



Howard County  
Health Department

**Bureau of Environmental Health**

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

[www.hchealth.org](http://www.hchealth.org)

Facebook: [www.facebook.com/hocohealth](http://www.facebook.com/hocohealth)

Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: 10/2/18 **ONSITE SEWAGE DISPOSAL SYSTEM**

P 564016-C

APPROVAL DATE: 10-17-18 **PERMIT: CONSTRUCTION**

A

PROPERTY ADDRESS: 13611 Curtis Vista Way

SUBDIVISION: Brighton Mill II

LOT: 3

TAX ID:

05-600584

CONTRACTOR: South Carroll Backhoe

EMAIL: scbackhoe@comcast.com

CONTRACTOR ADDRESS: 4410 Salem Bottom Rd, Westminster, MD 21157 PHONE: 410-596-3618

PROPERTY OWNER: Highland Development Corporation

EMAIL:

OWNER ADDRESS: P.O. Box 228, Clarksville, MD 21029

PHONE:

SEPTIC TANK SIZE (GALLONS): 2000

TANK MANUFACTURER:

Mayer Bros

PUMP MODEL:

PUMP SIZE

PUMP TANK CAPACITY:

DISTRIBUTION SYSTEM:



GRAVITY



PRESSURE DOSED

BEDROOMS: 5

APPLICATION RATE: 1.2

TRENCHES:

LINEAR FEET REQUIRED: 104

INLET DEPTH: 4' 3"

TRENCH WIDTH: 3

MAXIMUM BOTTOM DEPTH: 7

MINIMUM SPACE

BETWEEN TRENCHES: 10

EFFECTIVE AREA BEGINNING DEPTH: 4

LOCATION:

PER APPROVED SITE PLAN. SEWAGE DISPOSAL AREA AND TANK LOCATIONS MUST BE STAKED BY LICENSED SURVEYOR PRIOR TO PRE-CONSTRUCTION INSPECTION.

NOTES:

Install 2 x 52' trenches.

ISSUED BY: Dana Bernard

ISSUE DATE: 10/2/18

EXPIRATION DATE: 10/2/19

**NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION**

**NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING**

**NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.**

**NOTE: WATERTIGHT TANKS REQUIRED**

**NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRADIENT FROM ANY WATER WELL**

**NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS**

**NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM**

☐ ELECTRICAL PERMIT ISSUED

E

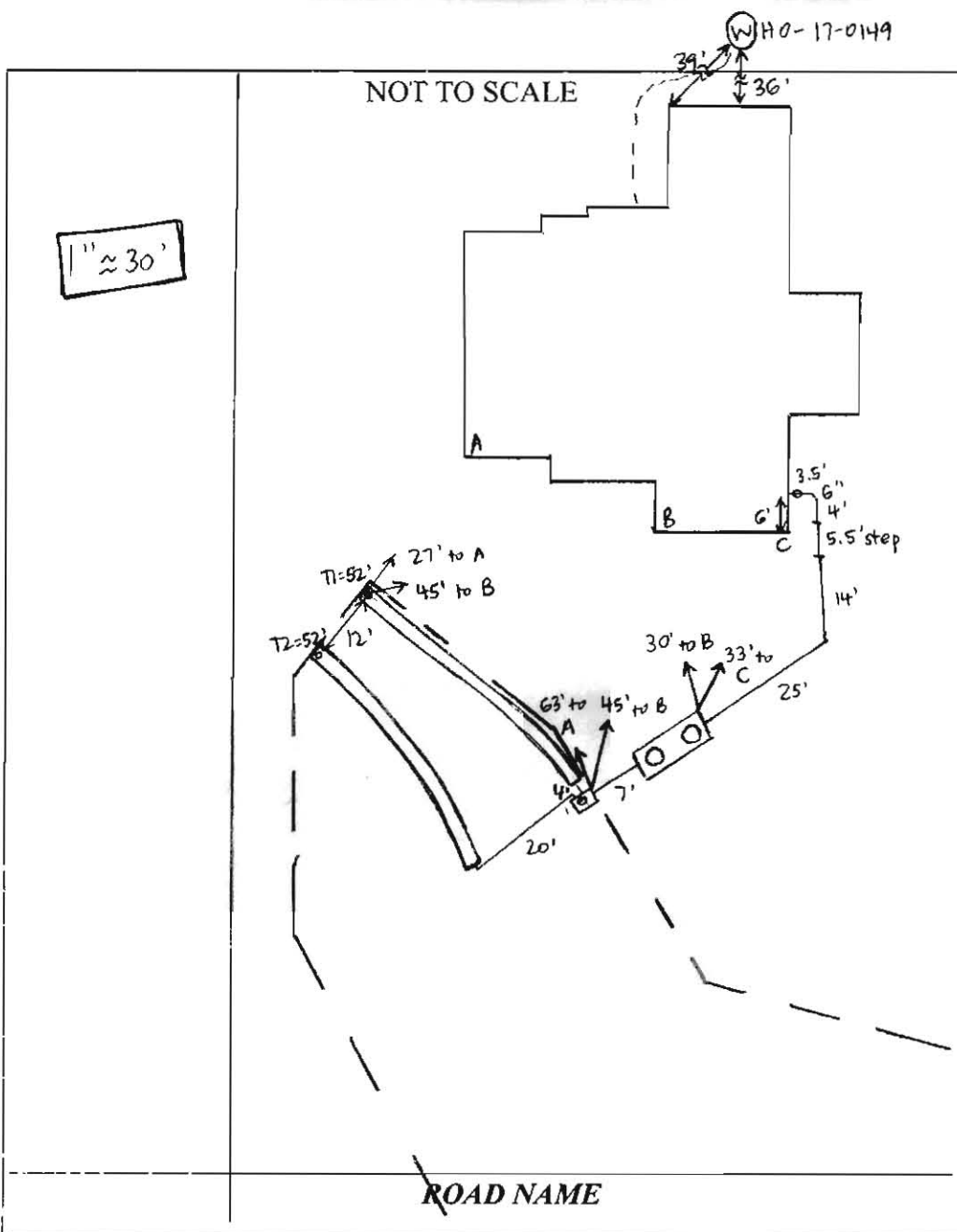
**NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA**

**NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.**

**PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.**

**CALL 410-313-1771 TO SCHEDULE INSPECTIONS.**





| TRENCH/DRAINFIELD DATA  |       |                 |
|-------------------------|-------|-----------------|
| WIDTH                   | INLET | BOTTOM          |
| 3'                      | 3'    | 7'              |
| NUMBER OF TRENCHES      |       | 2               |
| TOTAL LENGTH            |       | 104'            |
| ABSORPTION AREA         |       | 312' + SIDEWALL |
| DISTRIBUTION BOX LEVEL  |       | YES             |
| DISTRIBUTION BOX BAFFLE |       | YES             |
| DISTRIBUTION BOX PORT   |       | YES             |

| SEPTIC TANK DATA    |              |
|---------------------|--------------|
| SEPTIC TANK I LEVEL | YES          |
| MANUFACTURER        | BABYLON      |
| CAPACITY            | 2000 GAL     |
| SEAM LOC            | TDP          |
| TANK LID DEPTH      | 2-2.5'       |
| BAFFLES             | YES          |
| BAFFLE FILTER       | NO           |
| MANHOLE LOC         | FRONT + REAR |
| 6" PORT LOC         | NONE         |
| WATERTIGHT TEST     | NO           |
| SLOTTED             | YES          |
| DATE ON LID         | 9-3-13       |

|                                   |                      |
|-----------------------------------|----------------------|
| <del>PUMP/SEPTIC TANK LEVEL</del> | <del>_____</del>     |
| <del>MANUFACTURER</del>           | <del>_____</del>     |
| <del>CAPACITY</del>               | <del>_____ GAL</del> |
| <del>SEAM LOC</del>               | <del>_____</del>     |
| <del>TANK LID DEPTH</del>         | <del>_____</del>     |
| <del>BAFFLES</del>                | <del>_____</del>     |
| <del>BAFFLE FILTER</del>          | <del>_____</del>     |
| <del>MANHOLE LOC</del>            | <del>_____</del>     |
| <del>6" PORT LOC</del>            | <del>_____</del>     |
| <del>WATERTIGHT TEST</del>        | <del>_____</del>     |
| <del>SLOTTED</del>                | <del>_____</del>     |
| <del>DATE ON LID</del>            | <del>_____</del>     |

#### PRE-CONSTRUCTION:

10/11/18 Met S. Carroll on site for layout. SDA corners + tank staked. Shot contour + laid out 2x52' trenches. Pipe comes out of house in opposite corner than shown on plan. OK to move the tank closer to the center of the SDA. Superintendent OK with change. (SC)

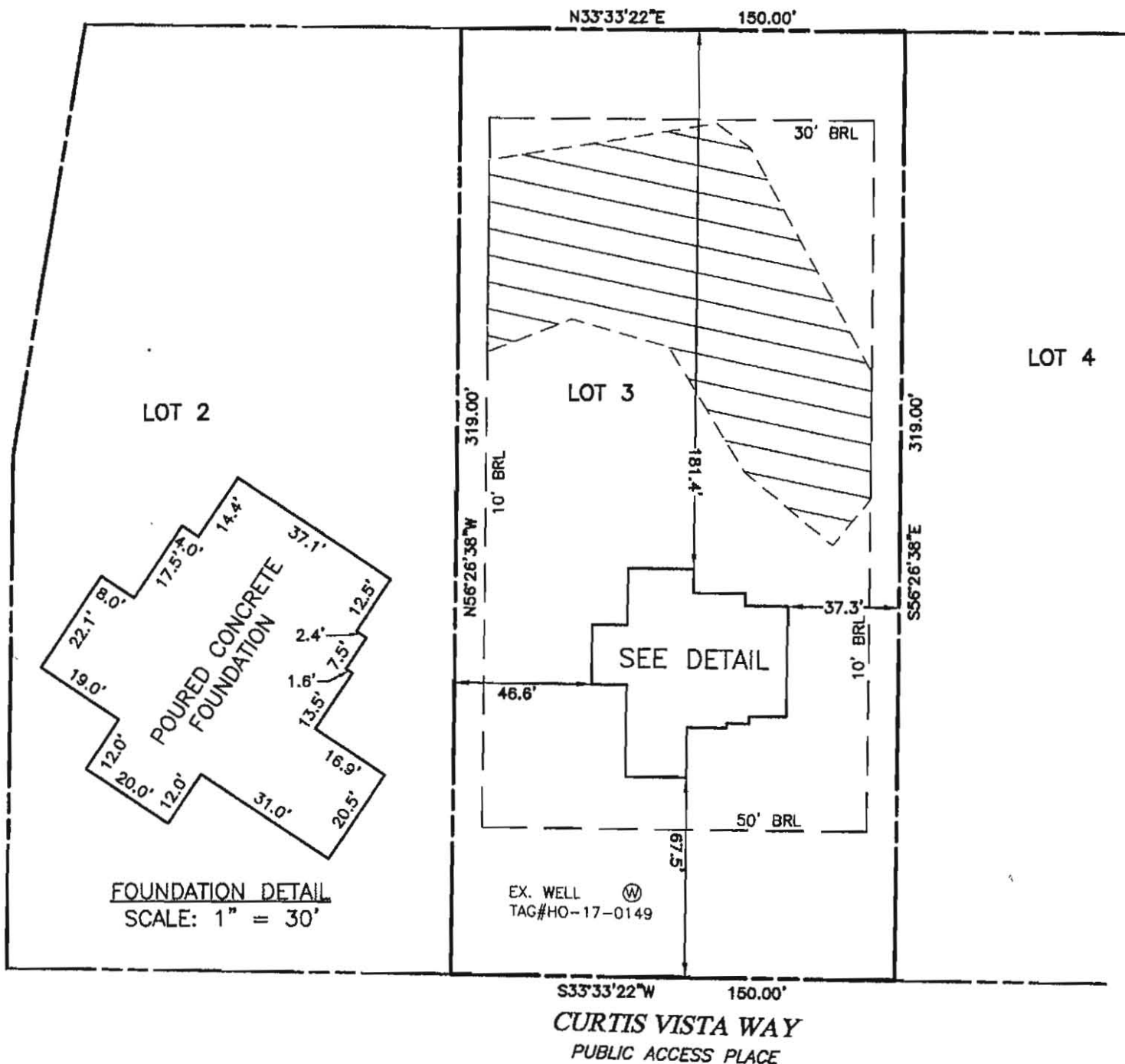
INSTALLATION: 10/16/18 House connection made. Tank + D-box set and all pipe laid between. (SC)  
 10/17/18 Trenches complete. T2 left open for inspection and T1 left open at ends. 3' wide, 2.5-3' to stone. Levelled speed levelers in D-box. S. Carroll found 4-7" fill on SDA around trenches. Moved T2 start downhill slightly to be on contour. (SC)

FINAL INSPECTOR Sarah Collins DATE OF APPROVAL 10/17/18



P/O FOREST CONSERVATION EASEMENT #1  
 CREDITED RETENTION AREA: 1.80 AC.  
 NON-CREDITED RETENTION AREA: 0.52 AC.  
 REFORESTATION AREA: 3.40 AC.  
 TOTAL AREA: 6.08 AC.  
 AREA THIS SHEET: 5.52 AC.

P/O NON-BUILDABLE  
 PRESERVATION PARCEL 'B'  
 TO BE PRIVATELY OWNED WITH THE  
 HOMEOWNERS ASSOCIATION AND  
 HOWARD COUNTY, MARYLAND, AS  
 EASEMENT HOLDERS  
 (8.94 ACRES TOTAL)  
 (8.41 ACRES THIS SHEET)



# **SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT THESE DOCUMENTS, WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21320, EXPIRATION DATE 1-7-2019 AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF, THAT THE DIMENSIONS OF THE BUILDING WALLS SHOWN HEREON ARE CORRECT; THAT THEY ARE BASED ON A FIELD RUN SURVEY PERFORMED BY BENCHMARK ENGINEERING, INC. ON 09/11/2018.

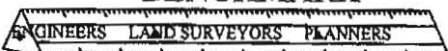
TOP OF FOUNDATION WALL = 520.9'  
 OFFSET DIMENSIONS TO PROPERTY LINES ARE ± 0.1'

10.2.18 - wall check okay  
 - H.O.

DONALD A. MASON  
 PROFESSIONAL LAND SURVEYOR  
 MARYLAND REG. No. 21320

FEMA FIRM No. 24027C0130D  
 ZONE: X  
 DATED: 11/6/2013

## **BENCHMARK**



ENGINEERING, INC.

8480 BALTIMORE NATIONAL PIKE SUITE 315  
 ELLICOTT CITY, MARYLAND 21043  
 (P) 410-465-6105 A (F) 410-465-6644

WWW.BEI-CVLENGINEERING.COM

## **WALL CHECK**

BRIGHTON MILL II  
 LOTS 1 THROUGH 12  
 PLAT No. 24470  
 LOT No. 3

13611 CURTIS VISTA WAY

5TH ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

FIELD OBS. BY OH  
 COMP. BY EWF  
 DRAWN BY EWF SCALE: 1" = 50' DATE: 09/11/2018



## Bernard, Dana

---

**From:** Bernard, Dana  
**Sent:** Monday, July 23, 2018 5:28 PM  
**To:** John Carney  
**Subject:** 12340 Point Ridge Drive

Good Evening John,

Lot #3 in the Regan Subdivision, 12340 Point Ridge Drive was submitted with calculations on the OSDS plan for a 4 bedroom house. And floor plans submitted were for a five bedroom house. One of two items must occur.

1. Increase the number of bedrooms in the calculations on your OSDS plan or
2. Decrease the number of bedrooms in the house.

If you have any questions don't hesitate to give me a call.

Thank you & Have a\*")

..\*")..\*")

(..\* Wonderful Day !

*Dana Bernard*

Dana Bernard, R.E.H.S/L.E.H.S.

Environmental Specialist II

Bureau of Environmental Health

Well and Septic Program

Phone (410) 313-2775

E-mail: [DBernard@howardcountymd.gov](mailto:DBernard@howardcountymd.gov)





## Bureau of Environmental Health

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www.hchealth.org

Facebook: www.facebook.com/hocohealth

Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

### SEWAGE DISPOSAL SYSTEM SPECIFICATIONS WORKSHEET

Address: Curtis Vista Way

Subdivision: Brighton Mill II Phase 2

Lot: 123

Initial system: Application rate: 1.2 Effective area beginning depth: 4 Bottom maximum depth: 7

1<sup>st</sup> Replacement: Application rate: 1.2 Effective area beginning depth: 4 Bottom maximum depth: 7

2<sup>nd</sup> Replacement: Application rate: 1.2 Effective area beginning depth: 3.5 Bottom maximum depth: 7

Design Flow = 150 gallons per day per bedroom

Design flow ÷ application rate = square footage of drainfield required

Linear length of trench required = drainfield square footage x sidewall reduction percentage ÷ trench width

Sidewall reduction credit formula:

$$\frac{W + 2}{W + 1 + 2D} \times 100 = \text{Percent of length of standard trench where } W = \text{trench width and } D = \text{depth between effective area beginning depth and trench bottom.}$$

Standard design requirements:

- All trenches must be equal length unless low pressure dosed
- All trenches must be on contour
- Minimum trench spacing: 10' for all trenches utilizing sidewall reduction credit. Additional spacing may be necessary for any trench using over 3.5' of effective sidewall. In those cases, the spacing formula is  $2D + W$  up to a maximum spacing of 18'.
- Minimum trench spacing for trenches with no sidewall credit (bottom area only) is 6' for a 2' wide trench and 9' for a 3' wide trench (spacing is measured edge to edge)
- Maximum trench length is 100'
- Maximum pipe depth is 4'

Additional requirements:

MB  
DATA UNIT

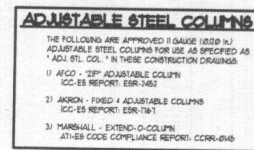
Approved: RBucher

Date: 4/23/15









UNLESS OTHERWISE NOTED ALL INTERIOR PARTITIONS TO BE 3 1/2"  
UNLESS OTHERWISE NOTED WINDOW HEAD HEIGHT TO BE 8'-0" A.T.O.S.

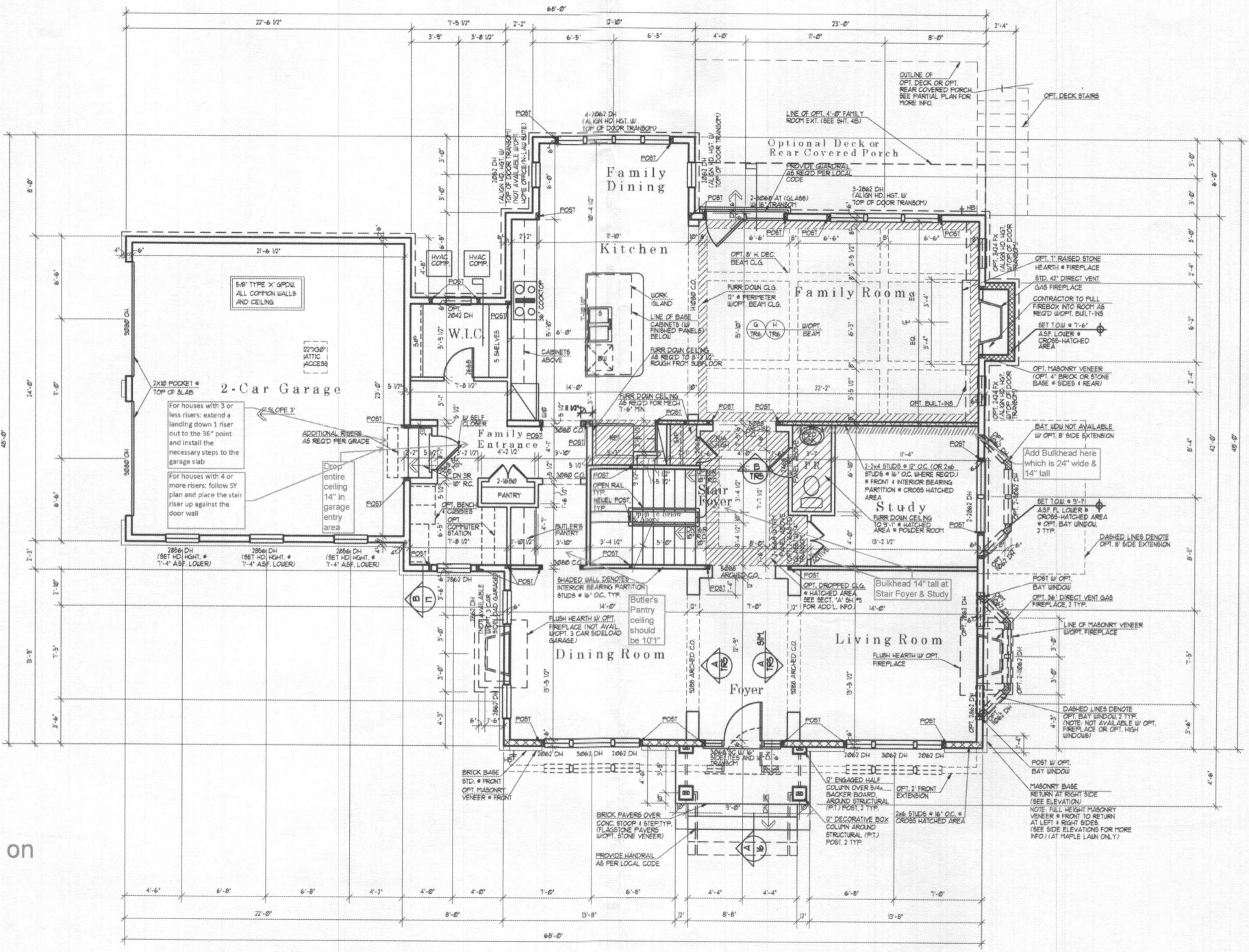
$$1/4^n = 1 - 0^n$$

Sheet Number

2



No bedrooms on this level



LOWER FLOOR PLAN

W/ELEVATION "A"

1/4" = 1'-0"

UNLESS OTHERWISE NOTED ALL INTERIOR PARTITIONS TO BE 3/2"  
UNLESS OTHERWISE NOTED WINDOW HEAD HEIGHT TO BE 8'-0" ASB  
UNLESS OTHERWISE NOTED PROVIDE 2x4 POSTS BETWEEN ALL MULTIPLE WINDOWS

| Date          | REV. 01/01/10 | REV. 02/01/10 | REV. 03/01/10 | REV. 04/01/10 | REV. 05/01/10 |
|---------------|---------------|---------------|---------------|---------------|---------------|
| AC 10/01/10   | REV. 01/01/10 | REV. 02/01/10 | REV. 03/01/10 | REV. 04/01/10 | REV. 05/01/10 |
| AC 10/01/10   | REV. 01/01/10 | REV. 02/01/10 | REV. 03/01/10 | REV. 04/01/10 | REV. 05/01/10 |
| AC 10/01/10   | REV. 01/01/10 | REV. 02/01/10 | REV. 03/01/10 | REV. 04/01/10 | REV. 05/01/10 |
| PA 10/01/10   | REV. 01/01/10 | REV. 02/01/10 | REV. 03/01/10 | REV. 04/01/10 | REV. 05/01/10 |
| CA 10/01/10   | REV. 01/01/10 | REV. 02/01/10 | REV. 03/01/10 | REV. 04/01/10 | REV. 05/01/10 |
| REV. 01/01/10 | REV. 01/01/10 | REV. 02/01/10 | REV. 03/01/10 | REV. 04/01/10 | REV. 05/01/10 |
| REV. 01/01/10 | REV. 01/01/10 | REV. 02/01/10 | REV. 03/01/10 | REV. 04/01/10 | REV. 05/01/10 |

Project Number: 0700-03

**HAWTHORNE**

**MITCHELL BEST HOMES**

Architect

SUTTON  
YANTIS  
ASSOCIATES  
ARCHITECTS

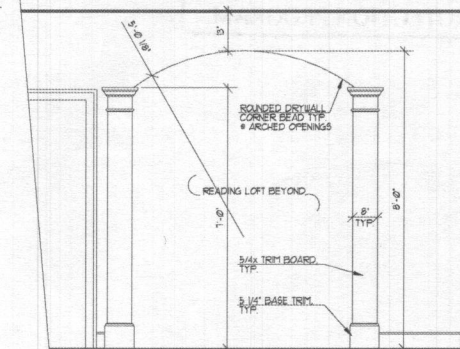
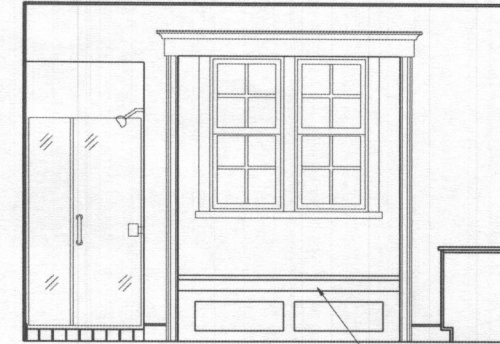
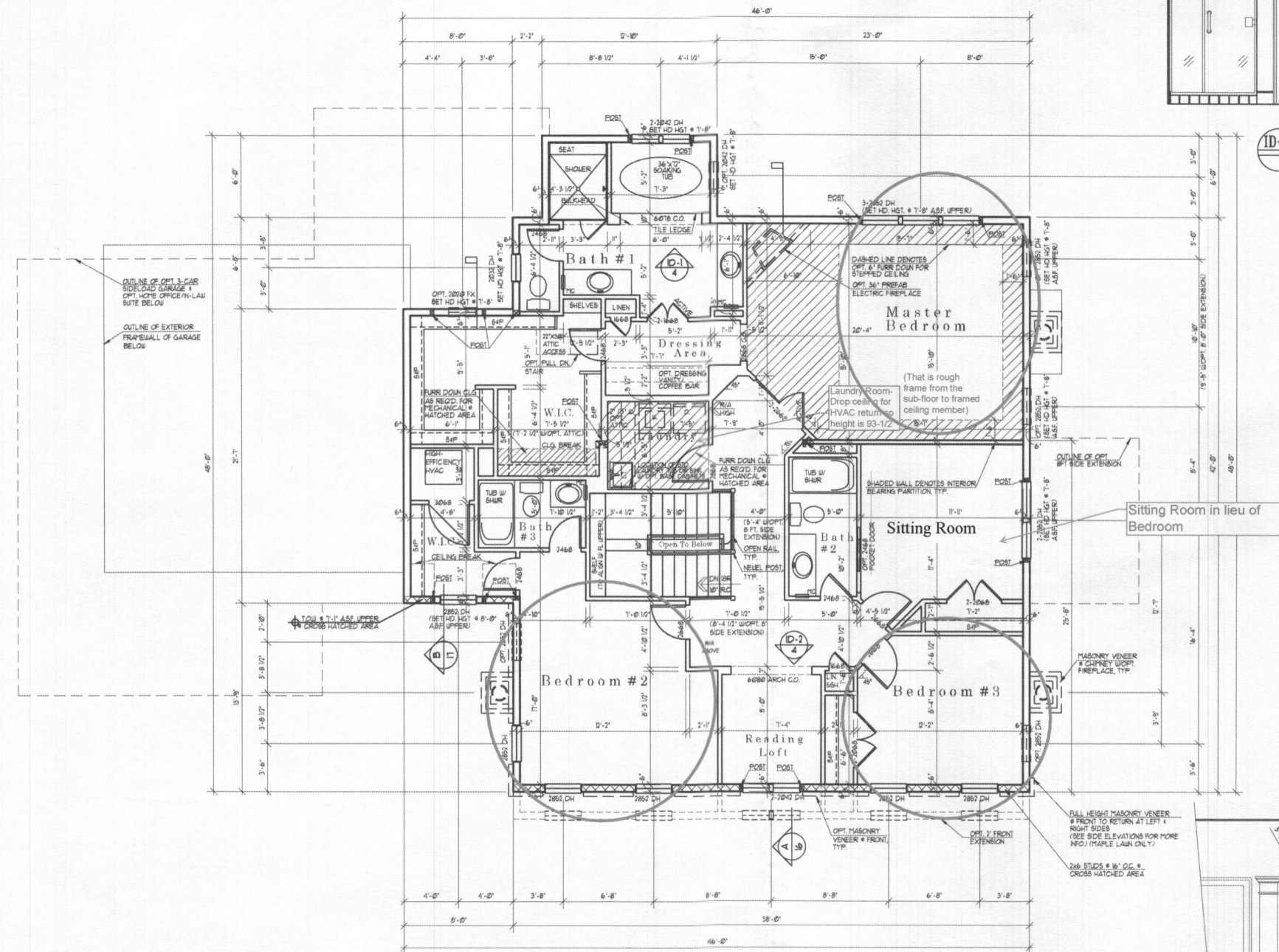
www.syaia.com

1000 N. 10TH ST., SUITE 200  
DURHAM, NC 27601  
919.286.1111

Sheet Number

3






| Date              | REV. 06/09/16 J5 | REV. 06/09/16 J1 |
|-------------------|------------------|------------------|
| A.C. 06/09/16 D08 | REV. 06/09/16 J5 |                  |
| A.C. 06/09/16 J1  | REV. 06/09/16 J5 |                  |
| A.C. 06/09/16 J1  | REV. 06/09/16 J5 |                  |
| P.A. 06/09/16 J1  | P.A. 06/09/16 J5 |                  |
| C.A. 06/09/16 J03 | P.A. 06/09/16 J5 |                  |
| REV. 06/09/16 J03 | REV. 06/09/16 J2 |                  |
| REV. 06/09/16 D6  | REV. 06/09/16 J2 |                  |

Project Number: **07506-04**

Architect



**SUTTON  
YANTIS  
ASSOCIATES  
ARCHITECTS**

8000 Housley Ave., Tel. 703.754.6236  
VINTAGE, VA 22182 Fax 703.754.0071

[WWW.SYNA.COM](http://WWW.SYNA.COM)

Sheet Number

4





### LEGEND

SOILS CLASSIFICATION

SOILS DELINEATION

PROPOSED CONTOURS

EXISTING CONTOURS

LIMIT OF WETLANDS

EXISTING WOODS LINE

PROPOSED WOODS LINE

EXISTING STRUCTURE

EXISTING WELL

EXISTING WELL BOX

EXISTING SEWAGE  
DISPOSAL AREA

EXISTING PRIVATE PIPE  
LINE EASEMENT AREA

### ONSITE SEWAGE DISPOSAL PLAN NOTES:

1. THE LOT SHOWN HEREON WAS RECORDED ON THE PLAT FOR BRIGHTON MILL II, PLAT Nos. 24469-24474. REFER TO THE PLATS FOR LOT DIMENSIONS, LOT AREAS, ALL EASEMENTS AND CONDITIONS.
2. SEDIMENT AND EROSION CONTROLS WERE APPROVED BY HOWARD SOIL CONSERVATION
3. TOPOGRAPHY SHOWN HEREON IS TAKEN FROM THE APPROVED ROAD CONSTRUCTION PLANS AND TOPOGRAPHIC INFORMATION PROVIDED BY F-17-054, ON OR ABOUT MAY, 2017.
4. ALL SEDIMENT AND EROSION CONTROL FEATURES USED ON THIS SITE SHALL COMPLY WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
5. ALL DRAINAGE AND STORMWATER MANAGEMENT FEATURES USED ON THIS SITE MUST COMPLY WITH THE APPROVED ROAD CONSTRUCTION PLANS EXCEPT AS WAIVED.
6. THE EXISTING WELL SHOWN ON THIS PLAN, HO-17-0149, HAS BEEN FIELD LOCATED BY BENCHMARK ENGINEERING, INC., AND IS ACCURATELY SHOWN.
7. THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THIS PROJECT'S BOUNDARY EXCEPT AS NOTED.
8. ANY CHANGES TO A PRIVATE SEWAGE DISPOSAL AREA OR WELL BOX SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
9. STORMWATER MANAGEMENT FOR THIS LOT WAS DESIGNED AND PROVIDED BY ONE MICRO-BIORETENTION FACILITY. MICRO-BIORETENTION SHALL HAVE EITHER A 4" OR 6" ROOF LEADER DEPENDING ON ROOF-TOP AREA.
10. THE SEPTIC TANK WILL HAVE A 2000 GALLON 2 COMPARTMENT TANK.
11. FOR DEVELOPMENT LANDSCAPING SEE ROAD CONSTRUCTION PLANS F-17-054.

| TRENCH DATA - LOT 3  |         |                      |         |                      |         |
|----------------------|---------|----------------------|---------|----------------------|---------|
| INITIAL SYSTEM       |         | FIRST REPLACEMENT    |         | SECOND REPLACEMENT   |         |
| TRENCH 1-1           |         | TRENCH 2-1           |         | TRENCH 3-1           |         |
| LENGTH               | 52.1 ft | LENGTH               | 52.1 ft | LENGTH               | 47.4 ft |
| GROUND ELEVATION     | 508.2   | GROUND ELEVATION     | 506.3   | GROUND ELEVATION     | 508.5   |
| INVERT ELEVATION     | 505.2   | INVERT ELEVATION     | 503.3   | INVERT ELEVATION     | 505.0   |
| MAX BOTTOM ELEVATION | 501.2   | MAX BOTTOM ELEVATION | 499.3   | MAX BOTTOM ELEVATION | 501.5   |
| TRENCH 1-2           |         | TRENCH 2-2           |         | TRENCH 3-2           |         |
| LENGTH               | 52.1 ft | LENGTH               | 52.1 ft | LENGTH               | 47.4 ft |
| GROUND ELEVATION     | 507.5   | GROUND ELEVATION     | 504.8   | GROUND ELEVATION     | 507.6   |
| INVERT ELEVATION     | 504.5   | INVERT ELEVATION     | 501.8   | INVERT ELEVATION     | 504.1   |
| MAX BOTTOM ELEVATION | 500.5   | MAX BOTTOM ELEVATION | 497.8   | MAX BOTTOM ELEVATION | 500.6   |

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 45577, Expiration Date: 06-08-2020.

### PLAN VIEW

1" = 50'

#### BUILDER:

NV HOMES, INC.  
9720 PATUXENT WOODS DRIVE  
SUITE 100  
COLUMBIA, MD 21046  
410-379-5956

#### OWNER:

HIGHLAND DEVELOPMENT CORP  
P.O. BOX 228  
CLARKSVILLE, MARYLAND 21029  
410-365-0414

#### BENCHMARK

ENGINEERS LAND SURVEYORS PLANNERS

#### ENGINEERING, INC.

8480 BALTIMORE NATIONAL PIKE SUITE 315  
ELLICOTT CITY, MARYLAND 21043  
(P) 410-465-6105 (F) 410-465-6644

WWW.BEI-CVILENGINEERING.COM

PROJECT:

BRIGHTON MILL II  
LOT 3

LOCATION: TAX MAP: 34, GRID: 2, PARCEL: 16 ZONED: RR-DEO  
13611 CURTIS VISTA WAY  
CLARKSVILLE, MD 21029

FIFTH ELECTION DISTRICT, HOWARD COUNTY, MD, TAX ID #05-600584

TITLE: ONSITE SEWAGE DISPOSAL SYSTEM DESIGN PLAN

HOUSE TYPE: CHAPEL HILL II - ELEVATION K

DATE: JULY, 2018

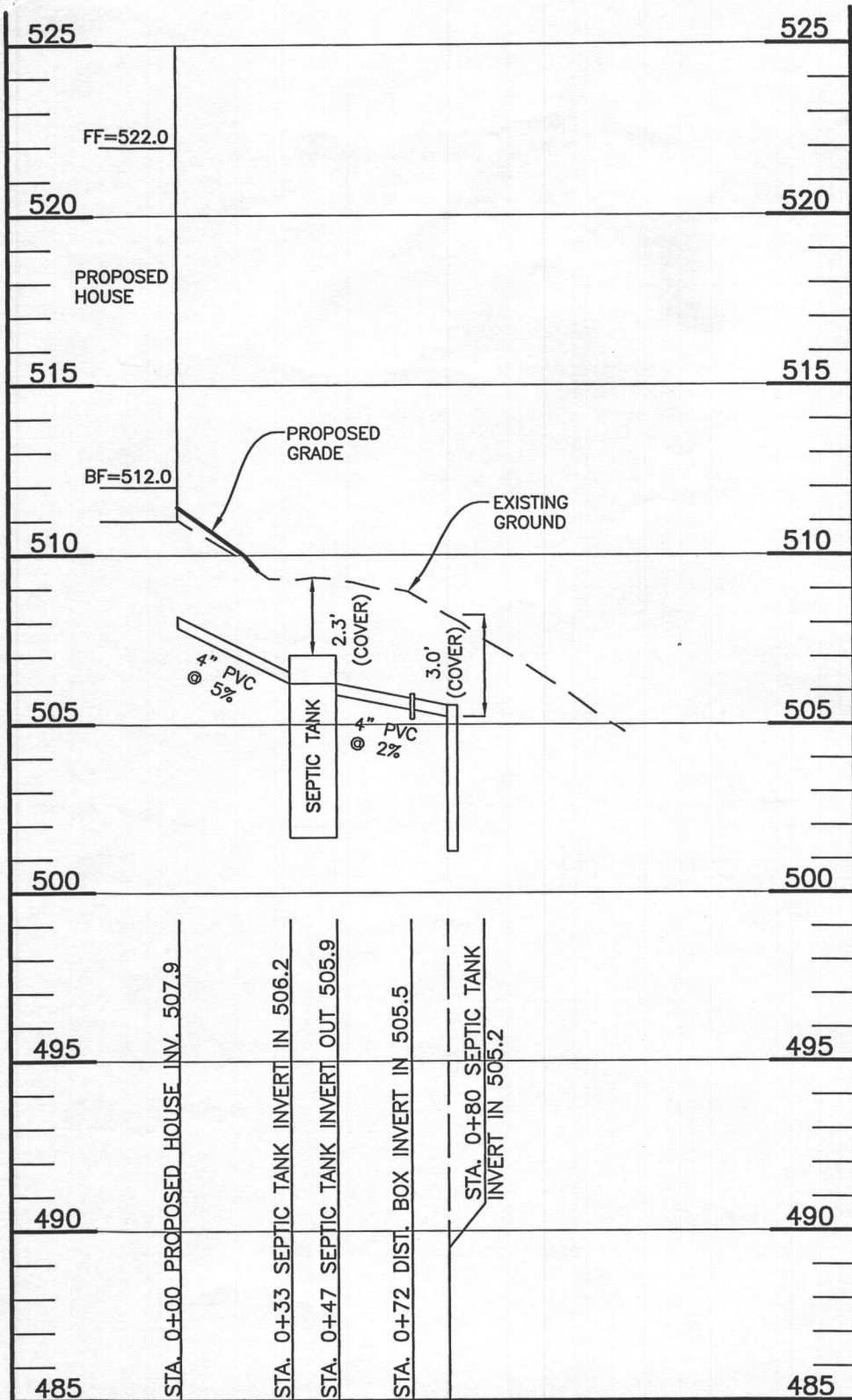
PROJECT NO. 2627

SCALE: AS SHOWN

DRAWING 1 OF 2

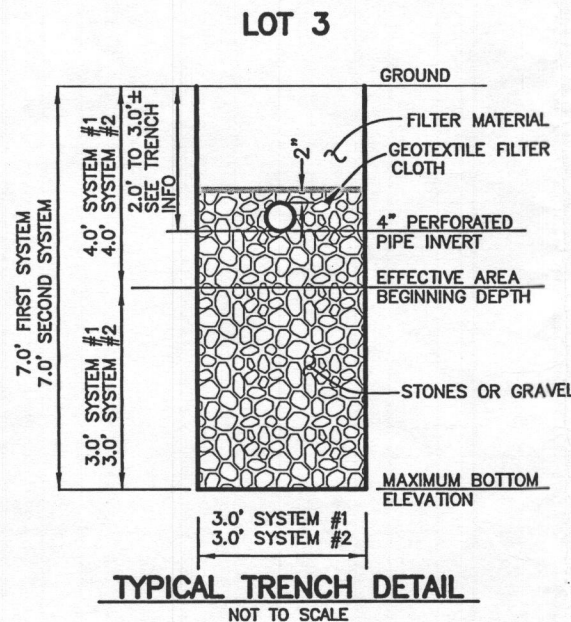
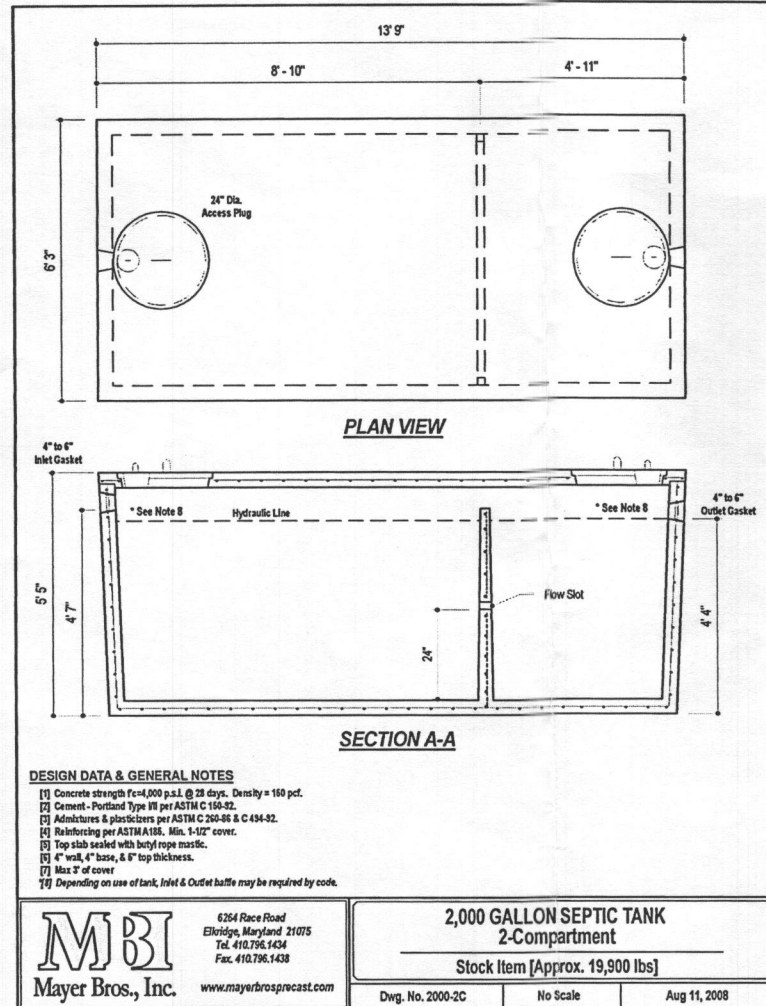






LOT 3 SEPTIC PROFILE  
SCALE: 1"=50' HORIZ., 1"=5' VERT.

| HEALTH DEPARTMENT SPEC SHEET INFORMATION - LOT 3 |                  |                 |              |
|--|------------------|-----------------|--------------|
| System   | Application Rate | Effective Depth | Bottom Depth |
| Initial  | 1.2              | 4.0             | 7.0          |
| 1st Replacement                                  | 1.2              | 4.0             | 7.0          |
| 2nd Replacement                                  | 1.2              | 3.5             | 7.0          |



| SEPTIC INVERT CHART - LOT 3 |       |
|-----------------------------|-------|
| INV @ HOUSE                 | 507.9 |
| GROUND @ HOUSE              | 511.5 |
| INV IN TANK                 | 506.2 |
| INV OUT TANK                | 505.9 |
| TOP OF TANK                 | 507.1 |
| GROUND OVER TANK            | 509.4 |
| INV IN DIST BOX             | 505.5 |
| INV OUT DIST BOX            | 505.4 |
| GROUND AT DIST BOX          | 508.8 |

BUILDER:  
NV HOMES, INC.  
9720 PATUXENT WOODS DR.  
SUITE 100  
COLUMBIA, MD 21046  
410-379-5956

OWNER:  
HIGHLAND DEVELOPMENT CORP  
P.O. BOX 228  
CLARKSVILLE, MARYLAND 21029  
410-365-0414

| INITIAL SYSTEM - LOT 3           |      |        | 2nd REPLACEMENT SYSTEM           |      |        |
|----------------------------------|------|--------|----------------------------------|------|--------|
| Number of Bedrooms               | 5    |        | Number of Bedrooms               | 5    |        |
| Application Rate                 | 1.2  | gpd/sf | Application Rate                 | 1.2  | gpd/sf |
| Effective Area Beginning Depth   | 4.0  | ft     | Effective Area Beginning Depth   | 3.5  | ft     |
| Bottom Max Depth                 | 7.0  | ft     | Bottom Max Depth                 | 7.0  | ft     |
| Design Flow                      | 750  | gpd    | Design Flow                      | 750  | gpd    |
| Drainage Field square footage    | 625  | sf     | Drainage Field square footage    | 625  | sf     |
| Sidewall Reduction Credit        | 0.50 |        | Sidewall Reduction Credit        | 0.45 |        |
| Trench width                     | 3    | ft     | Trench width                     | 3    | ft     |
| Effective Area Depth             | 3    | ft     | Effective Area Depth             | 3.5  | ft     |
| Trench Spacing                   | 10   | ft     | Trench Spacing                   | 10   | ft     |
| Linear Length of trench Required | 104  | lf     | Linear Length of trench Required | 95   | lf     |

| 1st REPLACEMENT SYSTEM           |      |        |
|----------------------------------|------|--------|
| Number of Bedrooms               | 5    |        |
| Application Rate                 | 1.2  | gpd/sf |
| Effective Area Beginning Depth   | 4.0  | ft     |
| Bottom Max Depth                 | 7.0  | ft     |
| Design Flow                      | 750  | gpd    |
| Drainage Field square footage    | 625  | sf     |
| Sidewall Reduction Credit        | 0.50 |        |
| Trench width                     | 3    | ft     |
| Effective Area Depth             | 3    | ft     |
| Trench Spacing                   | 10   | ft     |
| Linear Length of trench Required | 104  | lf     |

THIS PLAN IS FOR  
SEPTIC DESIGN ONLY

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 45577, Expiration Date: 06-08-2020.



BENCHMARK  
ENGINEERS LAND SURVEYORS PLANNERS  
ENGINEERING, INC.  
8480 BALTIMORE NATIONAL PIKE SUITE 315  
ELLICOTT CITY, MARYLAND 21043  
(P) 410-465-6105 (F) 410-465-6644  
WWW.BEI-CMLENGINEERING.COM

SEE MANUFACTURES SPECIFICATIONS FOR DETAILS. WWW.MAYERPRECAST.COM EQUIVALENT FROM OTHER MANUFACTURERS CAN BE SUBSTITUTED.

SIGNATURE AND SEAL ARE FOR SEPTIC PROFILE AND CALCULATIONS ONLY, TANK AND DETAILS WERE NOT DESIGNED OR REVIEWED BY THE ENGINEER:

|             |  |                  |
|-------------|--|------------------|
| PROJECT:    | BRIGHTON MILL II<br>LOT 3  |                  |
| LOCATION:   | TAX MAP: 34, GRID: 2, PARCEL: 16 ZONED: RR-DEO<br>13611 CURTIS VISTA WAY<br>CLARKSVILLE, MD 21029<br>FIFTH ELECTION DISTRICT, HOWARD COUNTY, MD, TAX ID #05-600584 |                  |
| TITLE:      | ONSITE SEWAGE DISPOSAL SYSTEM DESIGN PLAN  |                  |
| HOUSE TYPE: | CHAPEL HILL II - ELEVATION K   |                  |
| DATE:       | JULY, 2018   | PROJECT NO. 2627 |
| SCALE:      | AS SHOWN   | DRAWING 2 OF 2   |