



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits 410-313-2455

Date Received: _____

Permit No.: _____

Building Address: 7192 SANNER RD
City: CLARKSVILLE State: MD Zip Code: 21029
Suite/Apt. #: _____ SDP/WP/BA #: _____
Subdivision: _____
Lot: 2.920A Tax Map: _____ Parcel: 05356032

Existing Use: _____
Proposed Use: _____
Estimated Construction Cost: \$ _____

Description of Work: ADD DECK + SCREENED PORCH AT REAR OF HOUSE 500 S.F.

Occupant/Tenant Name: _____

Was tenant space previously occupied? ☐ Yes ☐ No

Contact Name: SAME AS ABOVE/JIMMY HUNTER
Address: 7192 SANNER RD
City: CLARKSVILLE State: MD Zip Code: 21029
Phone: _____ Fax: _____
Email: _____

Property Owner's Name: Jimmy Hunter
Address: 7192 Sanner Rd 21029
City: CLARKSVILLE State: MD Zip Code: 21029
Phone: 301 855 8669 Fax: _____
Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: BETTER LIVING RENOVATIONS
Address: 5310 BEAUCHOW CT
City: WEST RIVER State: MD Zip Code: 20778
Phone: 301 784 6388 Fax: _____
Email: BETTERLIVINGRENO@aol.com

Contractor Company: BETTER LIVING RENOVATIONS
Contact Person: Darrell Williamson
Address: 5310 BEAUCHOW CT
City: WEST RIVER State: MD Zip Code: 20778
License No.: 130560
Phone: 301 784 6388 Fax: _____
Email: BETTERLIVINGRENO@aol.com

Engineer/Architect Company: SEBRING ENGINEERING
Responsible Design Prof.: MICHAEL VON BUHR
Address: P.O. Box 222561
City: CHANTILLY State: VA Zip Code: 20153
Phone: 703 830 3200 Fax: _____
Email: eng-manager@sebringengineering.com

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input type="checkbox"/> SF Dwelling	<input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width	
Gross area, sq. ft./floor:	1st floor:	
	2nd floor:	
Area of construction (sq. ft.):	Basement:	
	<input type="checkbox"/> Finished Basement	
Use group:	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
Construction type:	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:	
<input type="checkbox"/> Structural Steel	Multi-family Dwelling	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
➤ Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input type="checkbox"/> No	Roof:	
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Electric:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input type="checkbox"/> Private	
Heating System	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Darrell Williamson
Email Address: BETTERLIVINGRENO@aol.com
Title/Company: President

Print Name: Darrell Williamson
Date: 6-13-19

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health		

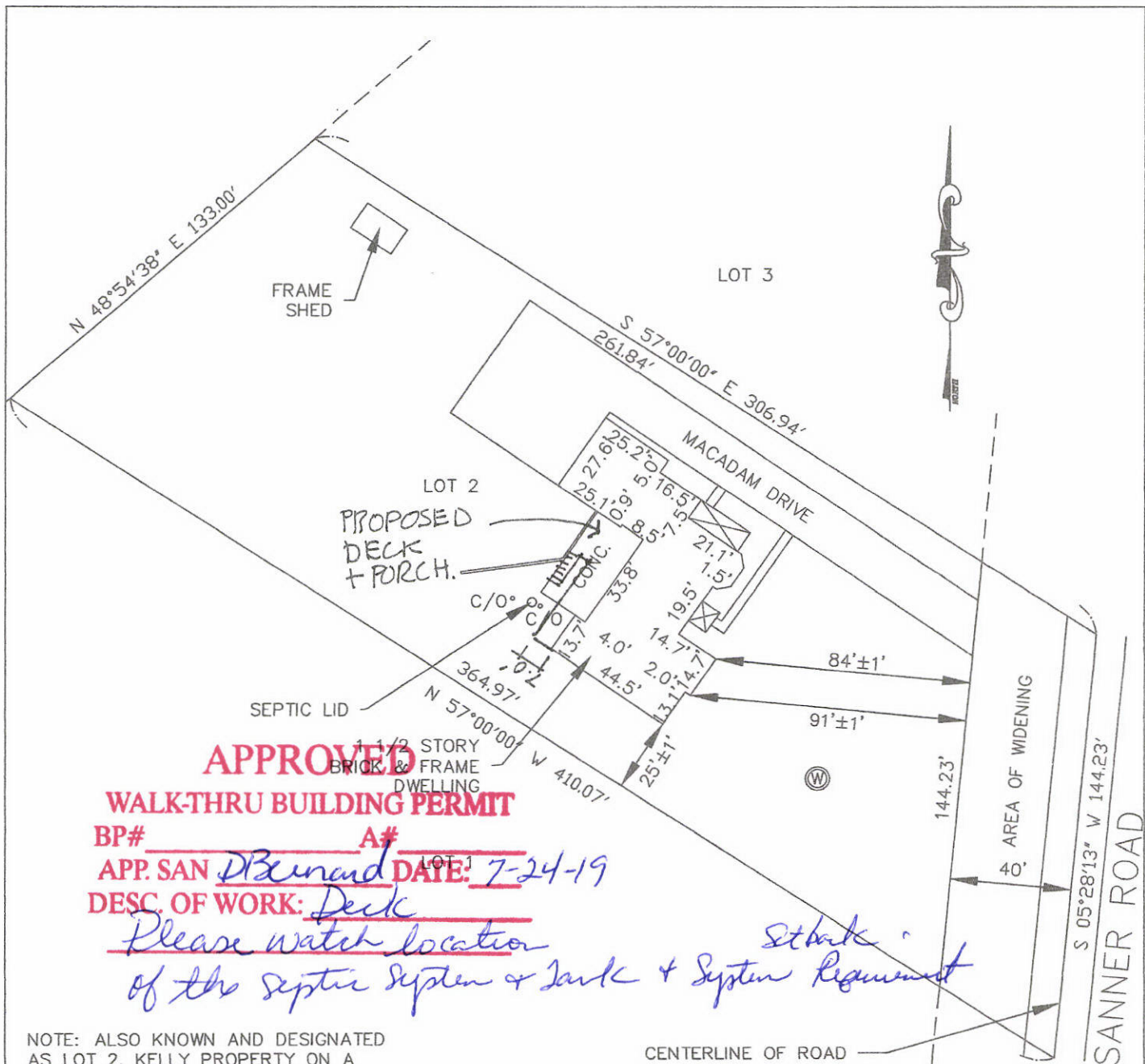
Is Sediment Control approval required for issuance? ☐ Yes ☐ No
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION

Front: _____
Rear: _____
Side: _____
Side St.: _____
All minimum setbacks met? ☐ Yes ☐ No
Is Entrance Permit Required? ☐ Yes ☐ No
Historic District? ☐ Yes ☐ No
Lot Coverage for New Town Zone: _____
SDP/Red-line approval date: _____

Filing Fee	\$
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	#

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA



APPROVED
WALK-THRU BUILDING PERMIT

BP# _____ A# _____
 APP. SAN DBernard DATE: 7-24-19
 DESC. OF WORK: Deck
Please watch location
of the septic system & tank & system requirement

NOTE: ALSO KNOWN AND DESIGNATED
 AS LOT 2, KELLY PROPERTY ON A
 SUBDIVISION PLAT RECORDED IN
 HOWARD COUNTY MARYLAND IN
 LIBER 1963 FOLIO 688

DEED REF.: 11279/512

- 1) The plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing;
- 2) The plat is not to be relied on upon for the establishment or location of fences, garages, building, or other existing or future improvements;
- 3) The plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.

LOCATION DRAWING

#7192 SANNER ROAD HOWARD COUNTY MARYLAND

JOHN C. MELLEMA SR., INC.

LAND SURVEYORS

5409 EAST DRIVE BALTIMORE, MARYLAND 21227 (410)247-7488

SCALE:

1"=50'

DATE:

6-3-19

JOB NO:

19168

