

Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045 Main: 410-313-2640 | Fax: 410-313-2648 TDD 410-313-2323 | Toll Free 1-866-313-6300 www.hchealth.org

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Maura J. Rossman, M.D., Health Officer

RECEIPT D	DATE: 10/2/18 ONSITE SEWAGE DISPOSAL SYSTEM P 564016-C
	DATE: 10-17-18 PERMIT: CONSTRUCTION A
PROPERTY AL	DDRESS: 13611 Curtis Vista Way
SUBDIVISION	: Brighton Mill II LOT: 3 TAX ID: 05-600584
CONTRACTOR	R: South Camoli Backhoe EMAIL: schackhoela comcast. com
CONTRACTOR	ADDRESS: 4410 Salem Bottom Rd, Westminster, MD 21157 PHONE: 410-596-3618
PROPERTY O	WNER: Highland Development Corporation EMAIL:
OWNER ADDRE	ESS: P.O. Box 228, Clarksville, MD 21029 PHONE:
SEPTIC TANK SI	ZE (GALLONS): 2000 TANK MANUFACTURER: Mayer Bros
PUMP MODEL:	PUMP SIZE PUMP TANK CAPACITY:
DISTRIBUTION	N SYSTEM: GRAVITY PRESSURE DOSED BEDROOMS: APPLICATION RATE: 1.2
	LINEAR FEET REQUIRED: 104 INLET DEPTH: # 3'
TRENCHES:	TRENCH WIDTH: 3 MAXIMUM BOTTOM DEPTH: 7
	MINIMUM SPACE
_	BETWEEN TRENCHES: 10 EFFECTIVE AREA BEGINNING DEPTH: 4
LOCATION:	PER APPROVED SITE PLAN. SEWAGE DISPOSAL AREA AND TANK LOCATIONS MUST BE STAKED BY LICENSED SURVEYOR PRIOR TO PRE-CONSTRUCTION INSPECTION.
	Install 2 × 52' trenches.
NOTES:	
ISSUED BY:	Dana Bernard ISSUE DATE: 10/2/19 EXPIRATION DATE: 10/2/19
NOTE: CONT	RACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION
NOTE: CONT	RACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING
	E MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.
NOTE: WATE	RTIGHT TANKS REQUIRED
	ARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRADIENT FROM ANY WATER WELL
	HOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS
	ECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM ELECTRICAL PERMIT ISSUED E
NOTE: MDE	RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE
	ISURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA R THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE
MELLINE	A THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTIVIENT IS RESPONSIBLE FOR THE

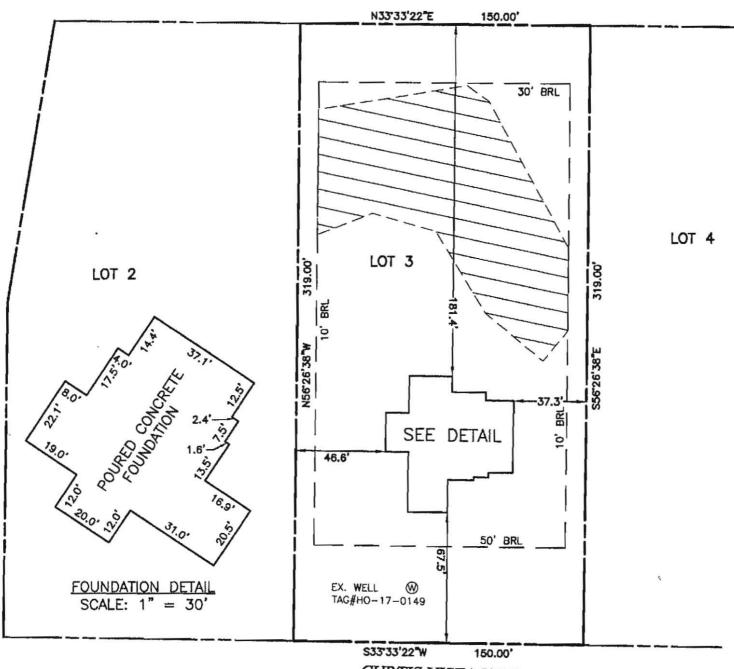
SUCCESSFUL OPERATION OF ANY SYSTEM.

PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT. CALL 410-313-1771 TO SCHEDULE INSPECTIONS.

	WHO-17-0149	
l"≈ 3o'	NOT TO SCALE 8 6 7 45' to B 12-52 12' 27' to A 30' to B 33' to C 25' 20' 20'	TRENCH/DRAINFIELD DATA WIDTH INLET BOTTOM 3' 3' 7' NUMBER OF TRENCHES 2 TOTAL LENGTH LOU! ABSORPTION AREA 312'+ SIDEW/ DISTRIBUTION BOX LEVEL YES DISTRIBUTION BOX BAFFLE YES DISTRIBUTION BOX PORT YES SEPTIC TANK DATA SEPTIC TANK I LEVEL YES MANUFACTURER BABNLON CAPACITY 2000 GAL SEAM LOC TOP TANK LID DEPTH 2-2.5' BAFFLES YES BAFFLE FILTER NO MANHOLE LOC FRONT + REAR 6" PORT LOC NONE WATERTIGHT TEST NO SLOTTED YES DATE ON LID 9-3-18 RUMP/SEPTIC TANK LEVEL MANUFACTURER CARACITY GAL SEAM LOC TANK LID DEPTH BAFFLES BAFFLE FILTER MANHOLE LOC 6" PORT LOC WATERTIGHT TEST MANHOLE LOC 6" PORT LOC WATERTIGHT TEST
	\\	\$COTTED
	ROAD NAME	DATE ON LID
2.52' trem to move H INSTALLATION	ches. Pipe comes out of house on opposite corner tank of house on opposite corner tank closer to the center of the SDA. Superin	tendent OK with change. 60
2.5-3' to_	stone. Leveled speed levelers in D-box. S. Carroll four	nd 4-7" fill on SDA around.
FINAL INSPECT	OR <u>Savah Colvins</u> . DATE OF APPRO	OVAL 10/17/18

P/O FOREST CONSERVATION EASEMENT #1
CREDITED RETENTION AREA: 1.60 AC.
NON-CREDITED RETENTION AREA: 0.52 AC
REFORESTATION AREA: 3.40 AC.
TOTAL AREA: 6.06 AC.
AREA THIS SHEET: 5.52 AC. 0.52 AC. P/O NON-BUILDABLE
PRESERVATION PARCEL 'B'
TO BE PRIVATELY OWNED WITH THE
HOMEOWNERS ASSOCIATION AND
HOWARD COUNTY, MARYLAND, AS
EASEMENT HOLDERS (8.94 ACRES TOTAL) (8.41 ACRES THIS SHEET)





CURTIS VISTA WAY PUBLIC ACCESS PLACE

SURVEYOR'S CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS, WERE I HEREBY CERTIFY THAT THESE DOCUMENTS, WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21320, EXPIRATION DATE 1—7—2019 AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF, THAT THE DIMENSIONS OF THE BUILDING WALLS SHOWN HEREON ARE CORRECT; THAT THEY ARE CORRECT, FIELD RUN SURVEY PERFORMED BY BENTHMARK ENGINEERING, INC. ON 09/11/2018.

DONALD A. MASON 30 10 21320 PROFESSIONAL LAND SURVEY OF WALL LAND SURVEY OF WALL LAND SURVEY OF WALL LAND SURVEY OF WALL LAND REG. No. 21320 WALL LAND SURVEY OF WALL

FEMA FIRM No. 24027C0130D

ZONE:

DATED: 11/6/2013

BENCHMARK

GINEERS LAND SURVEYORS PLANNERS

ENGINEERING, INC.

8480 BALTIMORE NATIONAL PIKE A SUITE 315 ELLICOTT CITY, MARYLAND 21043 (P) 410-465-6105 A (F) 410-465-6644

WWW.BEI-CMILENGINEERING.COM

TOP OF FOUNDATION WALL = 520.9' OFFSET DIMENSIONS TO PROPERTY LINES ARE ± 0.1'

> 10.2.18 - Wall which skay -4.0.

WALL CHECK

BRIGHTON MILL II LOTS 1 THROUGH 12 PLAT No. 24470

LOT No. 3

13611 CURTIS VISTA WAY

5TH ELECTION DISTRICT FIELD OBS. BY OH HOWARD COUNTY, MARYLAND DRAWN BY EWF SCALE: 1" = 50' DATE: 09/11/2018

Bernard, Dana

From:

Bernard, Dana

Sent:

Monday, July 23, 2018 5:28 PM

To:

John Carney

Subject:

12340 Point Ridge Drive

Good Evening John,

Lot #3 in the Regan Subdivision, 12340 Point Ridge Drive was submitted with calculations on the OSDS plan for a 4 bedroom house. And floor plans submitted were for a five bedroom house. One of two items must occur.

- 1. Increase the number of bedrooms in the calculations on your OSDS plan or
- 2. Decrease the number of bedrooms in the house.

If you have any questions don't hesitate to give me a call.

Thank you & Have a*")

...'...*'") ,..*")

Dana Bemard, R.E.H.S/L.E.H.S.

n.·′* Wonderful Day!

Environmental Specialist II
Bureau of Environmental Health

Well and Septic Program

Phone (410) 313-2775

E-mail: DBernard@howardcountymd.gov



Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045 Maln: 410-313-2640 | Fax: 410-313-2648 TDD 410-313-2323 | Toll Free 1-866-313-6300 www.hchealth.org

Facebook: www.facebook.com/hocohealth -Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

SEWAGE DISPOSAL SYSTEM SPECIFICATIONS WORKSHEET
Address: Curtis Vista Way
Subdivision: Brighton Mill Place 2 Lot: #2
Initial system: Application rate: 1,2 Effective area beginning depth: 4 Bottom maximum depth:
1 st Replacement: Application rate: 1,2 Effective area beginning depth: 4 Bottom maximum depth: 4
2 nd Replacement: Application rate: 1, 2 Effective area beginning depth: 3,5 Bottom maximum depth: 7
Design Flow = 150 gallons per day per bedroom
Design flow + application rate = square footage of drainfield required
Linear length of trench required = drainfield square footage x sidewall reduction percentage ÷ trench width
Sidewall reduction credit formula: $\frac{W+2}{W+1+2D} \times 100 = \begin{cases} Percent of length of standard trench where W=trench width and D= depth between effective area beginning depth and trench bottom. \end{cases}$
 All trenches must be equal length unless low pressure dosed All trenches must be on contour Minimum trench spacing: 10' for all trenches utilizing sidewall reduction credit. Additional spacing may be necessary for any trench using over 3.5' of effective sidewall. In those cases, the spacing formula is 2D +W up to a maximum spacing of 18'. Minimum trench spacing for trenches with no sidewall credit (bottom area only) is 6' for a 2' wide trench and 9' for a 3' wide trench (spacing is measured edge to edge) Maximum trench length is 100' Maximum pipe depth is 4'

JW 9/4/14

I. General Requirements

- Contractor shall be familiar with provisions of all applicable codes and shall insure compliance of work to those codes.

- G. AIA General Conditions of the Contract for Construction are a part of this project.
- H. All construction is to be in compliance with the following code:
- All construction is to be in compliance with the following code: plantalized Resideatic Code For One & Ten Formity Deelings, 2015 Edition (As Amended By Montgomery, and Howard County, BD)
 This project is an Owner/Builder project wherein the Owner is performing as the Contractor. The Owner is responsible for all construction means and methods as well as all compliance with buildings codes and other applicable leaves, ordinances and regulations. The Architect is available to the Owner, however, all questions regarding this project must be directed as a construction of the project, incumues no responsibility for the means and methods of construction of the project, incumuch as the Owner/Builder has full control and has assumed full responsibility.
- J. Use of these documents without written permission of the Architect is forbidden.

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 Any and all drawings and specifications for sitework, pumbing supply or weste, electrical circuiting, and heating, ventilation, and air conditioning systems not contained in the "list of drawings" listed on this page are not a part of the professional services provided to the Owner by the Architect under their Agreement. Any discrepancies with these documents by any of the above listed services shown in documents by others should be indicated in writing to Architect immediately.

II. Structural Specifications

- These requirements may be superceded by more stringent information contained within the drawings. The more stringent shall be followed.
- 3. Soil conditions shall conform to the following conditions:

 Bearing capacity: Min. 2000psf , field verify, under all footings and slab.
- Bottom of all factings shall extend to below frost line of the locality or to a minimum of 2'-6" below grade.
- 6. All backfill under slobs and footings shall be clean, porous soil compacted in 8° layers to 95% density. Where distance from edge of foundation wall exceeds 16°, but is less than 4°-0°, provide backfill as described above or reinforce with ¼4 re 0° 2°-0° o.c., 1°-0° beyond edge of undisturbed soil and 1°-0° into foundation.
- 1. All concrete shall attain the following 28 day compressive strengths: -Foundation Walls, Footings, Piers and Interior Slabs . . . 3000 psi -All other slabs on grade (including garage slabs) 3500 psi.
- 2. Reinforcing steel shall conform to ASTM A-615, new billet, grade 60.

- All exposed exterior concrete shall be 6+/-1% air entrained or shall conform to ASTM C260.
- Walls with lateral earth pressures shall be shored or floor/roof construction shall be in place prior to backfilling.
- 7. All concrete work shall be in accordance with ACI 318.

- 4. All bolts in bolted steel connections shall conform to ASTM A-325.
- 5. All required steel anchor bolts, anchors straps, nails, caps, joist hangers shall be constructed of code approved galvanized or stainless steel. All metal nails, hangers, straps & bolts that ore in direct contact with pressure breated luminor shall be fabricated from stainless steel or other non-corrosive metal approved by the Building Official.
- 6. All connections shall conform to AISC standards.
- Fitch Bearns: Unless noted otherwise, all steel fitch bearns shall be assembled with 2 rows of 1/2" bolts @ 12" o.c. top and bottom, stagger rows 6". There shall be a bolt top and bottom 8" from each end.

IL STRUCTURAL SPECIFICATIONS (continued)

. All structural wood joists and headers shall be stressed graded #2 Hern Fir 19% M.C. in accordance with NDS by NFOPA, unless noted. All wood shall comply to the following minimum specifications:

#2 Hem Fir. 19% M.C.

- F min: 980 psi repetitive use 850 psi single member use
- E min: 1.300.000 osi
- F_{C 1} min: 405 psi
- #2 Spruce Pine Fir 19% M.C. (#2 S.P.F.)

Stud Grade Spruce Pine Fir 19% M.C.

All manufactured wood trusses and truss headers shall be designed by manufacturer according to Truss Plate Institute (TP) and other requirements specified by local building authority. Manufacturer shall submit to Architect, shop drawings and calculations sealed by a Professional Engineer registered in the governing jurisdiction. Erection shall be in accordance with TPI "Sulding Component Safety Information (BCSI) Guide to Cood Practice for Handling, Installing, Restraining & Bracing of Metal Plate Connected Wood Practice for Handling, Installing, Restraining & Bracing of Metal Plate Connected Wood Trusses. Roof trusses and all bridging and/or lateral bracing required for structural integrity of roof truss system is to be designed by Manufacturer's drawings.

All wall sill plates shall be min. 2x4 and shall be anchored into foundation walls with 1/2" diameter anchor bolts min. 7" into poured in place concrets and 15" into grouted cmu. Minimum 2 anchors per section of plate and anchors shall be placed 12" from end of each plate. Maximum spacing of anchors 6"-0" on center for one and two story buildings and 4"-0" on center for buildings more than two stories in height or as required per local code. Anchor straps may be used as a substitute and shall be installed per manufacturers' specifications

All exterior wood framework supported on approved foundation walls shall be minimum 8" above finish grade.

All wood framed exterior corners shall be laterally braced 4'-0" each direction from the corner with 1/2" exterior plywood or other code approved structural method.

8. Provide blocking between all joists, 2 x 12 or greater, at intervals not to exceed

11. Provide solid blocking at 4'-0" o.c. between rim joist and first interior parallel joist

13. All ceromic tile shall be installed per Tile Council of North America as specified in the Handbook for Ceromic Tile Installation. Contractor is responsible for providing sufficient movement joints, as per Tile Council of North America specifications, for all floor tile. Movement joint locations and details are not a part of these documents.

14. Plywood subfloors shall be glued and nailed to Floor Joists with APA approved elastomeric structural adhesive and 8d common nails spaced at 6" o.c. at pan edges and 12" o.c. at intermediate supports. 15. All wood posts labeled continuous (cont.) shall be continuous from under side of beam to concrete or steel begring.

All structural wood exposed to outside unprotected or bearing directly on concrete shall be pressure treated with approved materials to resist decay and infestation by termities and moisture.

F_C min: 675 psi

F_{C |} min: 425 psi

- F_b min: 1,005 psi repetitive use 875 psi single member use
- E min: 1,400,000 psi

Highland Reserve - Lot 3 12340 Point Ridge Drive Fulton, MD 20759

4 BR septic - 1 basement; 3 upper level Protection Plans for Health Dept

sements and crawl spaces with

g shall be provided at all prevent entry of water into the structural framing components on of chimneys or other manufacturers with projecting lips on both copings. Under an other manufacturers with projecting lips on both copings and sills; continuously above all projecting wood trim at well and roof intersections; under built-in gutters; at junctions of chimneys and roots; and in all roof valleys and around all roof openings. All windows and doors shall be floated in accordance with the manufacturers written instructions.

Building Paper: When veneer of brick, clay tile, concrete, or natural or artificial stone are used, 15 pound felt or paper shall be attached to the sheathing with flashing whenever necessary to prevent moisture penetration behind the veneer. Approved water resistant sheathing may be substituted for building paper.

V. Other

- In locations required by local code, window opening limiting devices are to be installed by window manufacturer in compliance with code section R312.2.2.
- Residential Energy Efficiency compliance is per the Total UA Alternative Method pe the 2015 International Energy Conservation Code for climate zone 4A. Refer to REScheck Compliance Certificate and to "N" sheets (Energy Plans) for additional information.
- NOTE: Structural Design is for Grovity Loads ONLY. Structural Engineering for Lateral Load Design requirements specified per Building Code is NOT included in these documents and shall be provided by others.
- Whole house ventilation system to be installed (by others).

Symbols

0	Duplex Outlet	60	One Way Switch F Cont. Runn
-O _w	Duplex Outlet, Weather Proof on GFI circuit	ur	Three Way Switch
0	Duplex Outlet, Floor Mounted	69*	Four Way Switch
0	Duplex Outlet, Switch Operated	690	Switch w/ Rheostat
de la	Range Outlet	(0)	Smoke Detector
ho	Gos Outlet	LITU	Ohi

Television Outlet

Dedicated Circuit Outlet

Smoke/Carbon Manavide Det

Steel Angle (Lintel)

- All masonry shall be protected from freezing for not less than 48 hours after installation and shall not be constructed below 40 degrees F without precautions necessary to prevent freezing. No anti-freeze admixtures shall be added to the mortar. O Junction Box
- Provide horizontal joint reinforcement (Durowall) in all masonry walls @ 8" o.c.
 unless otherwise specified.

STRUCTURAL SPECIFICATIONS (continued)
 16. Manufactured Floor Trusses: Unless otherwise noted manufactured floor trusses shall be installed in accordance with manufacturers specifications and details.

17. All plywood roof, floor and wall sheathing shall be APA approved.

d cesthetic size and type by 156 DH denotes a 2'-8' wide Contractor shall verify that a installed comply with local code pact loads. set by local code, shall be manufacturer's label, designating

- Pull Switch Light Fan/Light List of Abbreviations Adjustable Adjustable Above Subfloor Bifloid Beam Bottom of Joist Broad Wall Line Ceiling Concrete Masonry Unit Cased Opening Column Coderne Contracte Continuous Cosement Double Design Double Hung Detail Dishwasher Floor Drain/French Door Fireplace Footing Ground Fault Circuit Inter Cypsum Drywell Window Head Height Header ADJ. A.S.F. BF BM B.O.J. B.W.L CCMU C.O. CONC. CONC. CONC. CONT. CS DH DTL DW FD F.P. FTG, GFDW HD.HGH HDR HHD.HGH HWH INSUL L.I.F. On Center Optional Op TR Trim TYP. Typical V.I.F. Verify In Field WD Wood W/O Wall Oven W.W.M. Welded Wire Mesh

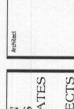
Area Calculations

	LOWER		BASEMENT
BASE HOUSE	1844 SF	1842 SF	102 SF
OPT, FINISHED BASEMENT	Control of		+1525 SF
OPT. 2' FRONT EXTENSION		+76 SF	+77 SF
OPT. 8' SIDE EXTENSION		+97 SF	+104 SF
OPT, 3-CAR SIDELOAD GARAGE	+140 SF		
OPT, HOME OFFICE/INLAW SUITE W/3-CAR		+372 SF	
SIDELOAD GARAGE			
ALT. ELEV. C	1+76 SF	+60 SF	+77 SF
BONUS ROOM OVER GARAGE	-	+547 SF	
OPT. 6'-0" FAMILY DINING EXTENSION	+77 SF	+77 SF	+77 SF
OPT. 4'-0" FAMILY ROOM EXTENSION	+92 SF	+92 SF	+92 SF
OPT. ATTIC			
OPT. BAY WINDOW	+16 SF		

List of Drawings 10 Prt'l Upper Floor Plan W/Alt. Elev "B" 29 Prt'l Left & Right Side Elevations 11 Prt'l Fndn/Bsmt Fir Pln W/Alt. Elev "C" | w/Opt. Alt. Elevation "C"

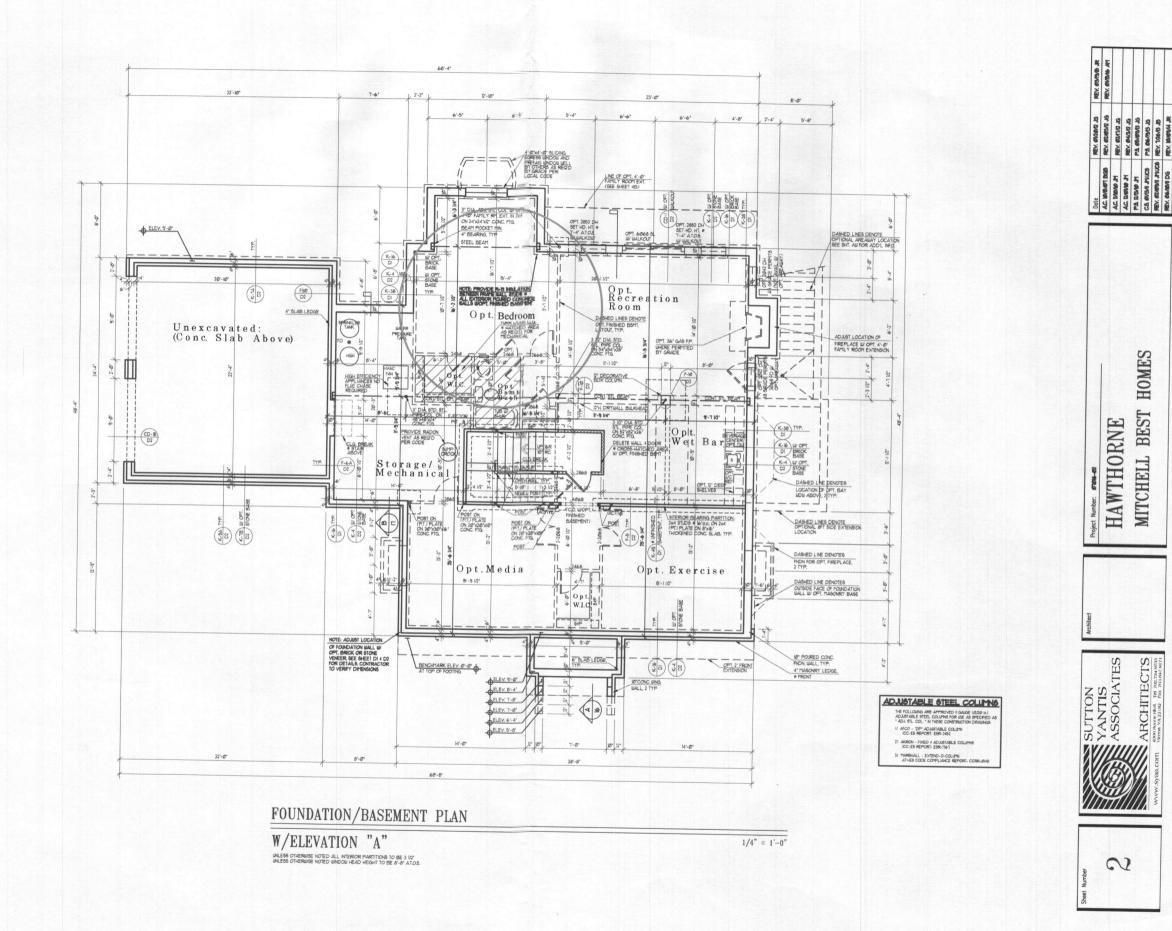
DI Troundation/ Framing Details	11ALPRU FINDING BSML FIR PIN W/Alt.Elev "C"	30 [Alternate Front Elevation "D"	W/Opt. Attic and Opt. Attic Floor
D2 Foundation / Framing Details	W/Opt. 8ft Extension	31 Prt'l Left & Right Side Elevations	Electrical Plan
AW Areaway Details	12 Prt'l Lower Floor Plan W/Alt. Elev "C"	w/Opt, Alt, Elevation "D"	E3B Prt'l Bsmnt, Lower & Upper Floor
TR1 Trim Details	12A Prt'l Lower Floor Plan W/Alt. Elev "C"	32 Lower Floor Framing Plan	Electrical Plans W/Opt. 6 Ft. Extension
TR1A Trim Details	W/Opt. 8ft Extension	33 Upper Floor Framing Plan	E4 Prt' Bsmnt, Lower & Upper Floor
TR2 Trim Details	13 Prt'l Upper Floor Plan W/Alt. Eley "C"	34 Roof Framing Plan	CY I PILL DSMINL LOWER & UDDER Floor
TR3 Trim Details	13A Prt'l Upper Floor Plan W/Alt. Eley "C"	34A Roof & Fir Frmng Pin W/Opt. Attic	Electrical Plans W/Opt. 8 Ft. Side
TR4 Trim Details	W/Opt. 8ft Extension	35 Prt'l Lower, Upper & Roof Framing	Extension
TR5 Trim Detoils	14 Prt'l Fndn/Bsmt & Lower Floor Plan		E5 Prt'l Bsmt. & Lower Floor Electrical
TR6 Trim Details	W/Alt. Fley. "D"	Plans W/Opt. BFt, Side Extension	Plans W/Opt. 3 Car Sideland Garage
TR7 Trim Details	15 Prt'l Upper Floor Plon W/Alt, Elev "D"	36 Prt'l Lower, & Roof Framing Plans	E6 Prt'l Bsmt. & Lower Floor Electrical
DK Deck Details	15 Prt Upper Floor Plon W/Alt. Elev D	w/Opt. 3 Car Sideload Garage	Plans W/Opt. 3 Car Sideload Garage
2 Fndn/Bsmt Plan W/Elev "A"	16 Building Section "A"	37 Prt'l Lower, Upper & Roof Framing	& Opt. Home Office/In-Law Suite
3 Lower Floor Plan W/Elev "A"	17 Building Section "B"	Plans w/Opt. 3 Car Sideland Garage	E6A Prt'l Lower & Upper Floor Electrical
4 Upper Floor Plan W/Elev "A"	18 Building Section "C" & "D"	& Opt. Home Office/In-Law Suite	W/Opt. Bonus Room Over Garage
	184 Truss Diagrams	37A Prt'l Upper Floor & Roof Framing Plan	E7 Pt'l Lower Floor Electrical Plans
4A Alt. Upper Floor w/Opt. Attic &	19 Front Elevation "A"	W/Opt. Bonus Room over Gorage	W/Opt. Rear Covered Porch
Opt. Attic	20 Rear Elevation	38 Prt'l Roof Framing Plan W/Opt. Rear	E8 Prt'l Bsmt, & Lower Floor Electrical
4B Prt1 Fnd/Bmt, Lower & Upper	21 Left Side Elevation	Covered Porch & Deck Framing Plan	Plans W/Alt. Elevation "B"
Fir Pin w/Opt. 6ft Extension &	22 Right Side Elevation	39 Prt'l Lower, & Upper Floor Framing	E9 Prt'l Upper Floor Electrical Plan
Opt. 4'-0" Family Room Extension	22A Prt'l Left & Right Side Elevations w/	Plans W/Alt. Elevation "B"	W/Alt. Elevation "B"
5 Prt'l Endn/Bsmt Plan, Lower &	w/Opt. 4'-0" Family Room Extension	40 Prt'l Roof Framing Plan	E10 Prt'l Bsmt Electrical
Upper Floor Plans W/Opt, 8ft Side	23 Prt'l Front & Right Side Elevations	W/Alt, Elevation "B"	Plan W/Alt. Elevation "C"
Extension	w/Opt. 8Ft Side Extension	41 Prt'l Lower Floor Framing	E11 Prt'l Lower Floor Electrical Plan
6 Prt'l Fndn/Bsmt & Lower Floor Plon	24 Prt'l Front, Regr & Left Side Elev.	W/Alt, Elevation "C"	Plans W/Alt. Elevation "C"
W/Opt. Attached 3 Car Garage	w/Opt. 3 Car Sideland Garage	42 Prt'l Upper Floor Framing	E12 Prt'l Upper Floor Electrical Plan
7 Prt'l Fndn/Bsmt & Lower Floor Plon	24A Prt'l , Rear & Left Side Elevations	W/Alt. Elevation "C"	Plans W/Alt. Elevation "C"
W/Opt. Attached 3 Car Garage and	w/Opt. 3 Car Sideload Garage &	43 Prt Roof Framing Plan	E13 Prt' Bsmt & Lower Floor Electrical
W/Opt. Home Office/In-Law Suite	w/Opt. Bonus Room	W/Alt. Elevation C	Plan W/Alt, Elevation "D"
7A Prt'l Fndn/Bsmt & Lower Floor Plan	25 Prt'l Regr & Right Side Elevations	44 Prt'l Lower & Upper Floor Framing	E14 Prt'l Upper Floor Electrical Plan
W/Opt. Attached 3 Car Garage and	w/Opt, Regr Covered Porch	W/Alt. Elevation "D"	Plan W/Alt. Elevation "D"
W/Opt. Bonus Room over Garage	26 Alternate Front Elevation "B"	45 Prt'l Roof Framing Plan W/Alt Elev"D"	N1 Energy Plans
8 Prt'l Fodo & Lower Floor Plan	27 Prt'l Left & Right Side Elevations	TJ Truss Joist Details	N2 Energy Plans
W/Opt. Reor Covered Porch	lw/Opt. Alt. Elevation "B"	E1 Bosement Electrical Plan	N3 Energy Section "A" & "B"
9 Prt'l Fndn/Bsmt & Lower Floor Plan	28 Alternate Front Elevation "C"	E2 Lower Floor Electrical Plan	NO Energy Section A & B
W/Alt. Elev. "B"	ACCUPATION LIEVOLON C	LE LOWER FROOF Electrical Plan	

HAWTHORNE MITCHELL









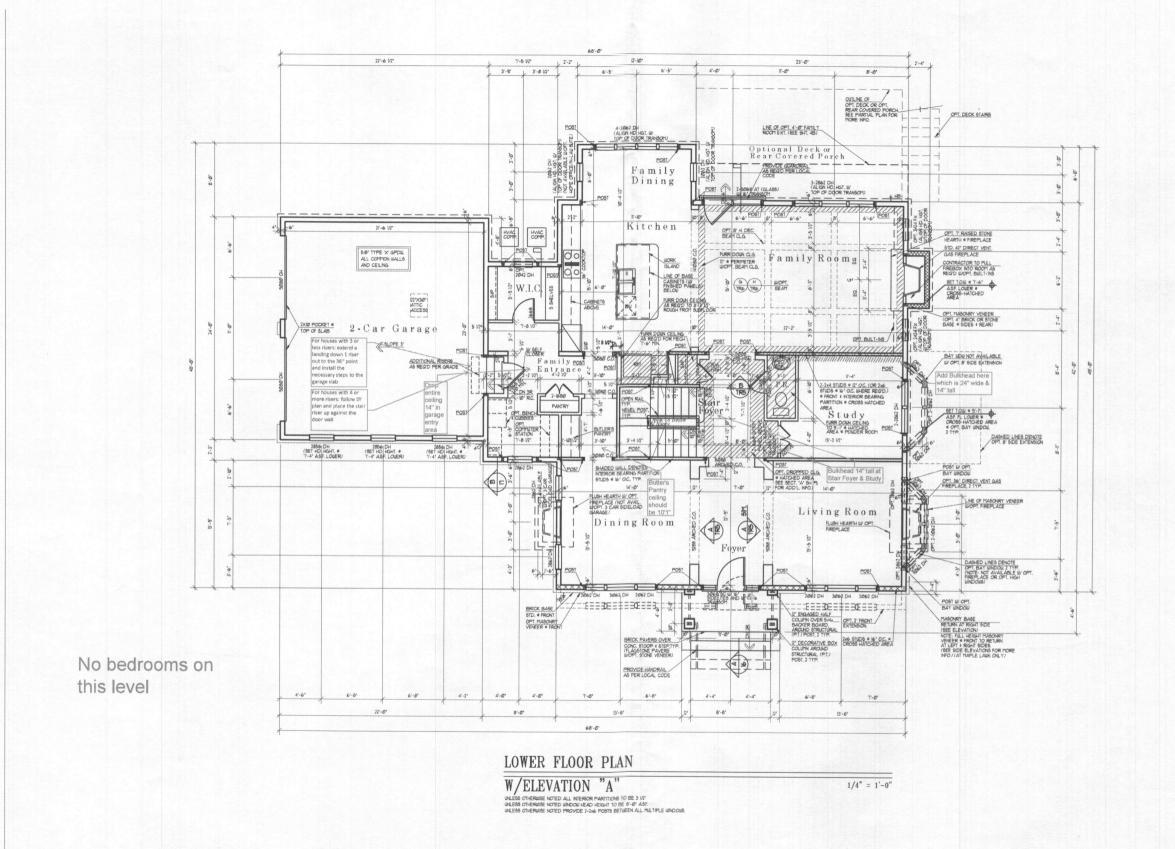
HOMES

MITCHELL BEST

ARCHITECTS
8500 HGDE HALL THE TORE TSHERTER
VECTOR VA 22 182 FOR TOLEHSTERITE

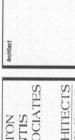
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HAWTHORNE



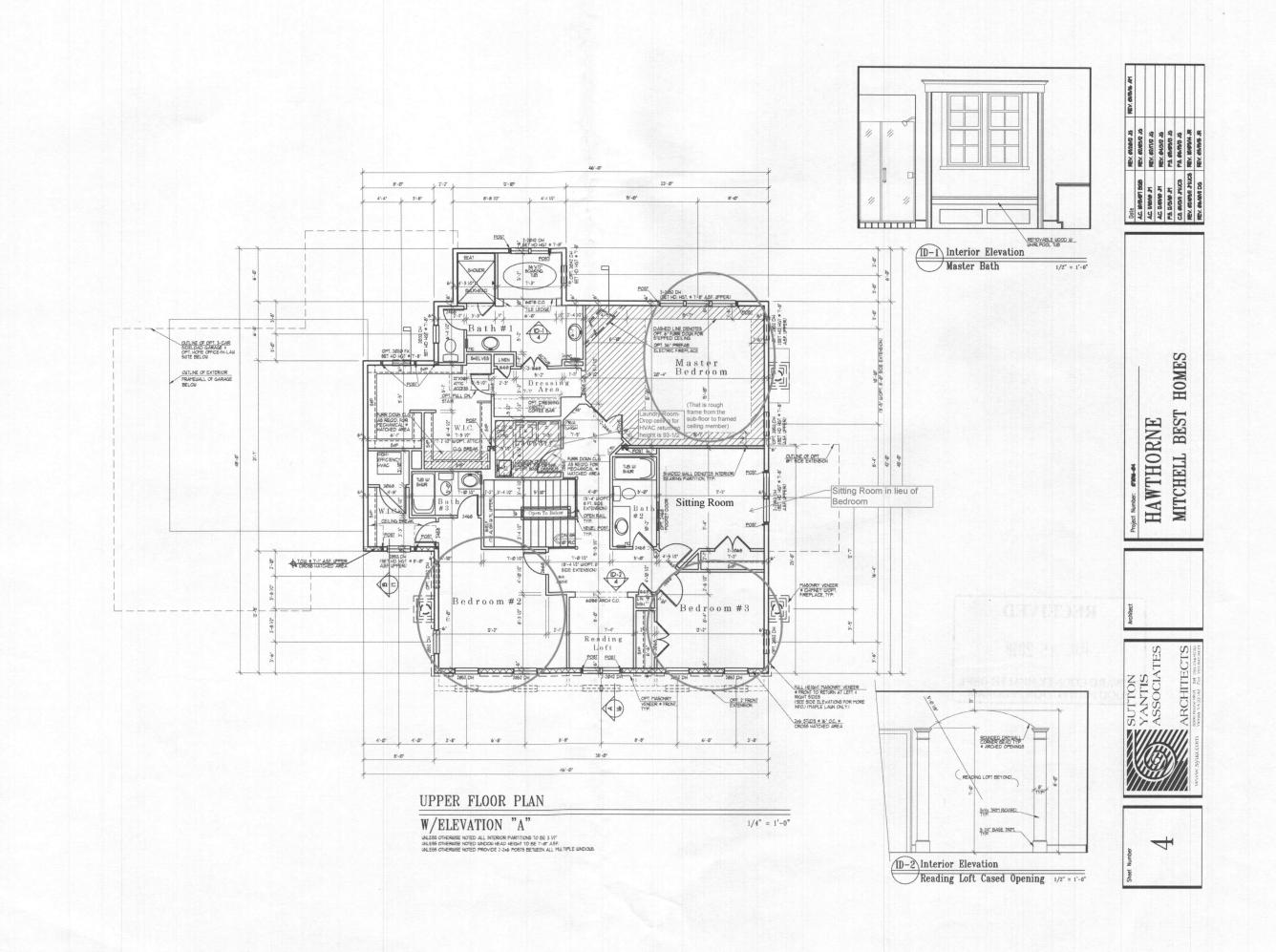


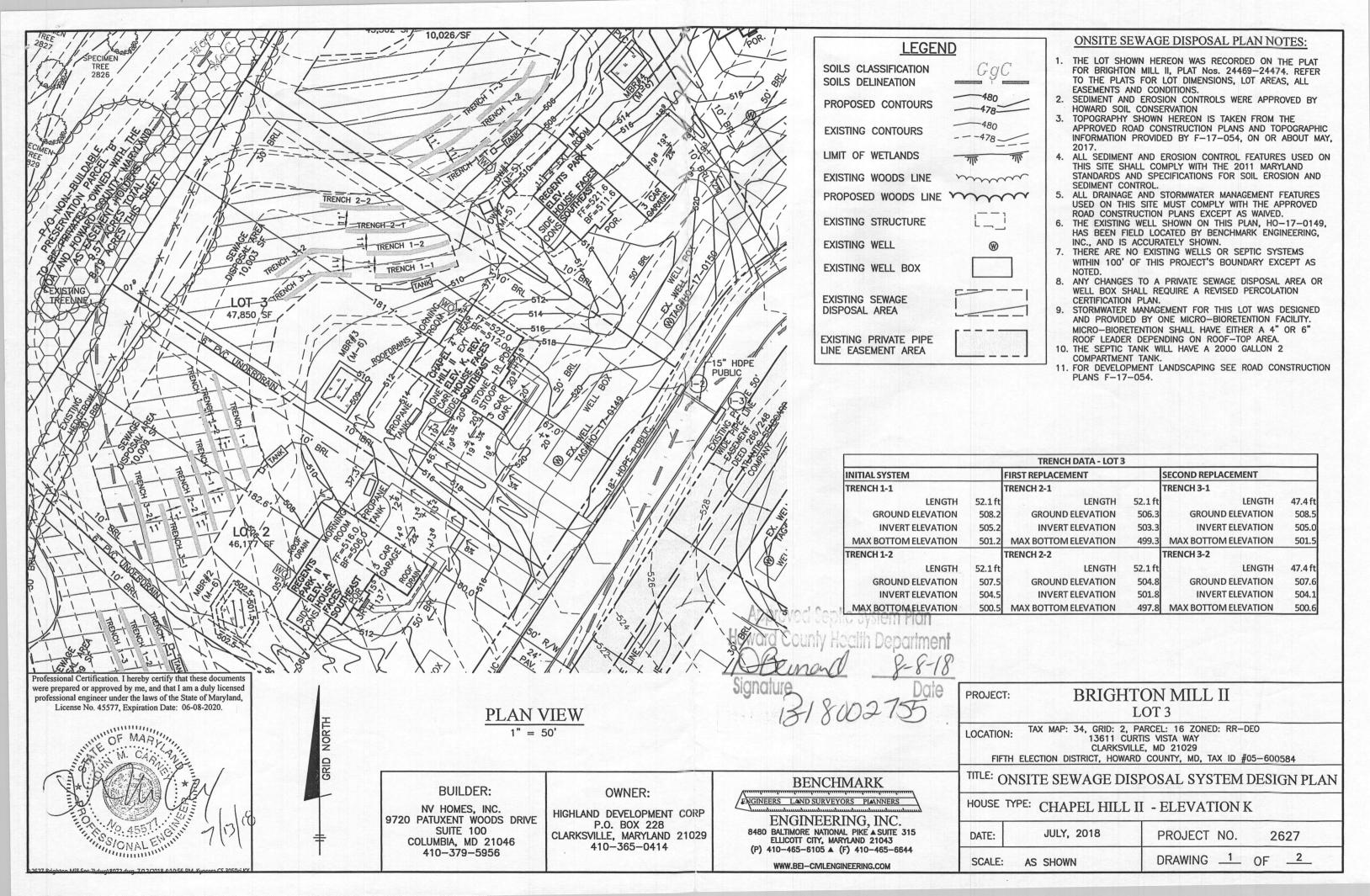
HAWTHORNE MITCHELL BEST HOMES

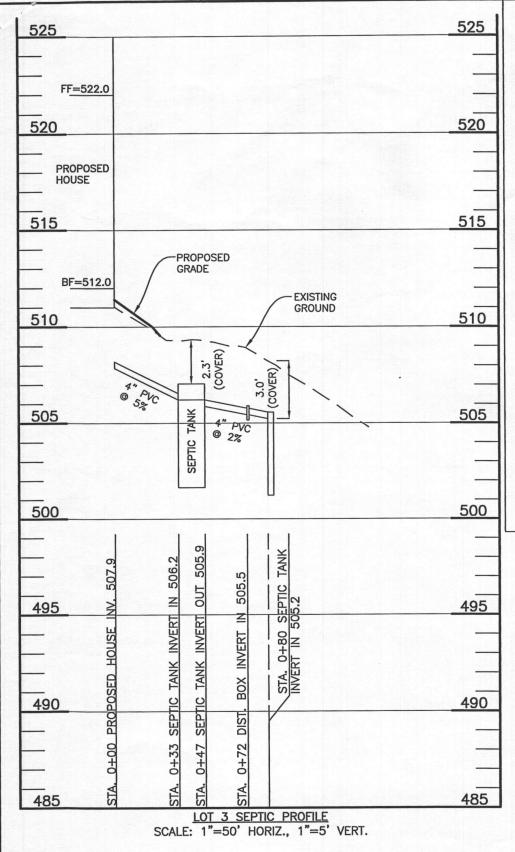




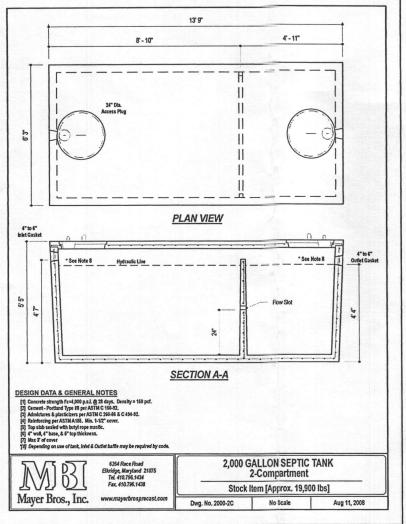








HEALTH DEPARTMENT SPEC SHEET INFORMATION - LOT 3					
System	Application Rate	Effective Depth	Bottom Depth		
Initial	1.2	4.0	7.0		
1st Replacement	1.2	4.0	7.0		
2nd Replacement	1.2	3.5	7.0		



INITIAL SYSTEM - LOT 3			2nd REPLACEMENT SYSTEM		
Number of Bedrooms	5		Number of Bedrooms	5	
Application Rate	1.2	gpd/sf	Application Rate	1.2	gpd/sf
Effective Area Beginning Depth	4.0	ft	Effective Area Beginning Depth	3.5	ft
Bottom Max Depth	7.0	ft	Bottom Max Depth	7.0	ft
Design Flow	750	gpd	Design Flow	750	gpd
Drainage Field square footage	625	sf	Drainage Field square footage	625	sf
Sidewall Reduction Credit	0.50		Sidewall Reduction Credit	0.45	
Trench width	3	ft	Trench width	3	ft
Effective Area Depth	3	ft	· Effective Area Depth	3.5	ft
Trench Spacing	10	ft	Trench Spacing	10	ft
Linear Length of trench Required	104	lf	Linear Length of trench Required	95	lf

1st REPLACEMENT SYSTEM				
Number of Bedrooms	5			
Application Rate	1.2	gpd/sf		
Effective Area Beginning Depth	4.0	ft		
Bottom Max Depth	7.0	ft		
Design Flow	750	gpd		
Drainage Field square footage	625	sf		
Sidewall Reduction Credit	0.50			
Trench width	3	ft		
Effective Area Depth	3	ft		
Trench Spacing	10	ft		
Linear Length of trench Required	104	lf		

THIS PLAN IS FOR SEPTIC DESIGN ONLY

Professional Certification. I hereby certify that these document were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 45577, Expiration Date: 06-08-2020.



SPECIFICATIONS FOR DETAILS.

BENCHMARK

ENGINEERS LAND SURVEYORS PLANNERS

ENGINEERING, INC. 8480 BALTIMORE NATIONAL PIKE & SUITE 315 ELLICOTT CITY, MARYLAND 21043 (P) 410-465-6105 A (F) 410-465-6644

WWW.BEI-CIVILENGINEERING.COM

PROJECT:

THE ENGINEER:

SUBSTITUTED.

SEE MANUFACTURES

WWW.MAYERPRECAST.COM EQUIVALENT FROM OTHER MANUFACTURERS CAN BE

SIGNATURE AND SEAL ARE

FOR SEPTIC PROFILE AND

CALCULATIONS ONLY, TANK

DESIGNED OR REVIEWED BY

AND DETAILS WERE NOT

BRIGHTON MILL II LOT 3

BUILDER:

SEPTIC INVERT CHART - LOT 3

INV @ HOUSE

INV IN TANK

INV OUT TANK

TOP OF TANK

INV IN DIST BOX

INV OUT DIST BOX

GROUND AT DIST BOX

GROUND @ HOUSE

GROUND OVER TANK

507.9

511.5

506.2

505.9

507.1

509.4

505.5

505.4

508.8

NV HOMES, INC. 9720 PATUXENT WOODS DR. SUITE 100 COLUMBIA, MD 21046 410-379-5956

OWNER:

HIGHLAND DEVELOPMENT CORP P.O. BOX 228 CLARKSVILLE, MARYLAND 21029 410-365-0414

LOCATION:

TAX MAP: 34, GRID: 2, PARCEL: 16 ZONED: RR-DEO 13611 CURTIS VISTA WAY CLARKSVILLE, MD 21029

FIFTH ELECTION DISTRICT, HOWARD COUNTY, MD, TAX ID #05-600584

TITLE: ONSITE SEWAGE DISPOSAL SYSTEM DESIGN PLAN

HOUSE TYPE: CHAPEL HILL II - ELEVATION K

JULY, 2018 PROJECT NO. 2627 DATE: DRAWING _2 OF SCALE: AS SHOWN

