAPED, AND FINISHED IN ACCORDANCE WITH GYPSUM ASSOCIATION GAJIB AND ASTIM C-840, 92 SWI GYPSUM BOARD IS TO BE USED TO COMPLETELY
- SIDE PER THE PLANS, OR IN MANOR ACCEPTABLE TO LOCAL
- ALTERNATIVE NOTE: WIR O'PP BOARD SHALL NOT BE NATALLED OVER A VAPOR BARRIER IN TUB OR SHOWER COMPARTMENTS. PAINT (INTERIOR) LINLESS DIRECTED OTHERWISE.
 - - ALL PRIMMENT APPLIANCES SHALL BE PROVIDED WITH BRANCH CREUT OVER CLIRRENT DISCONNECTION DEN TOES. FOR APPLIANCES RATED OVER 300 VOLTS-AMPS OR V8 HP. DISCONNECT SHALL BE WITHIN LINE OF SIGHT. PROVIDED MERCHAR POOTING GROUND 20' LONG W' 6'

- III.6 DUCTIVORK IN UNCONDITIONED SPACES SHALL BE INSULATED TO A PMI R-8.

 II.7 DEVELOPED LENGTH OF DRIVER VENTS SHALL NOT EXCEED 25 FEET OR IN ACCORDANCE WITH MANUFACTURERS

- THET OR NACOPROMACE WITH PRANSPALITIONS
 METRICITION
 ALL YEARTS AND FLIES FIGH. LES NETALLES WITH PRANSIS
 ALL YEARTS AND FLIES FIGH. LES NETALLES WITH PRANSIS
 SECRETE OF THANSPACITIES.

 9. ANY PRANS RESERVA LUCRES FRONTINGS OF RESIDENT
 FOLKMENTON MALL OF ALES SHALL LES ROVICED WITH A
 FOLKMENTON MAN OF AND PARKES WASHER ANY
 TO PROVIDE VIOLENT WING HAND AND PARK WASHER AND OF
 DRIFTS WITH WATER HEATER WHEN LICENTED ON A WOOD
- 11.11 PROVIDE HOSE BIBBS (PREEZ-PROOF OR WITH SHUT-OFFS) AT FRONT AND REAR OF DWELLINGS, OR AS SHOWN IN THE DRAWINGS.
- 11.12 PROVIDE 1 15" CONDENSATE LINE FROM WATER HEATER AND AR
- SUPPLIES AND RETURNS LOCATED TO INSURE EVEN AR
- DEFIREUDIN

 11.15 PROVIDE A DUAL CHECK VALVE TYPE BACKFLOW PREVENTER
 CONFORMING TO ASSET UCAL OR GSA BBA 6 WHERE WATER
 SERVICE ENTERS THE DWELLING, ADJACENT TO WATER HETER

ELECTRICAL

- WOKE SHALL CONTINT TO THE RECURRENCE OF THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY, AND ALL APPLICABLE LOCAL REGULATIONS.

 PRITURES AND APPLIANCES, AS SPECIFIED BY THE OWNER OR
- S NOTED IN THE DRAWING
- AS NOTED IN THE DRAWNINGS

 2.2 ALL RECEPTACLES AT HITCHEN COUNTERS, VANITIES AND
 BERRIGERATION TO BE 42" A F.F. ALL OTHERS TO BE 19" A F.F.
 SWITCHES SHALL BE 45" HAXA F.F.

 12.3 PROVIDE G.F.I. RECEPTACLES AT ALL WET LOCATIONS AND IN
- 12.3 PROVIDE OF IL RECEPTACLES AT ALL WET LOCATIONS AND ACCORDANCE WITH NEC REQUIRE PENTS 12.4 PROVIDE HARDWIRED SHOKE DETECTORS WITH BATTERY BACKLE IN BACKISLEEPING ROOM AND AT BACKI RLOOK LE! WITHIN 10" OF EACH SLEEPING AREA, NOT CLOSER THAN 4" FROM RETURNAR INLETS ALL DETECTORS SHALL BE
- N/ SWITCH) LOCATED IN ATTIC SPACE OR AS SPECIFIED BY
- THE OWNER

 10.6 ALL BRANCH CIRCUITS SERVING BEDROOMS SHALL BE
 PROTECTED BY ARCHAULT CIRCUIT INTERRUPTERS PER NEC

 12.7 ALL PERMANENT APPLIANCES SHALL BE PROVIDED WITH
- PROVIDED \$4 KEBAR POOTING GROUND 20' LONG W/ L TURN-UP, W/ \$4 BARE COPPER CONNECTOR TO PANE

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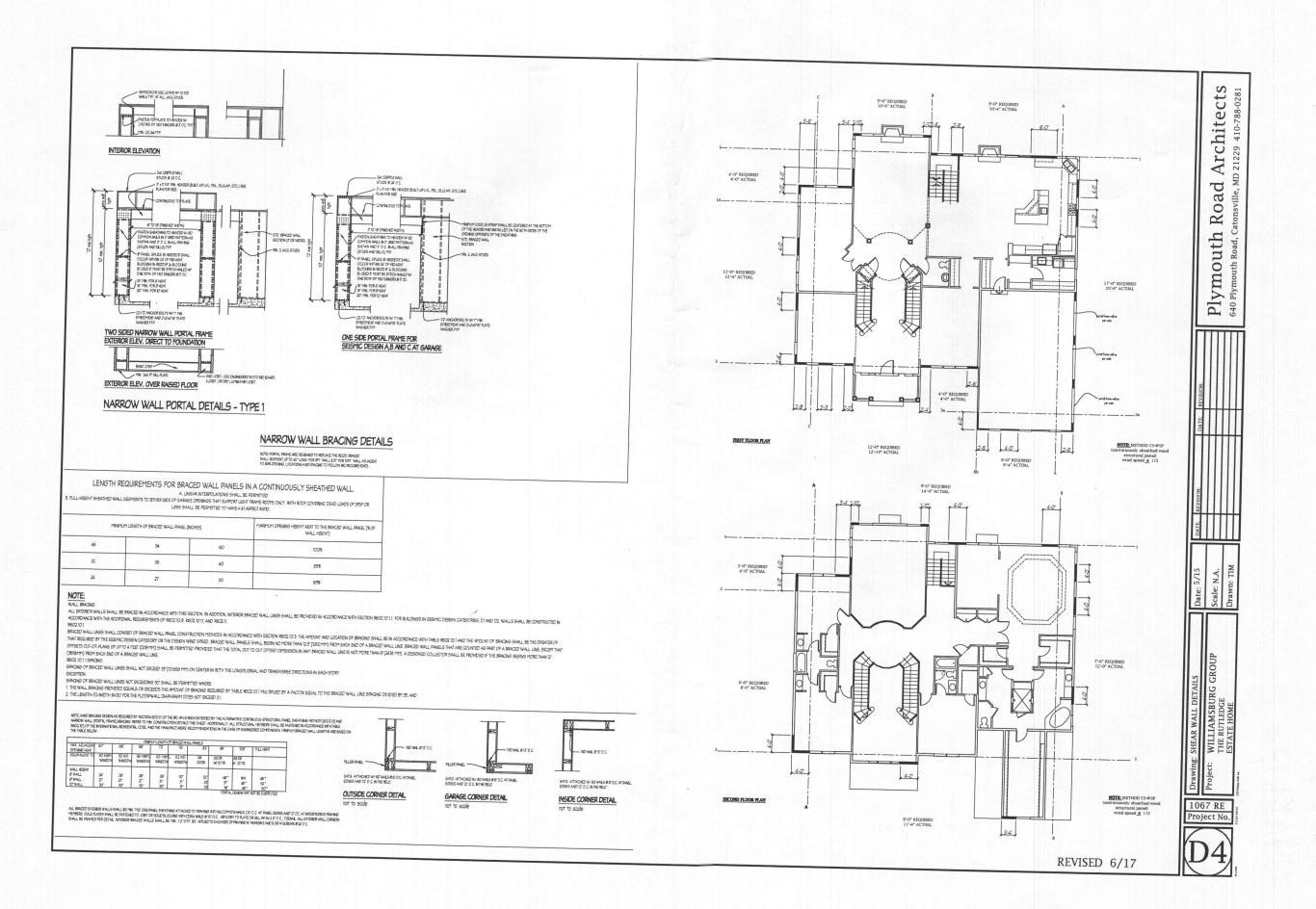
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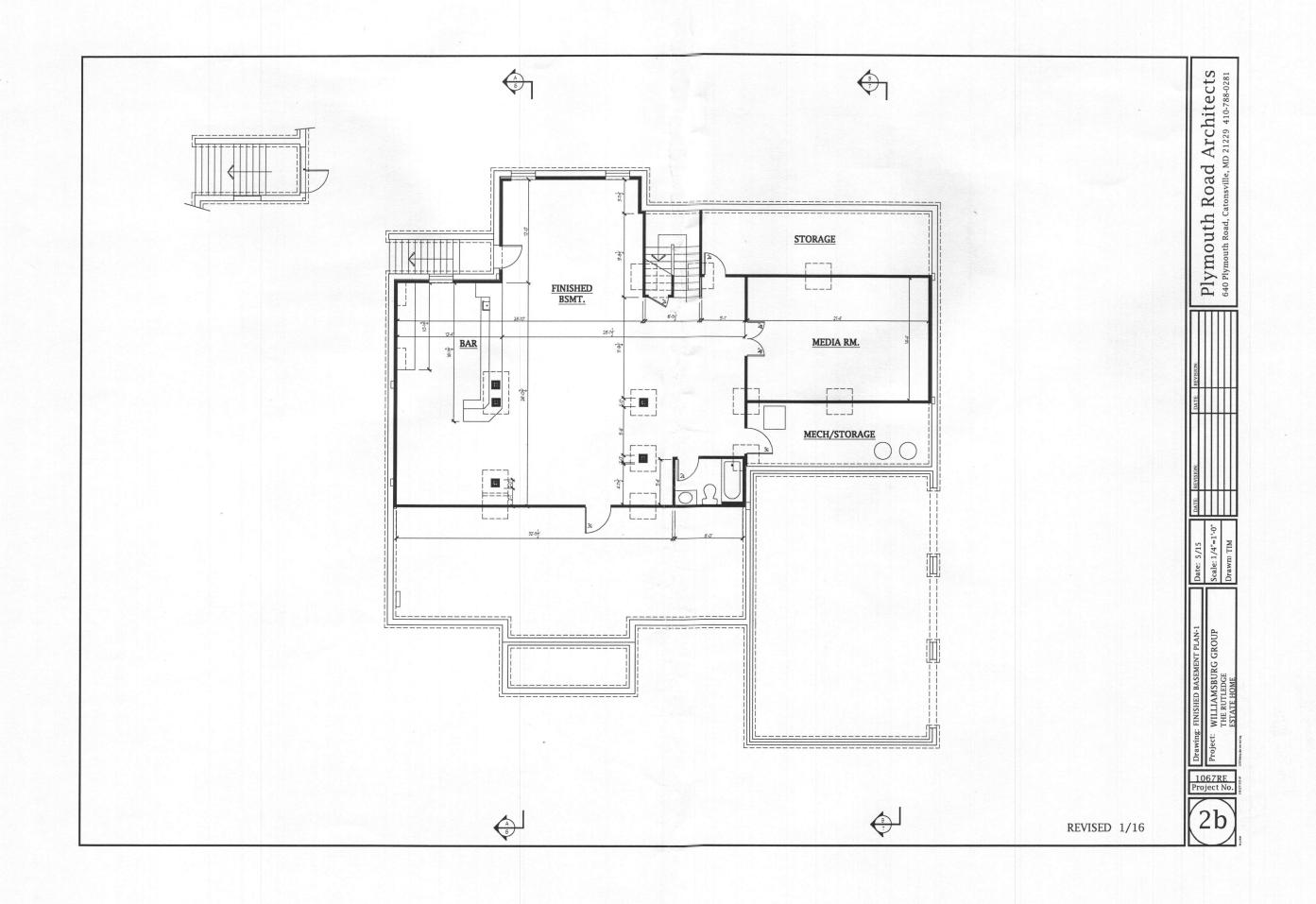
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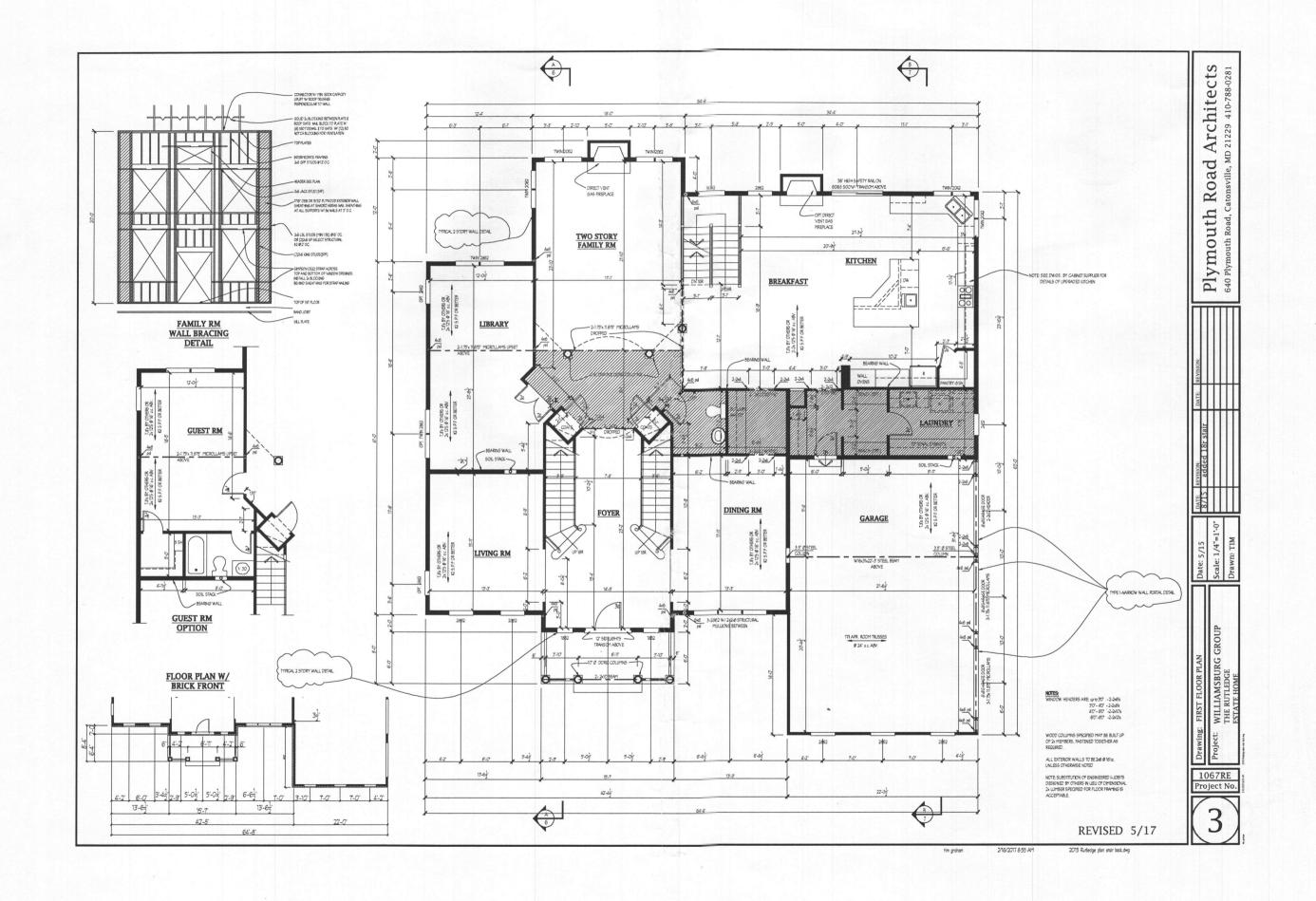
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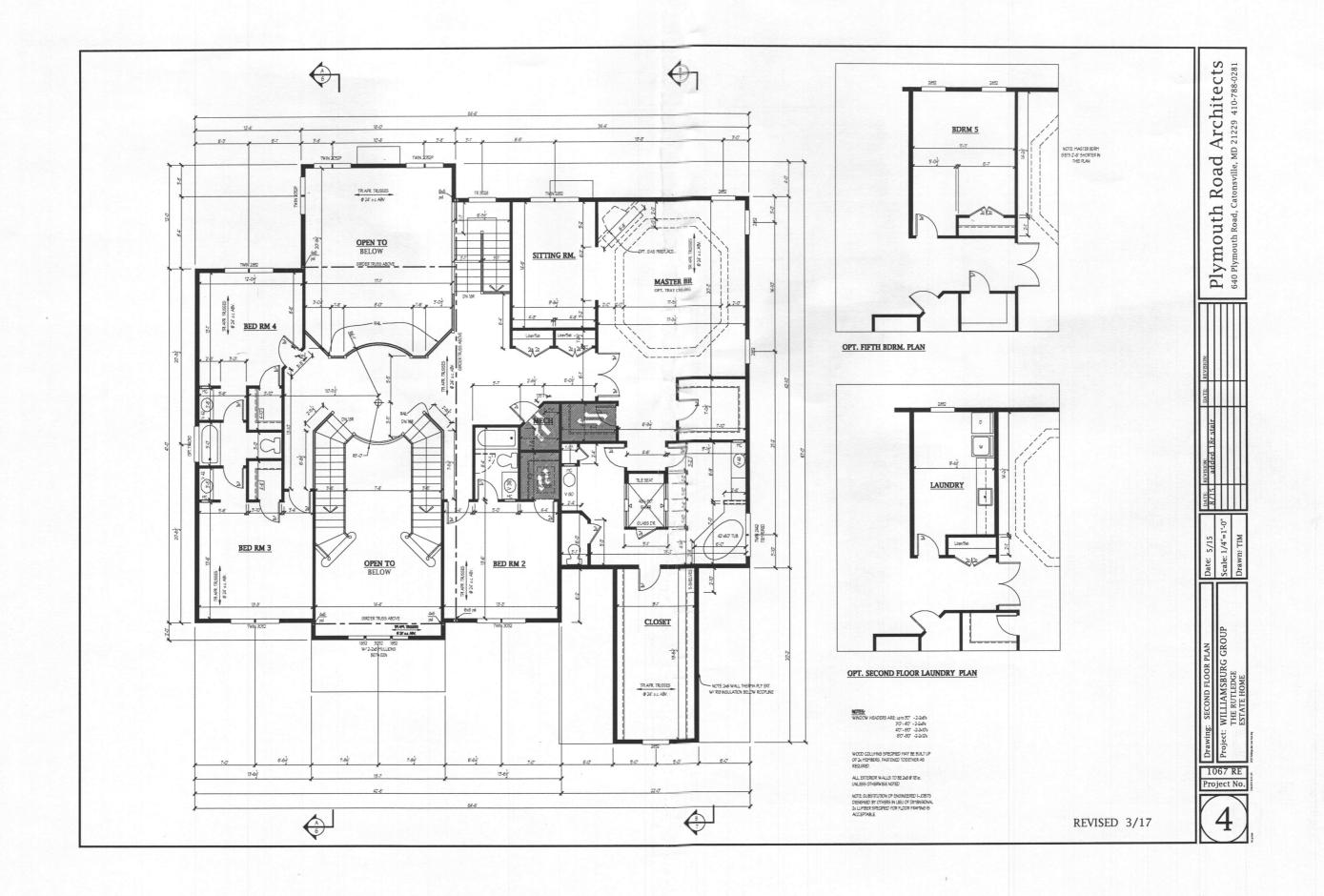
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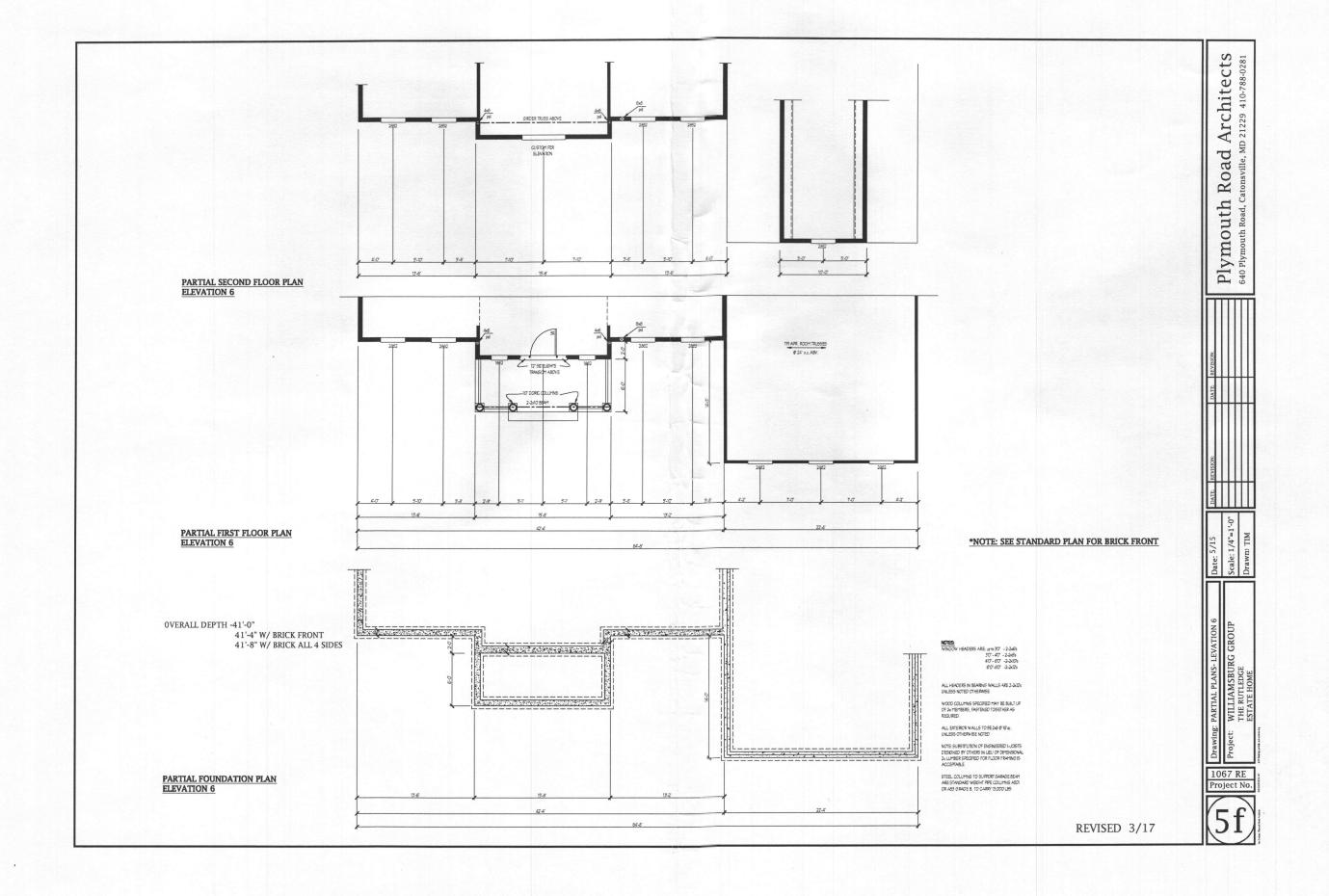


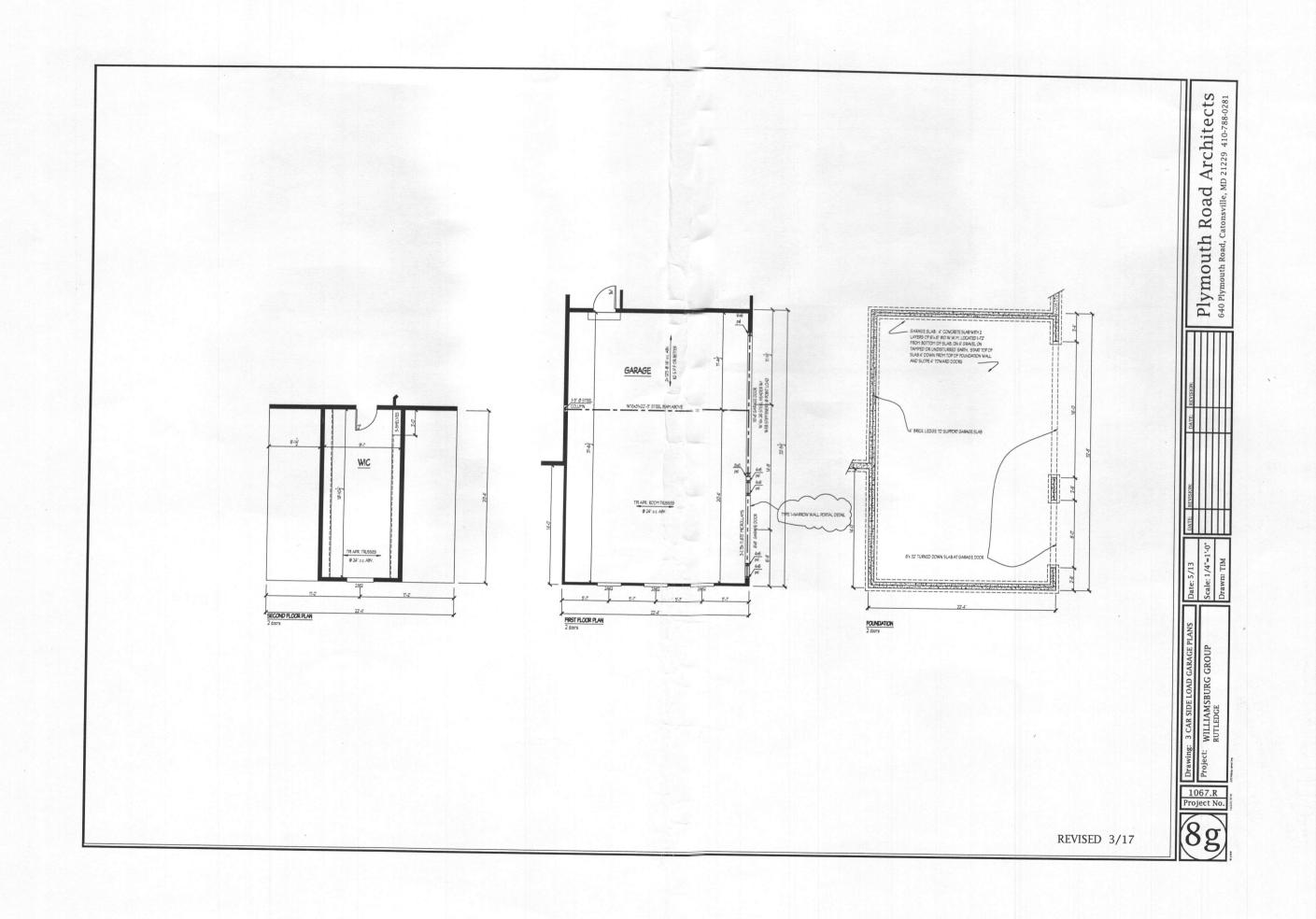




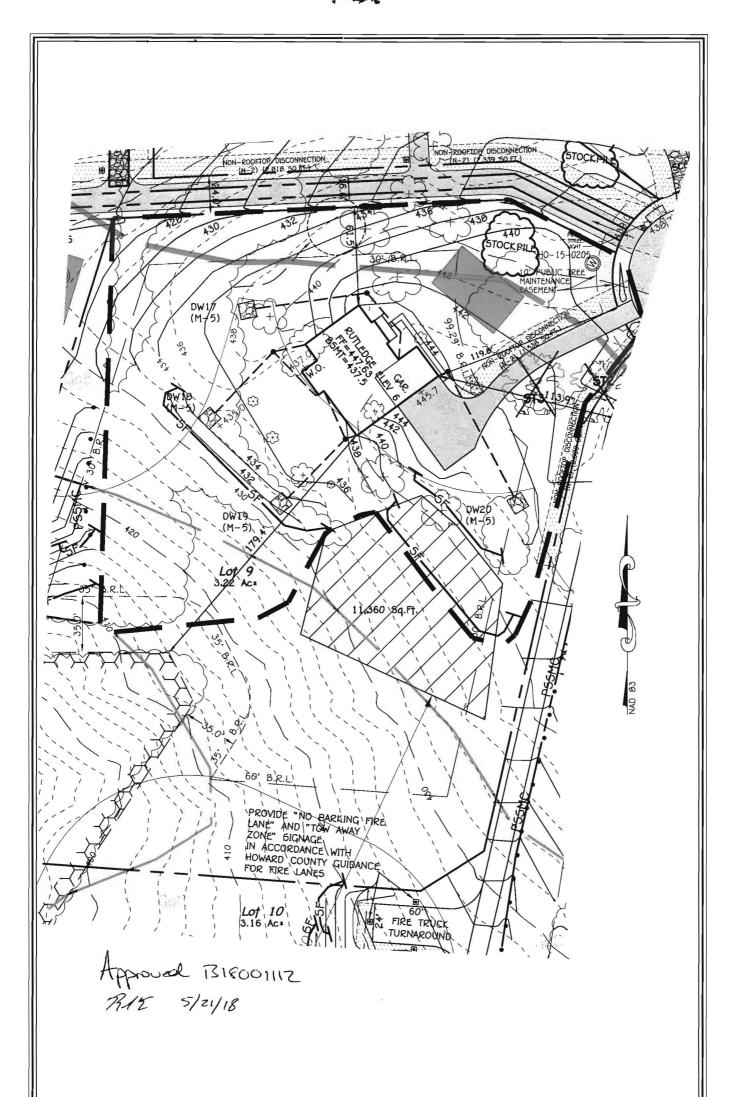














CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE ELLICOTT CITY, MARYLAND 21042 (410) 461 - 2855

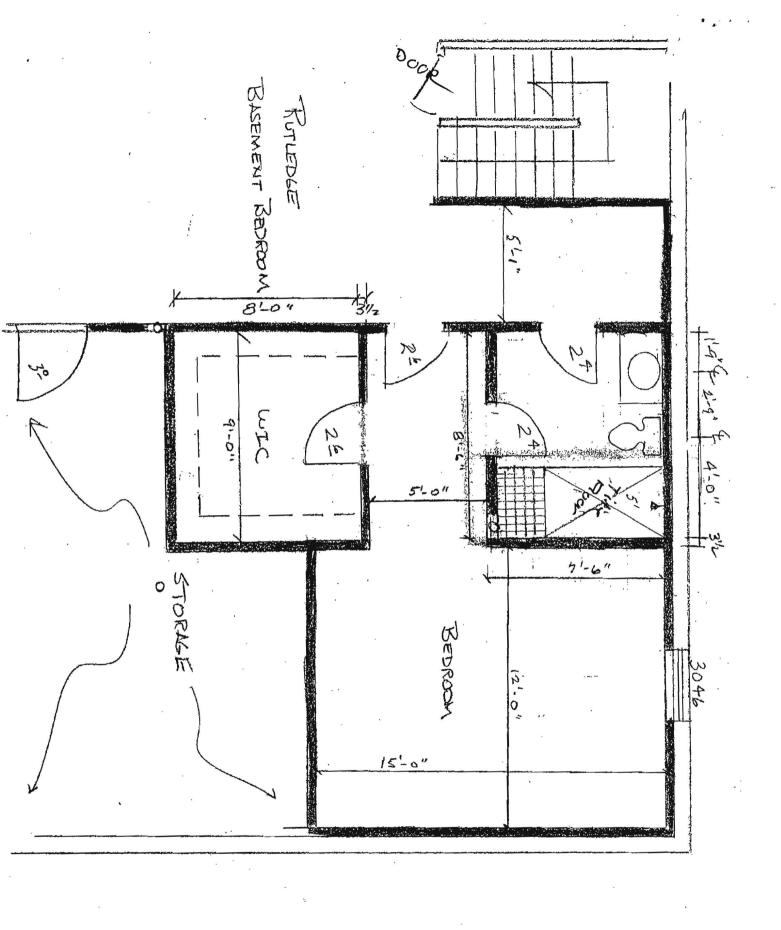
PERMIT PLAN WESTLAND FARM ESTATES, LOT 9

12535 WESTLAND COURT

TAX MAP #45 PARCEL: 28

ZONED: RR-DEO

THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND SCALE: $1^n = 60^\circ$ DATE: MARCH 2018



The Rutledge
Williamsburg Group, LLC
5485 Harpers Farm Rd. #200
Columbia, MD 21044
(410) 997-8800

Aproved B18001112 7/14 5/21/18

COV	ER SHEET		
Dl	WALL SECTIONS	5A	PARTIAL PLANS ELEV.2
D2	AREAWAY DETAILS	5B	PARTIAL PLANS FLEV.3
D3	GENERAL REQUIREMENTS	5C	PARTIAL PLANS ELEV.4
D4	SHEAR WALL DETAILS &	5D	PARTIAL PLANS ELEV.5
	LOCATIONS	5E	PARTIAL PLANS ELEV.6
1A	ELEV. 1 STANDARD	6	SECTION A
1B	ELEV. 1 W/ CONSERVATORY	7	SECTION B
1C	ELEV. 2		
1D	ELEV. 3	8A	TWO STORY ADDITION
1E	ELEV. 4	8B	MORNING RM.
1F	ELEV. 5	8C	CONSERVATORY
1G	ELEV. 6	8D	OPT. SECOND FL. FAMILY RM
		8E	OPT. ELEVATOR
2A	BASEMENT/FOUNDATION PLAN	8F	OPT. WALL OF WINDOWS
2B	FINISHED BASEMENT PLAN	8G	THREE CAR SIDE LOAD
3A	FIRST FLOOR PLAN	8H	GRADE BEAM DETAILS
4A	SECOND FLOOR PLAN	8I	SEPERATE GARAGE ELEV
		8J	SEPERATE GARAGE PLAN
_			

	PROJECT DATA	
CONSTRUCTION:		
GROUND FLOOR FIRST FLOOR SECOND FLOOR ROOF WALLS	CONCRETE WOOD WOOD WOOD WOOD	
BUILDING AREA:		
FIRST FLOOR: SECOND FLOOR:	2780 SQ. FT. 2416 SQ. FT.	
TOTAL:	5196 SQ. FT.	

A	LL STATE AND LOCAL AMENDMENTS, CONSTRUCTION CLASSIFICATION TYPE 58 (L	INPROTECTED) USE GROUP: R3
2015 IECC (CODE COMPLIANCE	BUILDING DATA
CODE SECTION	STANDARD (MINIMUM)	CLIMATE & GEOGRAPHIC DESIGN CRITERIA
R30.1 CLMATE ZONE R401.2 COMPLIANCE METHOD R402.1.1 VAPOR RETARDER R402.1.2 ATTIC INSULATION-	4A HANDATORY AND PRESCRIPTIVE PROVIEDINS WALL ASSEMBLES IN THE THERMAL, ENVELOPE SHALL COMPLY WITH VAPOR RETARDER REQUESTIONTS OF SECTION ROD2 FOR THE RC 2016 R-49. R-38 MILL SATIST THE REQUESTION IF BLUE	FLOORLIVE LOAD 40 PSF ROOF LIVE LOAD 30 PSF WIND SPEED ULTIPATE 15 MPH_DROSE C ATTICS WIN STORAGE 10 PSF ATTICS WIN STORAGE 20 PSF
R4021.2 WOOD FRAME WALL	OVERTHE TOP PLATE @ EAYES (REQUIRES RAISED HEEL TRUSS). R-20 OR R3 + RS CONTINUOS INSULATION.	HABITABLE ATTICS 30 PSF STAIRS 40 PSF
R402.1.2 BASEMENT WALL INSULATION: R402.1.2 CRAWL SPACE WALL INSULATION:	R-10 FOL FACED CONTINUOUS, UNINTERRUPTED BATTS FULL HGHT.R-13 N CAVITY IF FINISHED, R-10 FOL FACED CONTINUOUS BATTS FULL HGHT, EXTENDING FROM	DECKS & BALCONIES(EXT) 40 PSF GUARD&HANDRAILS 200# (CONT.) SEISMIC CATEGORY B LIGHT FRAME STRUCTURAL
	FLOOR ABOVE TO FINISH GRADE LEVEL AND THEN VERTICALLY OR HORIZONTALLY AN ADDITIONAL Z-O".	W/ SHEAR WALLS CONCRETE WEATHERING SEVERE TERMITE MODERATE TO HEAVY
R402.1.2 FLOOR NSULATION OVER UNCONDITIONED SPACE	R-19 BATT INSULATION	DECAY PROBABILITY MODERATE ICE UNDERLAYMENT YES
R402.1.2 WINDOW U-VALUE/ SH5C R402.1.10 SLAB ON GRADE FLOCKS LESS THAN 12" BELOW GRADE	0.35 (J-VALUE) & 0.40 (SH5C) R-10 RIGID FCAM BOARD UNDER SLAB EXTENDING FITHER 7.40*	FROST DEPTH 3Z NOTE: MINIMUM VALUES SHOWN-CONFIRM WITH LOCAL CODE OFFICIAL PRIOR TO CONSTRUCTION.
R402.24 ATTIC ACCESS:	HORIZANTALLY OR VERTICALLY. ATTIC ACCESS SCUTTLE WILL BE WEATHERSTRIPPED AND INSULATED	GENERAL NOTES
R402.4.1.2 BUILDING THERMAL ENVELOPE	R-49.	CENTER EN INOTES
(AIR LEAKAGE)	EXTERIOR WALLS AND PENETRATIONS WILL BE SEALED PER THIS SECTION OF THE 2015 IECC WITH CAULK GASKETS, WEATHERSTRIPPING OR AN AIK BARRIER OR SUITABLE MATERIAL.	GENERAL NOTES ARE ACKNOWLEDGED AND SHALL BE ADHERED TO DURING THE CONSTRUCTION
R402.4.1.2 BUILDING ENVELOPETEST OPTION:	BILLING ENVELOPE SHALL BETESTED AND VERED AS HAVING AN ARE LEAKER RATE OF NOT EXCEEDING 3 ARE CHANGES FOR HOUR TESTING SHALL BE CONDUCTED IN ACCORPANCE WITH ASTINE 73 OR ASTINE BEST WIS BLOWER DOOR AT A PRESSURE OF 2 NICHES WAS, TESTING SHALL BE CONDUCTED BY AN APPROVED.	MISC. NOTES; 1. ALL WORK INCLUDING ALL STRUCTURAL, HVAC, ELECTRICAL AND OTHER SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AND
R402.4.2 FIREPLACES	THRO PARTY. NEW WOODBURNING FIREPLACES SHALL HAVE TIGHT FITTING FLUE DAMPERS AND OUTDOOR COMBUSTION AIR.	REGULATIONS. 2-CONTRACTOR TO VERIFY AND COORDINATE ALL THE CONDITIONS AND DIMENSIONS AT THE SITE BEFORE
R402.4.4 PUEL-BURNING APPLIANCES	COME CONTAINING FUEL BURNING APPLIANCES WHERE OPEN COMEDITION ARE DUCTS PROVIDE COMEDITION ARE TO OPEN COMEDITION ARE DUCTS PROVIDE COMEDITION ARE TO OPEN COMEDITION ARE SHALL BE LOCATED OUTSIDE THE BUILDING THERMAL BIVILIONE ON ENCLOSED IN A ROOM ISOLATED FROM INSCRIMENTAL ENVIRONMENCEPHONES. DESCRIPTIONS I, DOESCE VENT APPLIANCES WITH BOTH INTAKE AND EVALUET FIRES INSTALLED CONTRIDUOS TO THE CUSTOR. PREPARACES AND STOVES CONLYNOUS TO THE SECTION PROVIDED FROM ROOS OF THE RC.	BEGINNING OF CONSTRUCTION, ANY DISCREPANCIES SHALL BE REPORTED TO ACATHECTURE GROUP PHEEDATILY. 3-ALL PRE-DIGINEERD PHEEDALS, EXUPPIENT, FITURES, AND BIC. SHALL BE INSTALLED PER HAMIFACTURERS INSTRUCTIONS AND PECURESTRUS. 4-PRE-DIGINEERED WOOD ROOF TRUSSES AND FLOOR JOISTS SHALL BE DESIGNED FOR THE LOAD INDICATED BY A PROFESSIONAL ENGINEER LECKNED TO PRACTICE IN THE
402.4.5 RECESSED LIGHTING	 RECESSED LUMINAIRES INSTALLED IN THE BULDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE. 	STATE OF MARYLAND. SHOP DRAWINGS SHALL BE SUBMITTED TO THE COUNTY PLAN REVIEWER FOR APPROVAL PRIOR TO FARRICATION
403.1.1 THERMOSTAT	ALL DIVELLING UNITS WILL HAIVEAT LEAST (I) PROGRAMMABLE THERMOSTAT FOR EACH SEPERATE HEATING AND COOLING SYSTEM	Transcripts.
403.1.2 HEAT PJMP SUPPLEMENTARY HEAT	WHERE A HEAT PUMP SYSTEM HAVING SUPPLEMENTARY ELECTRIC RESISTANCE HEAT IS USED THE THERMOSTAT SHALL PREVENT THE HEAT FROM COMING ON WHEN HEAT PUMP CAN MEET HEATING LOAD,	
403.3.1 MECHANICAL DUCT INSULATION	SUPPLY & RETURN DUCTS IN ATTIC R-5 HIN. SUPPLY DUCTS OUTSIDE OF CONDITIONED SPACE R-8 HIN. ALL OTHER DUCTS EXCEPT THOSE LOCATED INSIDE THE BULDING THERMAL ENVELOPE R-6 HIN, DUCTS LOCATED UNDER CONCRETE SLABS	
403.3.2 DUCT SEALING	MUST BE R-6 MIN. ALL DUCTS, AR HANDLERS, AND FILTER BOXES WILL BE SEALED. JOINTS AND SEAMS WILL COMPLY WITH SECTION MIGOLAL OF THE RC.	
	ITE NA. A DUCT TIGHTINESS TIEST (DUCT BLASTER LEAKAGE TIEST) WILL BE PERFORMED ON ALL HOVES AND SHALL BE VERRED BY EITHER A POST CONS. TIEST OR A ROUGH IN TEST, DUCT INSTINESS EITS I S NOT REZO, IF AR HANDLER AND ALL DUCTS ARE LOCATED WITHIN CONDITIONED SPACE.	
103.6 MECHANICAL VENTILATION	OUTDOOR AR WILL BE BROUGHT WITO THE HOME THRU A DUCT WITH AN AUTOMATIC OR GRAVITY DAMPER	
03.6.1 WHOLE HOUSE MECH VENT SYSTEM FAN EFFICIENCY	TO COMPLY WITH TABLE R403.6.1.	
103.7 EQUIPMENT SIZING 104.1 LIGHTING EQUIPMENT WATER HEATER MECHANICAL TESTING	SHALL COMPLY WITH BUOST, AND THE HIGH-EFFICIENCEY LAMPS, ANN, OF ERS OF ALL LAMPS MUST BE HIGH-EFFICIENCEY LAMPS, MINEFICIENCY ESTABLISHED BY MAECA. ALL HECH, TESTING TO BE PERFORMED BY APPROVED THIS OP PARTY, THE COMMOCITIC ALSO RESPONSIBLE FOR	

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REVISED 6/17



