



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

DILP 2019 MAR 12 AM 9:39
Date Received:

Permit No.: B19000712

Building Address: 1044 Thunderbird Drive
City: Woodbine State: MD Zip Code: 21797
Suite/Apt. #: _____ SDP/WP/BA #: GP-16-062
Census Tract: _____ Subdivision: Fairlane Farms
Section: _____ Area: _____ Lot: 35
Tax Map: _____ Parcel: _____ Grid: _____
Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: Vacant lot
Proposed Use: Single Family house
Estimated Construction Cost: \$ 230,000
Description of Work: New 2 story "Marymount"
ELV. A, 2 car side garage + 1 car side
attached garage, and finished lower level
(bedroom, oven #2 and Bathroom)
Occupant or Tenant: _____
Was tenant space previously occupied? ☐ Yes ☐ No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor: <u>45</u> x <u>68</u>
Area of construction (sq. ft.):	2 nd floor: <u>40</u> x <u>54</u>
Use group:	Basement: <u>45</u> x <u>68</u>
Construction type:	<input checked="" type="checkbox"/> Finished Basement
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Unfinished Basement
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Crawl Space
<input type="checkbox"/> Masonry	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Wood Frame	No. of Bedrooms: <u>4</u>
<input type="checkbox"/> State Certified Modular	<u>Multi-family Dwelling</u>
<input checked="" type="checkbox"/> Roadside Tree Project Permit	No. of efficiency units:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	No. of 1 BR units:
Roadside Tree Project Permit #	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
	Footings:
	Roof:
	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Property Owner's Name: NVR Inc
Address: 9720 Patuxent Woods Drive
City: Columbia State: MD Zip Code: 21046
Phone: 410-379-5956 Fax: _____
Email: _____

Applicant's Name & Mailing Address, (if other than stated herein)
Applicant's Name: Decatur Building Services
Address: PO Box 552
City: Woodbine State: MD Zip Code: 21797
Phone: 443-309-7792 Fax: _____
Email: Jim@DecaturbuildingServices.com

Contractor Company: NV Homes
Contact Person: Glenn Cagle
Address: 9720 Patuxent Woods Drive
City: Columbia State: MD Zip Code: 21046
License No.: 56
Phone: 410-379-5956 Fax: _____
Email: ECagle@NVRInc.com

Engineer/Architect Company: _____
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Utilities
<u>Water Supply</u>
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
<u>Sewage Disposal</u>
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<u>Heating System</u>
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane Gas
<input type="checkbox"/> Other:
<u>Sprinkler System:</u>
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Grading Permit Number: <u>619000058</u>
Building Shell Permit Number:

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Jim Kerwin
Email Address: Jim@DecaturbuildingServices.com
Title/Company: AGENT NV Homes

Print Name: Jim Kerwin
Date: 3/11/2019

RECEIVED
MAR 12 2019
LICENSES & PERMITS
DIVISION

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>3/28/19</u>	<u>H. Oswalt</u>
Is Sediment Control approval required for issuance? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
<input type="checkbox"/> CONTINGENCY CONSTRUCTION START		

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ <u>100</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ <u>50</u>
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# <u>241421</u>



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: B19001079

Building Address: 1044 THUNDERBIRD DRIVE
City: WOODBINE State: MD Zip Code: 21797
Suite/Apt. # _____ SDP/WP/BA #: _____
Census Tract: _____ Subdivision: _____
Section: _____ Area: _____ Lot: 35
Tax Map: _____ Parcel: _____ Grid: _____
Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: SFD
Proposed Use: SFD W/PROPANE TANK
Estimated Construction Cost: \$ 4,000
Description of Work: INSTALL 1000 GAL UNDERGROUND PROPANE TANK

Occupant/Tenant Name: OWNER
Was tenant space previously occupied? ☐ Yes ☐ No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Property Owner's Name: DAISYCOOP LLC
Address: 2215 DUVAL RD
City: WOODBINE State: MD Zip Code: 21797
Phone: _____ Fax: _____
Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: MICHELLE CLANCY
Address: PO BOX 310
City: PERRY HALL State: MD Zip Code: 21128
Phone: 443-610-7514 Fax: _____
Email: MICHELLE@APPLIEDANDAPPROVED.COM

Contractor Company: TECH AIR
Contact Person: DENNIS FEAGA
Address: 1560 A-D CATON CENTER DRIVE
City: BALTIMORE State: MD Zip Code: 21227
License No.: 81215
Phone: 410-984-5681 Fax: _____
Email: _____

Engineer/Architect Company: CONTRACTOR
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	<u>Depth</u> <u>Width</u>
Gross area, sq. ft./floor:	1 st floor:
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Area of construction (sq. ft.):	Basement:
	<input type="checkbox"/> Finished Basement
Use group:	<input type="checkbox"/> Unfinished Basement
	<input type="checkbox"/> Crawl Space
<u>Construction type:</u>	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:
<input type="checkbox"/> Structural Steel	<u>Multi-family Dwelling</u>
<input type="checkbox"/> Masonry	No. of efficiency units:
<input type="checkbox"/> Wood Frame	No. of 1 BR units:
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:
<u>Roadside Tree Project Permit #</u>	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities
Electric: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<u>Water Supply</u>
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
<u>Sewage Disposal</u>
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
<u>Heating System</u>
<input type="checkbox"/> Electric <input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas
<input type="checkbox"/> Other:
<u>Sprinkler System:</u>
<input type="checkbox"/> Yes <input type="checkbox"/> No
<u>Grading Permit Number:</u>
<u>Building Shell Permit Number:</u>

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: _____
MICHELLE@APPLIEDANDAPPROVED.COM
Email Address: _____
PERMITS
Title/Company: _____

Print Name: MICHELLE CLANCY
Date: 4/12/19

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

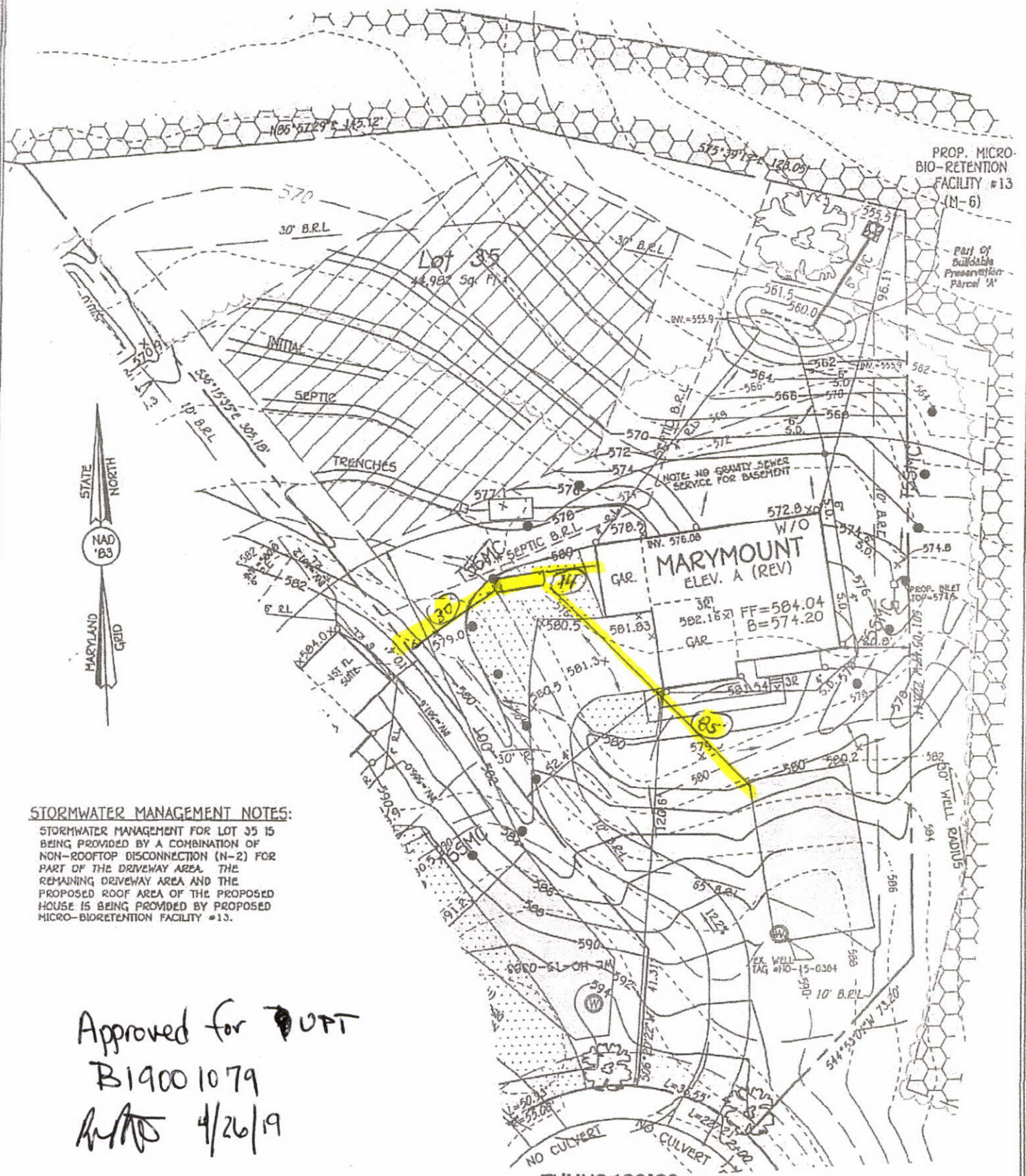
AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>4/26/19</u>	<u>[Signature]</u>

Is Sediment Control approval required for issuance? ☐ Yes ☐ No
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$
Permit Fee	\$ <u>110.00</u>
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$ <u>6671</u>
Check	#

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA



STORMWATER MANAGEMENT NOTES:

STORMWATER MANAGEMENT FOR LOT 35 IS BEING PROVIDED BY A COMBINATION OF NON-ROOFTOP DISCONNECTION (N-2) FOR PART OF THE DRIVEWAY AREA. THE REMAINING DRIVEWAY AREA AND THE PROPOSED ROOF AREA OF THE PROPOSED HOUSE IS BEING PROVIDED BY PROPOSED MICRO-BIORETENTION FACILITY #13.

Approved for **UPT**
B19001079
4/26/19

OWNER/DEVELOPER

HY HOMES
 9720 PATUXENT WOODS DRIVE
 COLUMBIA, MD 21046
 410-379-5956

NOTE: THE EXISTING WELL SHOWN ON THIS PLAN, HO-15-0384, HAS BEEN FIELD LOCATED BY FISHER, COLLINS & CARTER, INC., PROFESSIONAL LAND SURVEYORS AND IS ACCURATELY SHOWN.

FISHER, COLLINS & CARTER, INC.

CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 1027E BALTIMORE NATIONAL PKE
 ELICOTT CITY, MARYLAND 21042
 (410) 481 - 2993

PLAN

SCALE: 1" = 40'

**PERMIT SITE PLAN
 LOT 35**

1044 THUNDERBIRD DRIVE

FAIRLANE FARMS

PHASE TWO

ZONED: RC-DEO

TAX MAP NO.: 8 GRID NO.: 2 PARCEL NO.: 8
 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

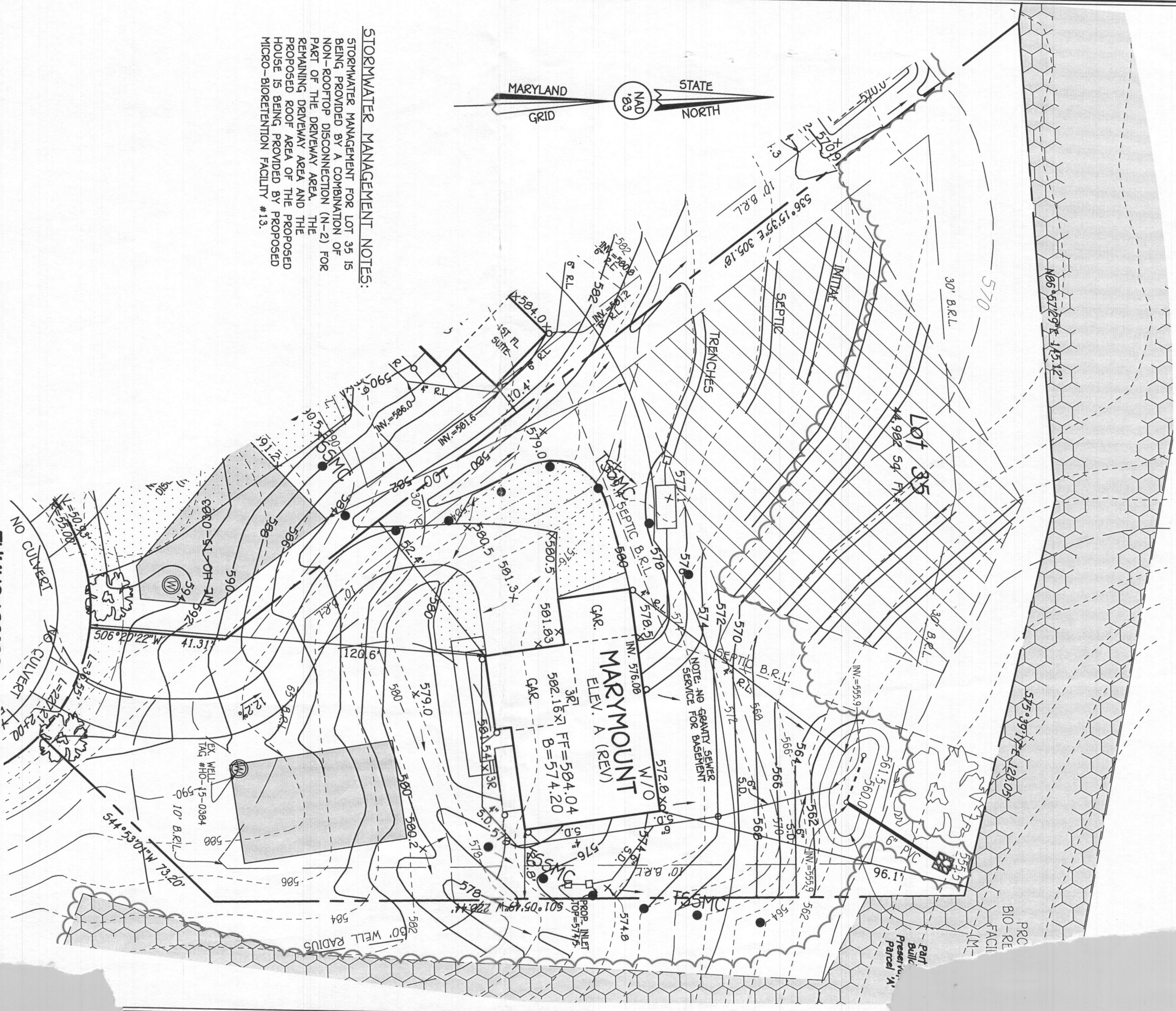
SCALE: 1" = 40'

DATE: DECEMBER 17, 2017

SHEET 1 OF 1

Permit # B19000712

1000 UFTANK



STORMWATER MANAGEMENT NOTES:
STORMWATER MANAGEMENT FOR LOT 35 IS BEING PROVIDED BY A COMBINATION OF NON-ROOFTOP DISCONNECTION (N-2) FOR PART OF THE DRIVEWAY AREA, THE REMAINING DRIVEWAY AREA AND THE PROPOSED ROOF AREA OF THE PROPOSED HOUSE IS BEING PROVIDED BY PROPOSED MICRO-BIORETENTION FACILITY #13.

OWNER/DEVELOPER

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COLUMBIA, MD 21046
410-379-5956

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PERMIT SITE PLAN

LOT 35

1044 THUNDERBIRD DRIVE

FAIRPLANE FARMS

PHASE TWO

ZONED: RC-DEO

TAX MAP NO.: 8 GRID NO.: 2 PARCEL NO.: 5TH ELECTION DISTRICT HOWARD COUNTY, MAR

SCALE: 1"=30' DATE: DECEMBER 17, 201

SHEET 1 OF 1

PLAN

SCALE: 1" = 30'

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461 - 2295

1044 Thunderbird Drive
lot 35

MARYMOUNT

HEALTH
Health Dept



NVR, Inc.
Architectural Services
Architects
5285 Westview Drive, Suite 100
Frederick, MD 21703

	FULL BASEMENT												STANDARD DETAILS
	STD. DWGS.												
SPEC SHEET	55-1												AD-1
													AD-1b
ELEVATIONS	5												DR-1
FOUNDATIONS	14												DR-2
FOUNDATION HOLD DOWNS	19												DR-3
PLUMBING	21.1												ET-1
BASEMENT FLOOR PLAN	22												ET-1b
FIRST FLOOR PLAN	25												ET-1c
SECOND FLOOR PLAN	24												ET-1f
BUILDING SECTIONS - FOYER	33												ET-2
BUILDING SECTIONS - GARAGE	35												ET-3
STAIR SECTIONS	31												ET-3b
KITCHEN	40												F-1
KITCHEN - WET BAR / BOOKCASE	44												FA-1
KITCHEN - LAUNDRY	45												FC-1
BATHS	46												FC-2
BASEMENT ELECTRICAL	47												FC-4
FIRST FLOOR ELECTRICAL	50												FD-1
SECOND FLOOR ELECTRICAL	54												FD-2
FIRST FLOOR FRAMING	58												FD-2b
SECOND FLOOR FRAMING	60												FD-3
ROOF FRAMING	61												FP-1
ROOF FRAMING - RIDER	65.2												GB-1
TRUSS BRACING	66												IT-1
WALL BRACING LAYOUT	68												IT-1b
HVAC LAYOUT - BASEMENT	72												IT-1c
HVAC LAYOUT - CRAWLSPACE	74												IT-2
HVAC LAYOUT - FIRST FLOOR	75												IT-2
HVAC LAYOUT - SECOND FLOOR	78												JT-1
													JT-3
													JT-3b
													KT-1
													RF-1
													RF-1b
													SEP-1
													SEP-2
													SEP-3
													SEP-4
													SP-1
													SP-2
													SP-3
													ST-1
													ST-3b
													MB-1
													MB-2
													MB-3
													MB-3b
													MD-1
													MD-2
													MD-3
													MS-1

FIRST FLOOR SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	1742 SF

SECOND FLOOR SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
2ND FLOOR (BASE SF)	2072 SF

GARAGE SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
TWO CAR FRONT OR SIDE ENTRY GARAGE	524 SF
ONE CAR SIDE ATTACHED GARAGE	314 SF

BASEMENT SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
FINISHED BASEMENT	883 SF
FINISHED BASEMENT AREA #2 W/ ELEV 'A' (ADD SF)	453 SF

TOTAL FINISHED SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	1742 SF
2ND FLOOR (BASE SF)	2072 SF
FINISHED BASEMENT	883 SF
FINISHED BASEMENT AREA #2 W/ ELEV 'A' (ADD SF)	453 SF

SET - VERSION

2000 - 01

CS-1

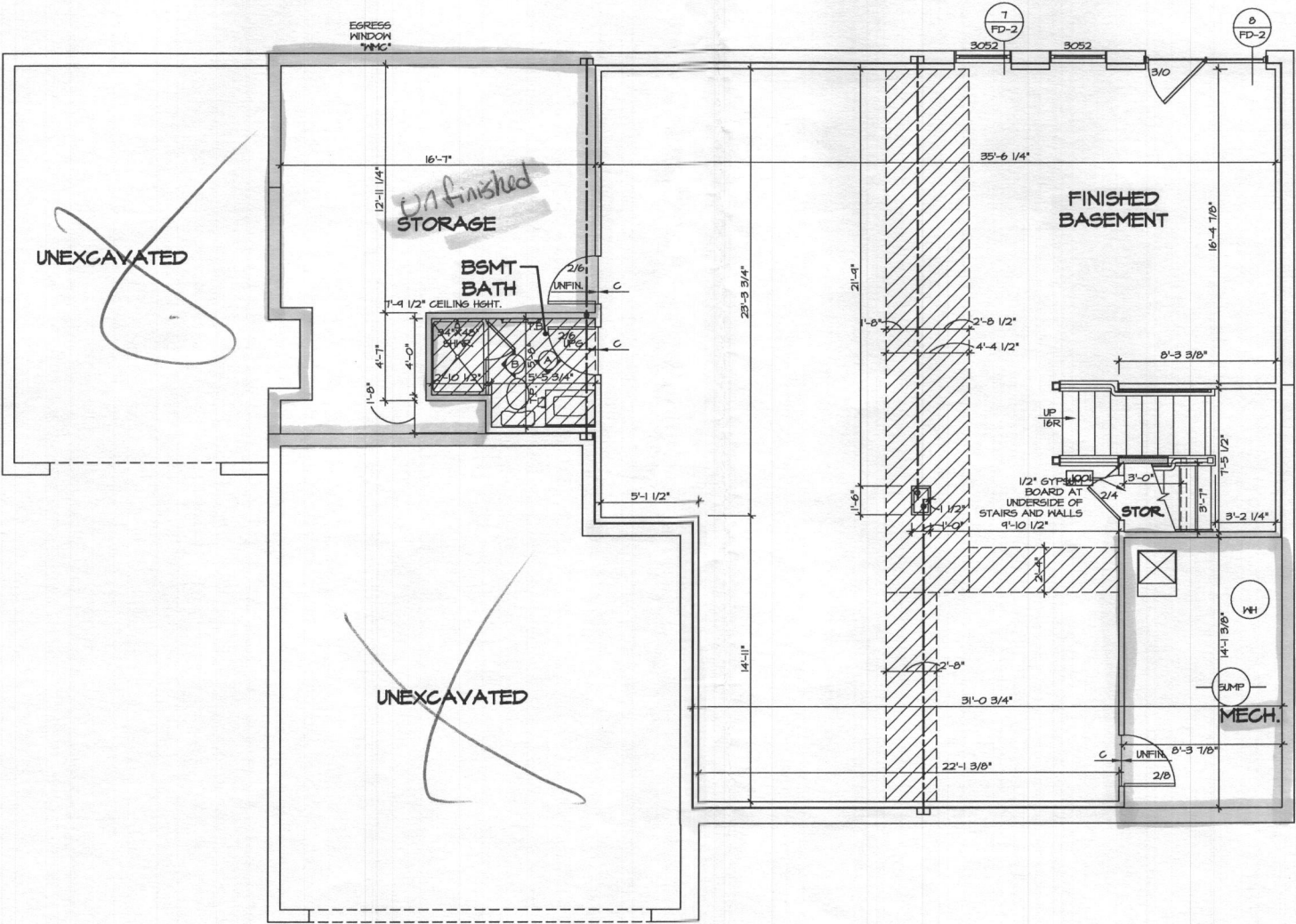
C:\NVR\Draws\MARYMOUNT_2000_01\WDE-FF-0035\1125701\Sheets\Lot Spec\CS-1 COVER SHEET.dwg 02/22/19 - 4:27 am

BASEMENT JACK SCHEDULE				
IDENTIFIER	DESCRIPTION	OPTIONS	ENG. N.M.	REMARKS
J001	JACK - (2) 2X4 SFF STUD GRADE		B0011	

LEGEND	
	BEARING WALL
	NON BEARING WALL
	INDICATES BEARING FROM POINT-LOAD ABOVE JACKS
	BEAM-HEADER
	PAD FOOTING
	STEEL COLUMN
	PORTAL FRAME
	JOIST/TRUSS
	LVL
	ENGINEERING PAGE NUMBER
SEE FC DETAILS FOR FRAMING CONNECTORS	

FLOOR PLAN NOTES	
1.	ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (3) 2x6 w/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
2.	ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
3.	ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 8" UNLESS OTHERWISE NOTED.
4.	HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
5.	SEE BRACED WALL PANEL DETAIL SHEET FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
6.	ALL WINDOWS HAVE T-O 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
7.	ALL CASED OPENINGS AT T-11", UNLESS OTHERWISE NOTED.

GYPSUM NOTES	
AT GARAGE:	5/8" DRYWALL ON COMMON HALLS, CEILING, AND BEARING WALLS AS REQUIRED.
AT STAIRS:	1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET
WITH OPTION "SCI" - DRYWALL	UNFINISHED BASEMENT CEILING AREA
NOTES:	
•	1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED
•	A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0"X8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
•	PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.



1 BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

REMARKS

REV. NO. DATE

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MODEL	SET NO. 12000	VERSION 01
DRAWING TITLE	DRAWN BY	DATE:
BASEMENT FLOOR PLAN	OPTION	OPTION
OPTION DESCRIPTION		
A-6		
22		

FIRST FLOOR JACK SCHEDULE				
IDENTIFIER	DESCRIPTION	OPTIONS	ENG. N.M.	REMARKS
J101	JACK - (2) 2X4 SFF STUD GRADE	ELA, EVA	1043	
J102	JACK - (2) 2X4 SFF STUD GRADE	ELA	1031	
J103	JACK - (2) 2X4 SFF STUD GRADE	ELA	1031	
J104	JACK - (2) 2X4 SFF STUD GRADE	ELA, EVA	1043	
J107	JACK - (3) 2X6 SFF STUD GRADE	6CC	1073,1075	
J108	JACK - (3) 2X6 SFF STUD GRADE	6CC	1073,1075	
J109	JACK - (2) 2X4 SFF STUD GRADE	6AA	1071	
J110	JACK - (2) 2X4 SFF STUD GRADE	6AA	1071	
J111	JACK - (3) 2X4 SFF STUD GRADE		1019	
J112	JACK - (2) 2X4 SFF STUD GRADE		1048	
J113	JACK - (2) 2X4 SFF STUD GRADE		1048	
J114	JACK - (6) 2X4 SFF		1023	
J115	JACK - (3) 2X4 SFF STUD GRADE		1013	
J116	JACK - (3) 2X4 SFF STUD GRADE		1011	
J117	JACK - (2) 2X4 SFF STUD GRADE		1024	FIELD INSTALLED
J118	JACK - (3) 2X4 SFF STUD GRADE		1011	
J119	JACK - (6) 2X4 SFF		1023	
J120	JACK - (3) 2X4 SFF STUD GRADE	ELA	1021	
J121	JACK - (3) 2X4 SFF STUD GRADE	ELA	1021	
J124	JACK - (3) 2X4 SFF STUD GRADE	ELA, EVA, BR, 6CC	1058	
J126	JACK - (3) 2X4 SFF STUD GRADE		1019	
J129	JACK - (2) 2X4 SFF		1023	
J129	JACK - (2) 2X4 SFF	6AA	1021	
J130	JACK - (2) 2X4 SFF		1023	
J131	JACK - 2X4 SFF STUD GRADE	6AA	1021	

FIRST FLOOR BEAM/HEADER SCHEDULE				
IDENTIFIER	DESCRIPTION	LENGTH	OPTIONS	ENG. N.M.
B102	BEAM STEEL - W12X30	22'-3"	6CC, ELA, BR	1057
B106	BEAM STEEL - W12X30	22'-3"	6CC, ELA, EVA, BR	1058
B104	EXT HEADER - 2X6 - 2 FLY	3'-10"	6AA	1021
PF102-3	LVL - 20	20'-2 1/2"	6CC, ELA, BR	1073
PF103-2	LVL - 11-04	13'-8 1/2"	6AA	1071

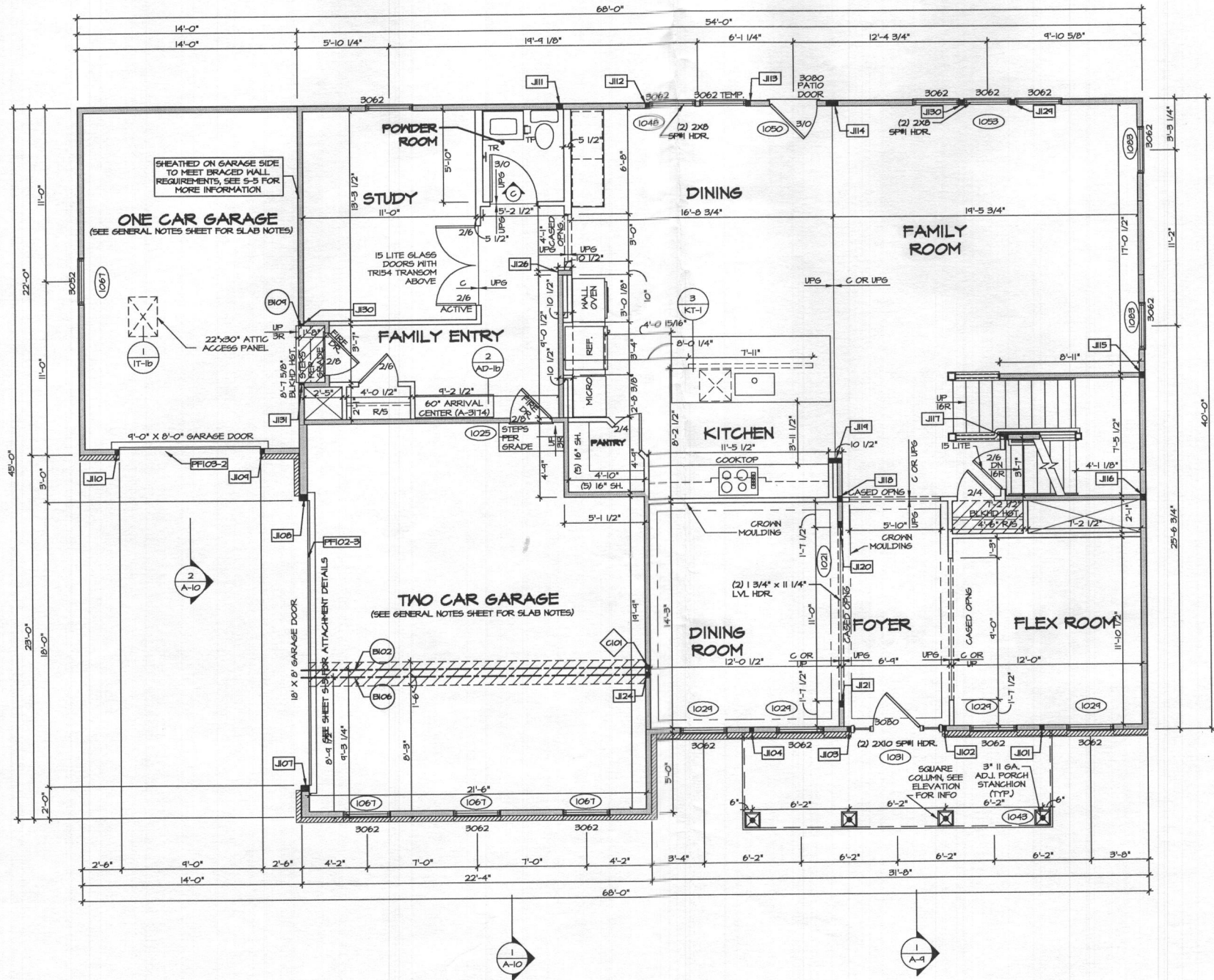
STEEL COLUMN SCHEDULE				
IDENTIFIER	STYLE	HEIGHT	OPTIONS	ENG. N.M.
C101	STANCHION - 3 IN SCHED 40	8'-0 3/4"		1057

LEGEND	
	BEARING WALL
	NON BEARING WALL
	INDICATES BEARING FROM POINT-LOAD ABOVE
	JACKS
	BEAM/HEADER
	PAD FOOTING
	STEEL COLUMN
	PORTAL FRAME
	JOIST/TRUSS
	LVL
	ENGINEERING PAGE NUMBER
SEE FC DETAILS FOR FRAMING CONNECTORS	

FLOOR PLAN NOTES	
1.	ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (3) 2x6 w/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
2.	ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
3.	ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
4.	HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
5.	SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
6.	ALL WINDOWS HAVE 8'-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
7.	ALL CASED OPENINGS AT 11'-11", UNLESS OTHERWISE NOTED.

GYPSUM NOTES	
AT GARAGE:	
5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.	
AT STAIRS:	
1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET	
WITH OPTION "SG1" - DRYWALL UNFINISHED BASEMENT CEILING AREA	

NOTES:	
•	1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED
•	A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0"x8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
•	PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

REMARKS

REV. NO. DATE

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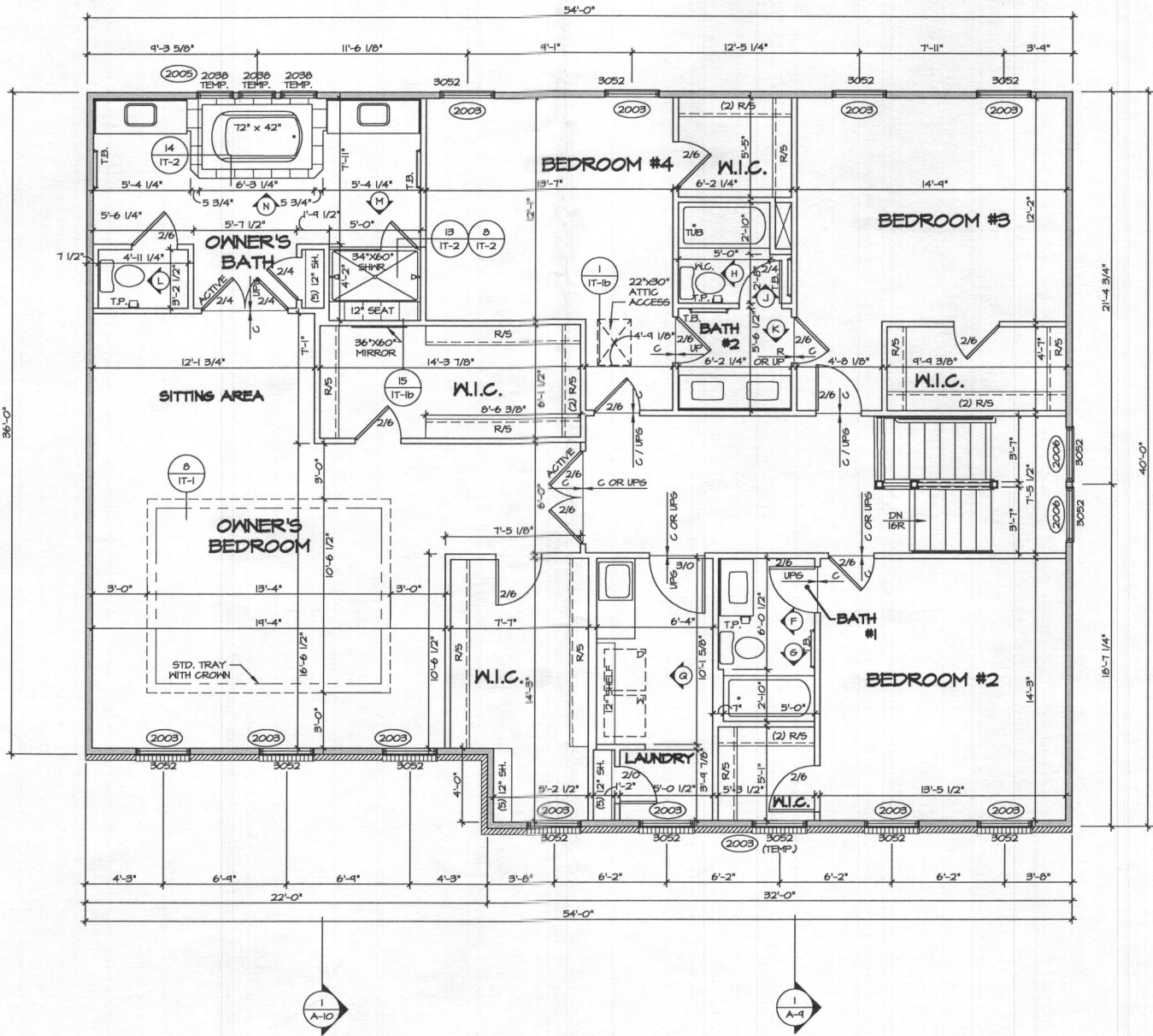
MODEL
MARYMOUNT
DRAWING TITLE
FIRST FLOOR PLAN
OPTION DESCRIPTION

SHEET NO.
A-7
25

SECOND FLOOR JACK SCHEDULE				
IDENTIFIER	DESCRIPTION	OPTIONS	ENG. NUM.	REMARKS

- FLOOR PLAN NOTES
- ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (3) 2x6 W/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
 - ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2" UNLESS OTHERWISE NOTED
 - HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
 - SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
 - ALL WINDOWS HAVE T-O 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
 - ALL CASED OPENINGS AT T-11", UNLESS OTHERWISE NOTED.

- LEGEND
- BEARING WALL
 - NON BEARING WALL
 - INDICATES BEARINGS FROM POINT-LOAD ABOVE JACKS
 - BEAM/HEADER
 - PAD FOOTING
 - STEEL COLUMN
 - PORTAL FRAME
 - JOIST/TRUSS
 - LVL
 - ENGINEERING PAGE NUMBER
- SEE FC DETAILS FOR FRAMING CONNECTORS



1 SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

REMARKS

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SECOND FLOOR PLAN

OPTION DESCRIPTION

A-8

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