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Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: 319000493

Building Address: 1434 Long Corner Rd.
City: MT. AIRY State: MD Zip Code: 21771
Suite/Apt. #: _____ SDP/WP/BA #: _____
Subdivision: _____
Lot: _____ Tax Map: _____ Parcel: _____

Existing Use: RESIDENCE
Proposed Use: RESIDENCE
Estimated Construction Cost: \$ 45,000
Description of Work: CONSTRUCTION OF
DETACHED GARAGE
STABLE
36' x 30'

Occupant/Tenant Name: Ellen + Joe Sullivan
Was tenant space previously occupied? ☐ Yes ☐ No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Property Owner's Name: Joe + Ellen Sullivan
Address: 1434 Long Corner Rd.
City: MT. AIRY State: MD Zip Code: 21771
Phone: 410-744-3000 Fax: _____
Email: SULLIVAN.RODOLPH@COMCAST.NET

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Contractor Company: OWNER
Contact Person: _____
Address: _____
City: _____ State: _____ Zip Code: _____
License No.: _____
Phone: _____ Fax: _____
Email: _____

Engineer/Architect Company: _____
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height: _____	☐ SF Dwelling ☐ SF Townhouse
No. of stories: _____	Depth _____ Width _____
Gross area, sq. ft./floor: _____	1st floor: _____
Area of construction (sq. ft.): _____	2nd floor: _____
Use group: _____	Basement: _____
	☐ Finished Basement
	☐ Unfinished Basement
	☐ Crawl Space
	☐ Slab on Grade
Construction type: _____	No. of Bedrooms: _____
☐ Reinforced Concrete	Multi-family Dwelling
☐ Structural Steel	No. of efficiency units: _____
☐ Masonry	No. of 1 BR units: _____
☐ Wood Frame	No. of 2 BR units: _____
☐ State Certified Modular	No. of 3 BR units: _____
	Other Structure: _____
	Dimensions: _____
Roadside Tree Project Permit	Footings: _____
☐ Yes ☐ No	Roof: _____
Roadside Tree Project Permit # _____	☐ State Certified Modular
	☐ Manufactured Home

Utilities
Electric: ☒ Yes ☐ No
Gas: ☐ Yes ☐ No
Water Supply
☐ Public
☒ Private
Sewage Disposal
☐ Public
☒ Private
Heating System
☒ Electric ☐ Oil
☐ Natural Gas ☐ Propane Gas
☐ Other: _____
Sprinkler System:
☐ Yes ☒ No
Grading Permit Number:

Building Shell Permit Number:

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Joe Sullivan Print Name: JOSEPH W. SULLIVAN
Email Address: SULLIVAN.RODOLPH@COMCAST.NET Date: 2-25-2019
Title/Company: _____

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY

FOR OFFICE USE ONLY

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health		<u>311-AD-Bernard</u>
Is Sediment Control approval required for issuance? ☐ Yes ☐ No		
☐ CONTINGENCY CONSTRUCTION START		

DPZ SETBACK INFORMATION
Front: _____
Rear: _____
Side: _____
Side St.: _____
All minimum setbacks met? ☐ Yes ☐ No
Is Entrance Permit Required? ☐ Yes ☐ No
Historic District? ☐ Yes ☐ No
Lot Coverage for New Town Zone: _____
SDP/Red-line approval date: _____

Filing Fee	\$
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	# <u>925</u>

Distribution of Copies: White: Building Officials Green: PSZA, Zoning Yellow: PSZA, Engineering Pink: Health Gold: SHA

JOY A. SKAHILL, JR.
L.2816 F.547

N71°20'31"W 88.83'

N23°49'27"E 232.69'

L.4038 F.285

S23°57'23"W 94.00'

165'

S69°08'35"E 89.12'

MCS (NAD83/07)

SCOTT D. FLANAGAN
L.11516 F.437

GgB

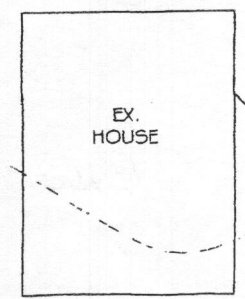
GgB

Approved Septic System Plan
Howard County Health Department
Dan Burund 3-11-19
Signature Date

BI 900-4472
JOHN C. NAGENGAST
ELLEN D. NAGENGAST
L.12478 F.247

○ EX. SEPTIC
○ TANK

EX. WELL



EX. HOUSE

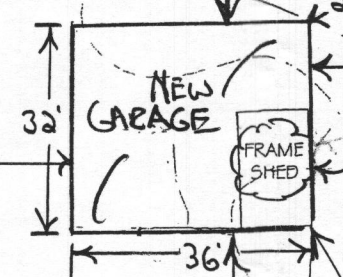
EX. SEPTIC TANK C/O

APPROX. EX. DRYWELL

EX. GRAVEL DRIVE

EX. POLE #F-28631

N66°34'58"W 225.35'



NEW GARAGE

FRAME SHED

REMOVE

EX. SEPTIC TANK C/O



DECK

EX. ONE-STY. FRAME HOUSE

1434 LONG CORNER Rd.

EX. WELL

115'

49'

23'

EX. WELL

EX. POLE #F-28630

TO PROP. LINE

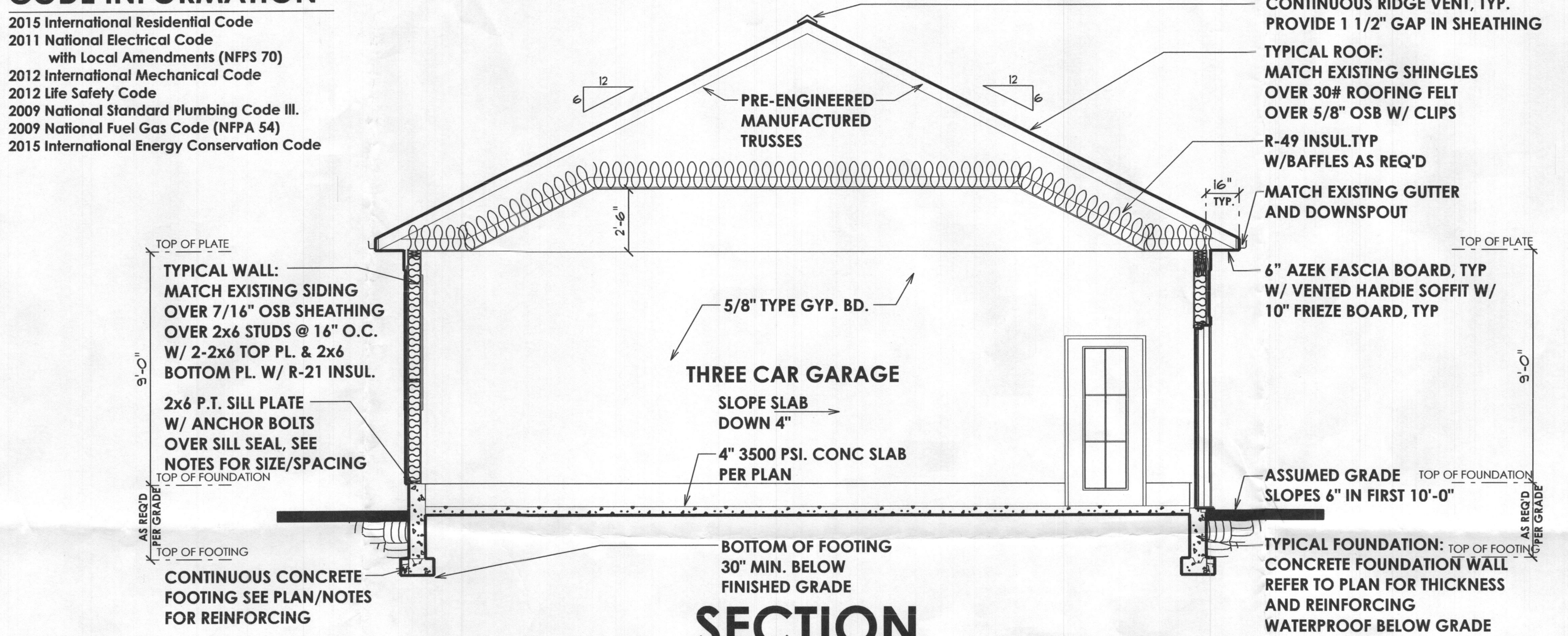
LONG CORNER ROAD

Plot Plan For New GARAGE
Elleu + Joe Sullivan
1434 Long Corner Rd
Mount Airy, MD
21771

SCALE - 1" = 30'

- All work shall comply to all applicable local codes.
- All construction shall be classified as and comply to either of the following:
 - Use Group R-4 under the 2015 International Residential Code, & Howard County Code
- Contractor is responsible for bracing all framing/walls during construction
- These plans and notes are the property and sole responsibility of JRArchitecture, Inc. Use of these plans without the written consent of JRArchitecture, Inc. is prohibited.
- These plans are subject to modification as necessary to meet code requirements and/or facilitate mechanical/plumbing installations or to incorporate design improvements. The Architect and the Owner reserves the right to make any changes, for any reason, at any time, providing the comply with the code.
- The Sub-Contractor shall compare and coordinate all drawings. When a discrepancy or an error or omission exists, he shall comply with the code and contact the Architect and the Owner in writing for proper adjustment.
- These plans are not to be scaled for Construction purposes. Written dimensions and notes supersede all scaled reference.
- In the event certain features of Construction are not fully shown on the drawings, their construction shall be of the same character as for similar conditions that are shown or noted.
- Field verify ALL existing dimensions

2015 International Residential Code
2011 National Electrical Code
with Local Amendments (NFPS 70)
2012 International Mechanical Code
2012 Life Safety Code
2009 National Standard Plumbing Code III.
2009 National Fuel Gas Code (NFPA 54)
2015 International Energy Conservation Code

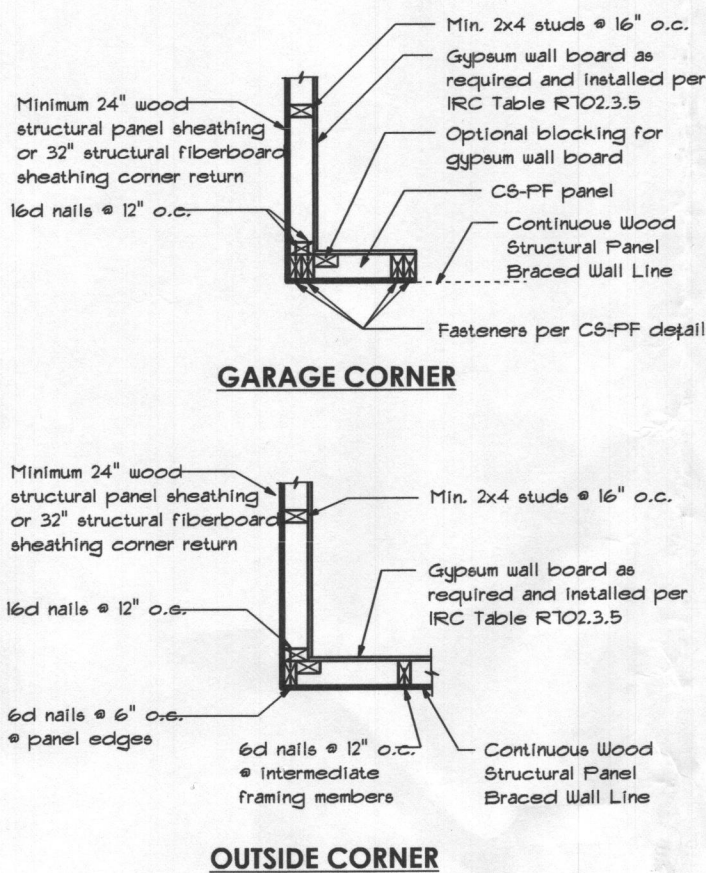


- RECOMMENDED MINIMUMS:

- Ground Snow Load	30 psf
- Roof	30 psf
- Garage Slabs	50 psf
- Wind Load	17 psf
- Dead Load	10 psf

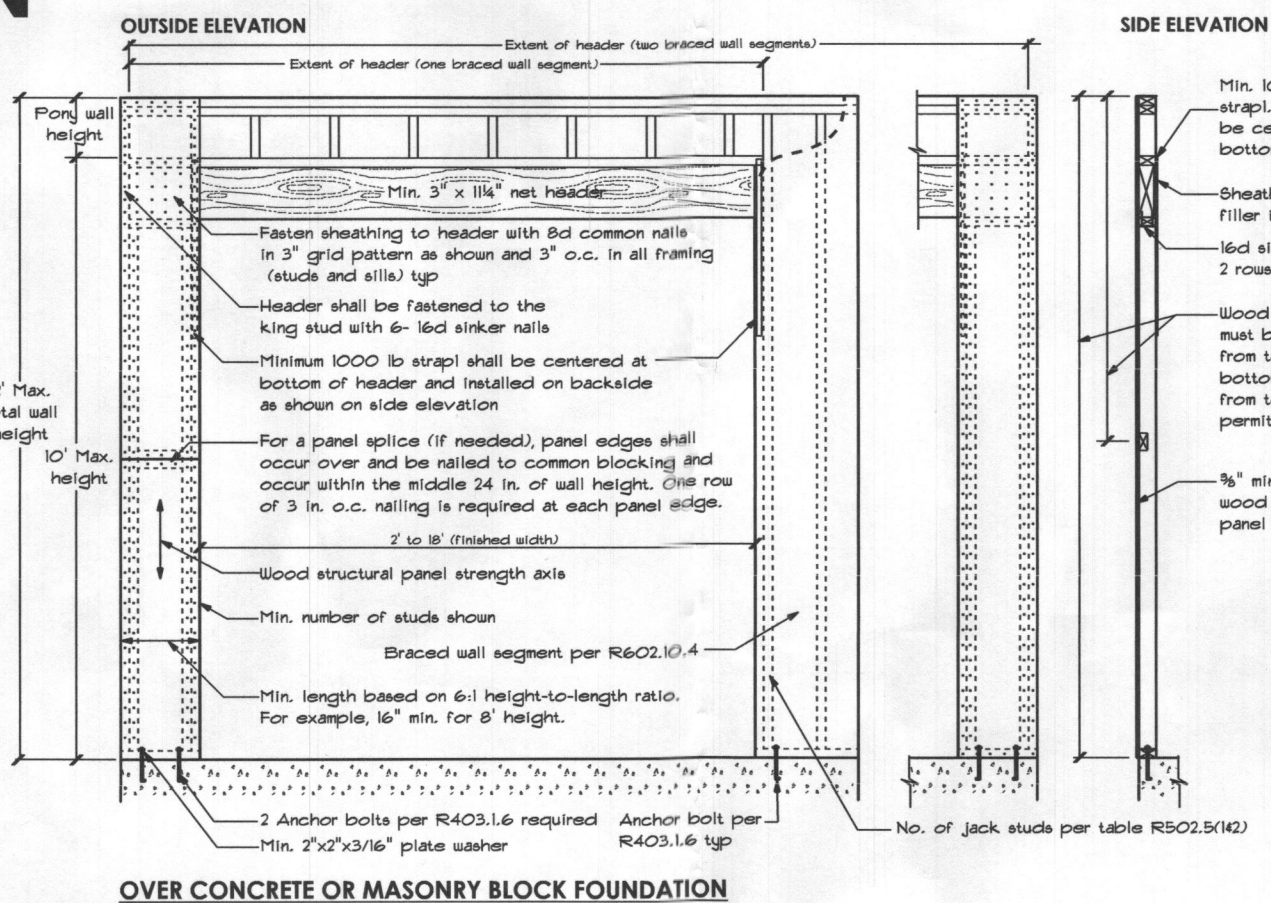
(or as per local code)

- Wall bracing shall be installed as per local code.
- All roof trusses and floor systems shall be braced and installed per manufacturer's specifications and as per local code. See manufacturer's plans for exact layout and construction.
- All trusses are to be stamped and certified by a registered engineer and meet TPI manufacturers minimum requirement.
- All LVL's will be microlams will be manu. by Trus Joist McMillan (or equiv)
- Structural sawn lumber shall be SPF #1 or #2
- All exterior walls are 2x6 stud #16" centers, minimum SPF stud grade unless otherwise noted.
- All opening headers to be 3-2x10's w/ 3/4" plywood filler bearing on min 2-2x6's studs, unless noted otherwise
- All wood less than 8" from grade shall be pressure treated. All sole plates on slabs shall be pressure treated.
- Provide bearing at all structural members as required by local code.
- All materials shall be installed per manufacturer's specifications and as per applicable building codes.
- All multiple beam members will be glued together with liquid nails and screwed using 3" Deck Mafe screw at 16" o.c. staggered 2" from the top and bottom of the depth of the beam.
- All work shall comply to local code.

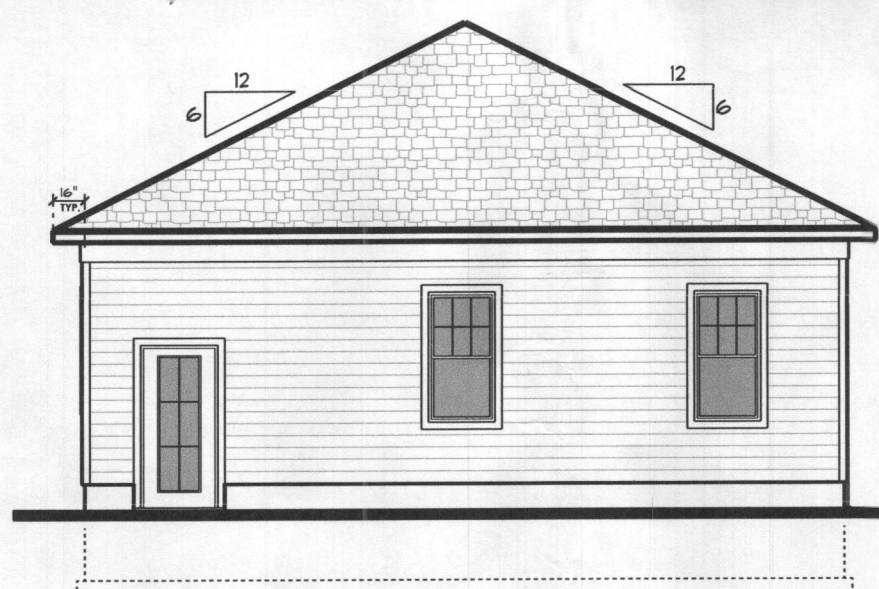


Minimum Wall Shed Framing Nominal Size and Grade	Maximum Pony Wall Height (feet)	Maximum Total Wall Height (feet)	Maximum Opening Width (feet)	Wind	Wind
				Exposure B	Exposure C
				Tension stop capacity required (lb)	
2x6 Stud Grade	2	12	9	1000	1750
			16	2050	3550
			18	2450	4100
	4	12	9	1500	2175
			16	3150	DR
			18	3675	DR

Methods WSP & CS-WSP: Min. 7/16" OSB Wood Structural Panel sheathing attached to framing with 6d at 6" o.c. at panel edges and 12" o.c. at intermediate framing members.
Note: At Braced Wall Lines incorporating Continuously Sheathed bracing methods (CS-WSP & CS-PF), all exterior walls along the Braced Wall Line must be fully sheathed with min 7/16" OSB Wood Structural Panel sheathing fastened per IRC Tables R602.3(1), R602.3(2), and R602.3(3).



NOT TO SCALE

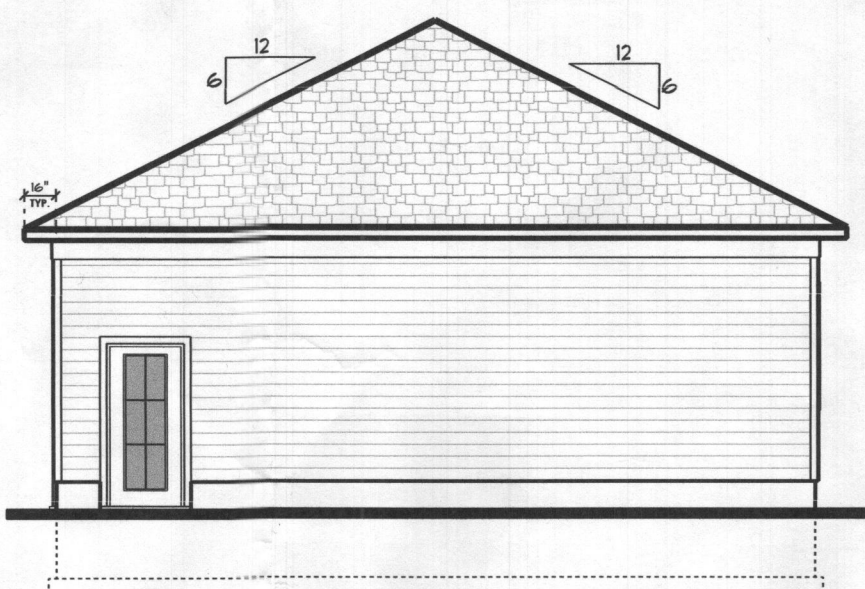


LEFT ELEVATION
SCALE: 1/8" = 1'-0"

CS-PF NOT TO SCALE

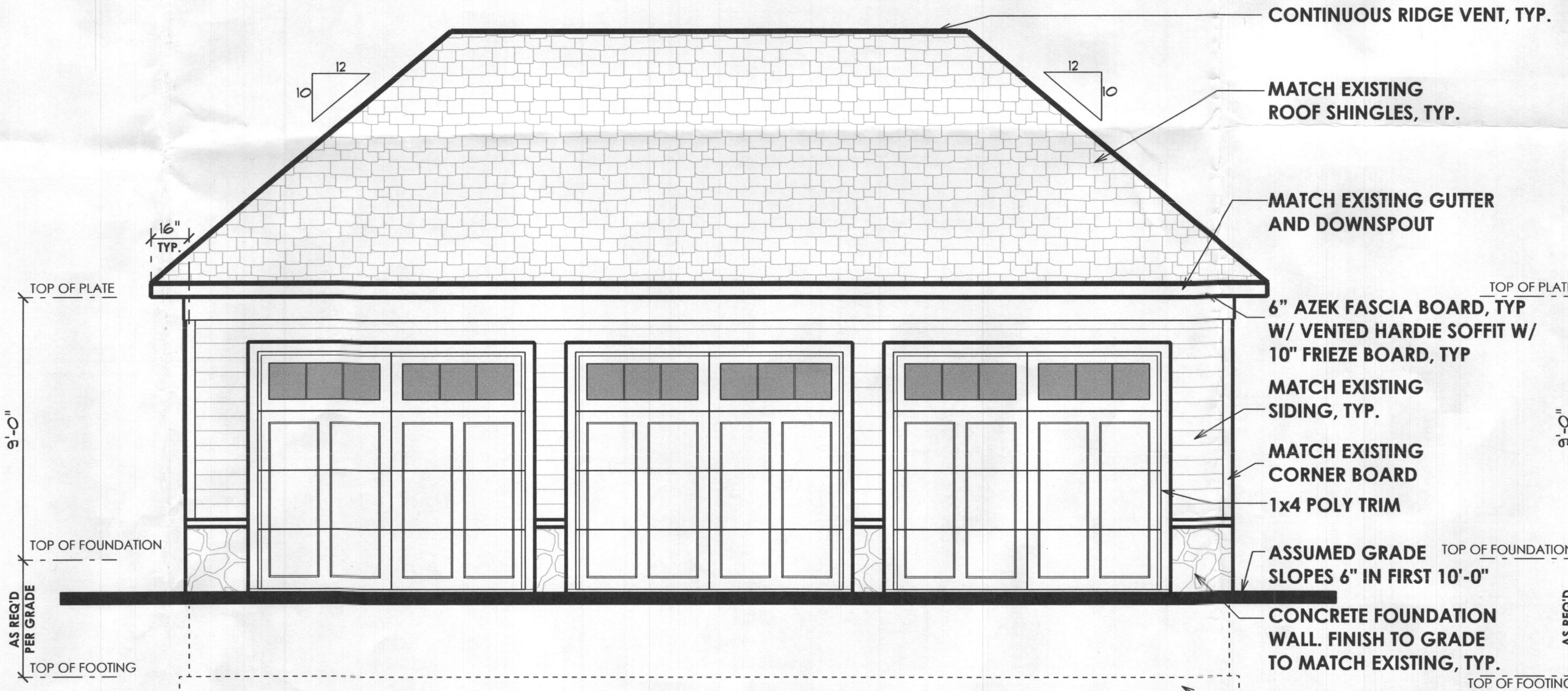


REAR ELEVATION
SCALE: 1/8" = 1'-0"



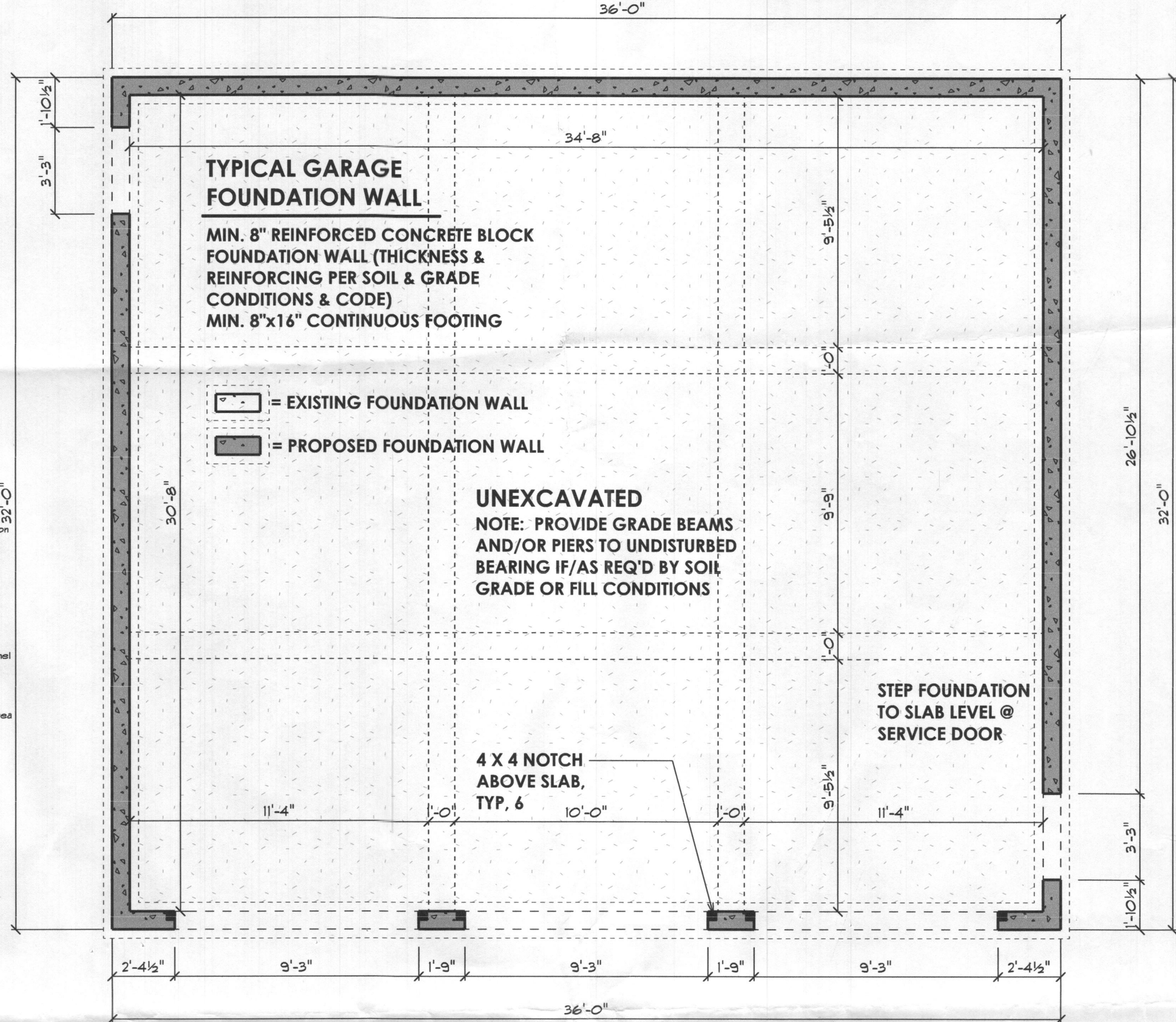
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"

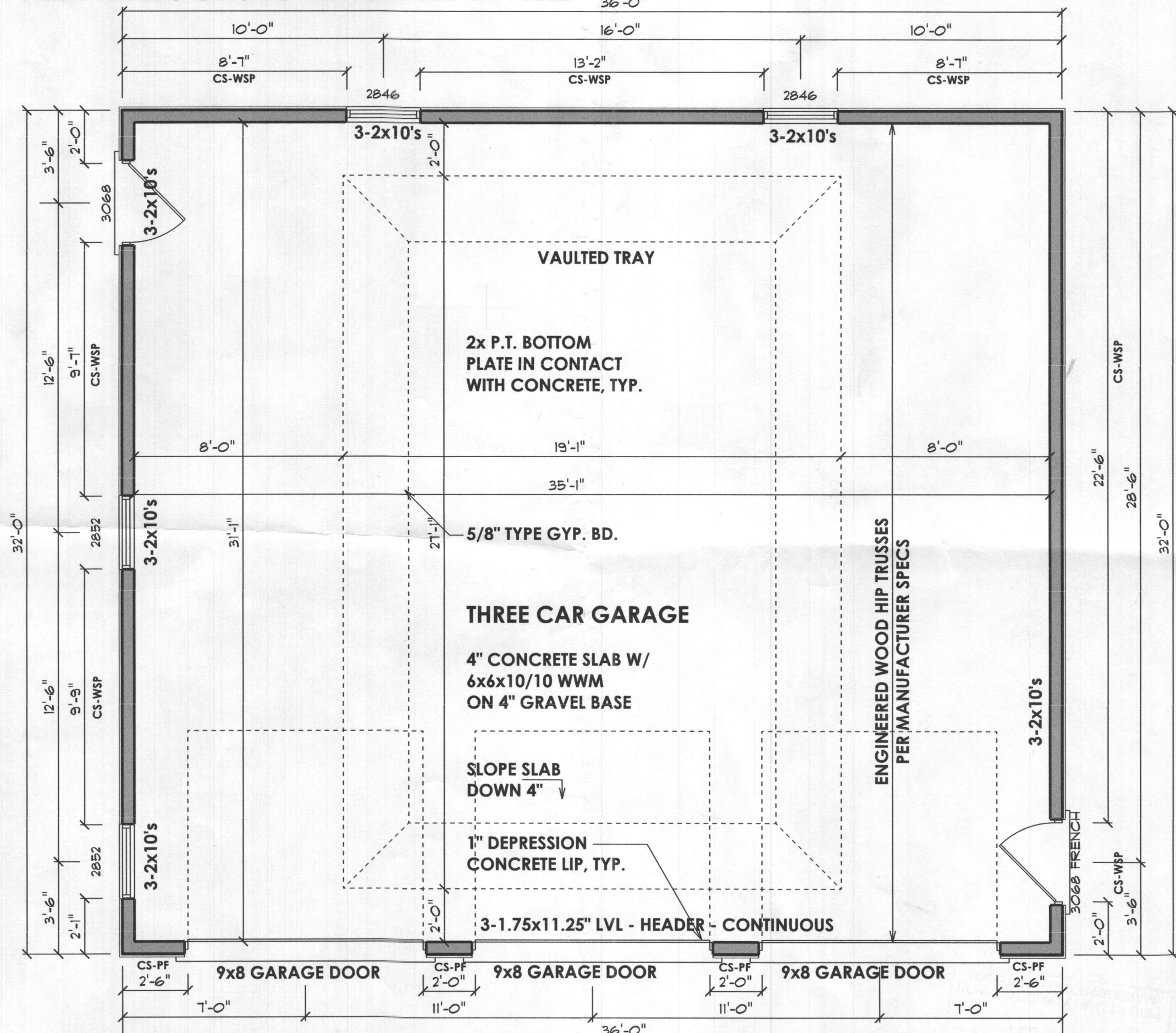


FOUNDATION NOTES

- | | | |
|---|---|---|
| 1) 2000 PSF MIN SOIL BEARING CAPACITY ASSUMED | 3) ALL LOCATIONS FOR HVAC, SUMP PUMPS, ROUGH-INS, H/W/H, A/H AND OTHER FEATURES ARE SUBJECT TO BUILDER DISCRETION ON SITE | 5) MIN. 1/2" HOOKED ANCHOR BOLTS EMBEDDED A MIN. 7" INTO CONC. SHALL BE SPACED AT 4' O.C. AND LOCATED 4" TO 12" FROM EACH END OF ALL SILL PLATE PIECES. |
| 2) BEAMS, JOISTS, HEADERS & RAFTERS TO BE SPF #1/#2 OR EQ. TYP THRUOUT U.N.O. | 4) FOUNDATION WALL MIN. THICKNESS 8" or 10" WHERE STEM WALL AT BRICK LEDGE EXCEEDS 12" HIGH | 6) REFER TO WALL SECTION(S) FOR FOUNDATION WALL DETAILS. |



ALL DIMENSIONS TO BE VERIFIED IN FIELD



- Concrete works shall conform to American Concrete Institute Standard 318-83
- Bottom of all footings shall be located a minimum of 30", (or as per local code) below finished grade. Steps or depth of footing / foundation may vary according to local site or frost conditions.
- All interior concrete slabs will be reinforced 6"x6"x2x2x2 WWF or control joints. Monolithic turned down slabs for townhouses shall have a control joint between units.
- Concrete used in exposed areas implicit to freezing and thawing (both during construction and service life) shall be air-entrained in accordance with local code. Exterior flat-work shall be coated with an approved curing compound
- All work shall comply to local code.

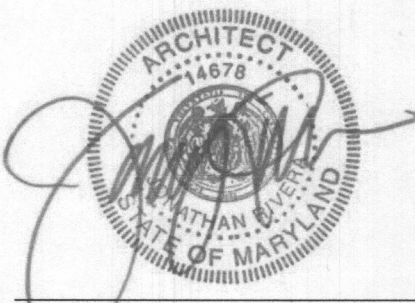
Type of Concrete Construction	Minimum Specified Compressive Strength
- Footings	3500 PSI
- Garage and Exterior Slabs	3500 PSI

(or as per local code)

- REINFORCING BARS: ASTM A-615 and A-305, MESH: ASTM A-185.
- Exterior Concrete Slabs: 5% to 7% Air Entrained

CLIMATE AND GEOGRAPHIC DESIGN CRITERIA - table 301.2 (1)

GROUND SNOW LOAD (lbs./s.f.)		30
WIND PRESSURE (pounds per square foot)		17 +/- (90 m.p.h.)
SEISMIC CONDITION BY ZONE		B
SUBJECT TO DAMAGE	WEATHERING	SEVERE
	FROST LINE DEPTH	30
	TERMITE	MODERATE
	DECAY	MODERATE
WINTER DESIGN TEMP. FOR HEAT. FACILITIES		13'
RADON RESISTANT CONSTRUCTION REQ		
FLOOD ZONE		



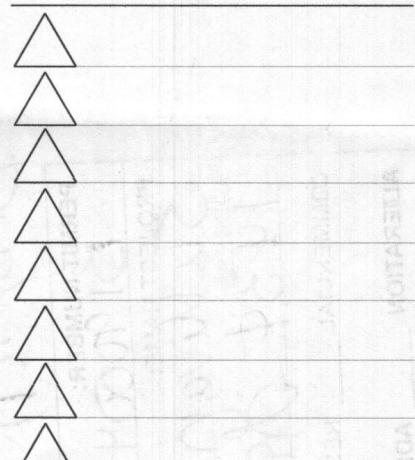
PROFESSIONAL CERTIFICATION
I certify that these documents
were prepared or approved
by me, and that I am a duly
licensed professional
architect under the laws of the
State of Maryland,
License Number #14678
Expiration Date: 6/30/2020

Sullivan Residence

P R O P O S E D G A R A G E

1434 Long Corner Road, Mt. Airy, Maryland

REVISIONS



ISSUE DATES:

11-06-18	REVIEW
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SCALE: $1/4" = 1'-0"$

FLOOR PLANS

1.01
PRINT DATE :
Thursday, February 21, 2019