

Building Permit Application
Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received:

www.howardcountymd.gov

Permit No.: 8180032

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Building Address: 15081	LOX DUTY YOUQU	24. 182	Property Owner's Name:	M NOX		A CONTRACTOR
City: State:	Zip Code:	731	Address:Str	te	Zin Code	4117
142	P/WP/BA #:		Phone:	Fax	zip code.	
Suite/Apr. #		or interest	Email:	11/1	TO A STATE OF THE	
		91			(in	Carrier Si
Lot:Tax Map:	Parcel:	£ 3	Applicant's Name & Mailing As Applicant's Name:			ierein)
			Address:	Lavines Green	Start Comment	sill [®]
Existing Use:			City:	tate:	Zip Code	
Proposed Use:		and the same	Phone:	Fax:		- harmon mass
Estimated Construction Cost: \$	1200	}	Email:			
Description of Work:	F		Contractor Company:	and the same of th	1 3 3 1 1	1 to the second
- July	IN OFBERT		Contact Person:	Lavida	1	1
	100		Address:	MARIN	and the second	
	and the state of t		City: State		Zip Code:	
			License No. :			
		1	Phone: Email:			T WE WE
Occupant/Tenant Name:	YAN DULL	1	Email:		<u> </u>	, , ,
Was tenant space previously occupied		Mo	Engineer/Architect Company: _	one of the second	IL Alle	* 1
Contact Name:	The state of the s	A 1.5	Responsible Design Prof.:			
Address:			Address: 12 12 Mile			1/4
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City:			City: State			
Phone:			Phone: 44 3 646 5 / 9			
Email:	who cam		Email:	one in	12 7 1 1 2 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1. MA
Commercial Building Characteristics	Residential Building Ch	aracteristics	Utilities			
Height:	SF Dwelling SF Tow			No		
No. of stories:	<u>Depth</u>	Width /		No	1967 (177)	
Gross area, sq. ft./floor:	1st floor:	the Control	Water Supply		And the second	
	2 nd floor:	74	☐ Public		4	
Area of construction (sq. ft.):	Basement:		Private			
Use group:	Unfinished Basement		Sewage Disposa	1 ,	- 443	
No.	☐ Crawl Space		☐ Public		7.	
Construction type:	☐ Slab on Grade	ng.	Private			
☐ Reinforced Concrete ☐ Structural Steel	No. of Bedrooms: Multi-family Dw	lan a	Heating System			
☐ Masonry	No. of efficiency units:	elling	☑ Electric ☐ Oil		40000000000000000000000000000000000000	
☐ Wood Frame	No. of 1 BR units:		☐ Natural Gas ☐ Propane	Gas		
☐ State Certified Modular	No. of 2 BR units:	1,	☐ Other:	3-11-700		
	No. of 3 BR units:		Sprinkler System	<u>:</u>		
	Other Structure:	·	☐ Yes ☐ No		Zasa Barpa Artika	
> Roadside Tree Project Permit	Dimensions: Footings:					
DYes BNo	Roof:		Grading Permit	Number:		
Roadside Tree Project Permit #	☐ State Certified Modul	ar				
	☐ Manufactured Home		Building Shell Perr	nit Number:		
THE UNDERSIGNED HEREBY CERTIFIES AND AGRE WITH ALL REGULATIONS OF HOWARD COUNTY WAPPLICATION; (5) THAT HE/SHE GRANTS COUNTY Applicant's Signature	HICH ARE APPLICABLE THERETO; (4)	THAT HE/SHE WILL P TO THIS PROPERTY FO	ERFORM NO WORK ON THE ABOVE REFER	ENCED PROPERTY	NOT SPECIFICALLY D	ESCRIBED IN THIS
dean a docte	com	1	9/4/18			
Email Address		Dat	Company and the second of the	white the same of the Aller	A Property of	· 二度與17.3.
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Owner	a till skyring i film i styrren en er	Andrew Control of the Little Control				
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Owner			NANCE OF HOWARD COUNTY		e. Th	3,457,2444
Owner		DIRECTOR OF FIN	'LY & LEGIBLY**			
Title/Company		DIRECTOR OF FIN EASE WRITE NEAT FOR OFFICE I	'LY & LEGIBLY**	Filing Fee	\$	
Title/Company	**PL	DIRECTOR OF FINEASE WRITE NEAT FOR OFFICE L DPZ SETBACK Front:	LY & LEGIBLY** USE ONLY-	Permit Fee		Sugar State
Title/Company AGENCY DATE State Highways	**PL	DIRECTOR OF FIN EASE WRITE NEAT FOR OFFICE I	LY & LEGIBLY** USE ONLY-		\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
AGENCY DATE State Highways Building Officials	**PL	DIRECTOR OF FINE EASE WRITE NEAT -FOR OFFICE L DPZ SETBACK Front: Rear: Side: Side St.:	LY & LEGIBLY** USE ONLY- INFORMATION	Permit Fee Tech Fee Excise Tax PSFS	\$ \$	
Title/Company AGENCY DATE State Highways	**PL	DIRECTOR OF FIN EASE WRITE NEAT FOR OFFICE L DPZ SETBACK Front: Rear: Side: Side St.: All minimum	LY & LEGIBLY** USE ONLY-	Permit Fee Tech Fee Excise Tax	\$ \$ \$ \$ Fund \$	

Health

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2/15/19

Is Sediment Control approval required for issuance? ☐ Yes ☐ No ☐ CONTINGENCY CONSTRUCTION START

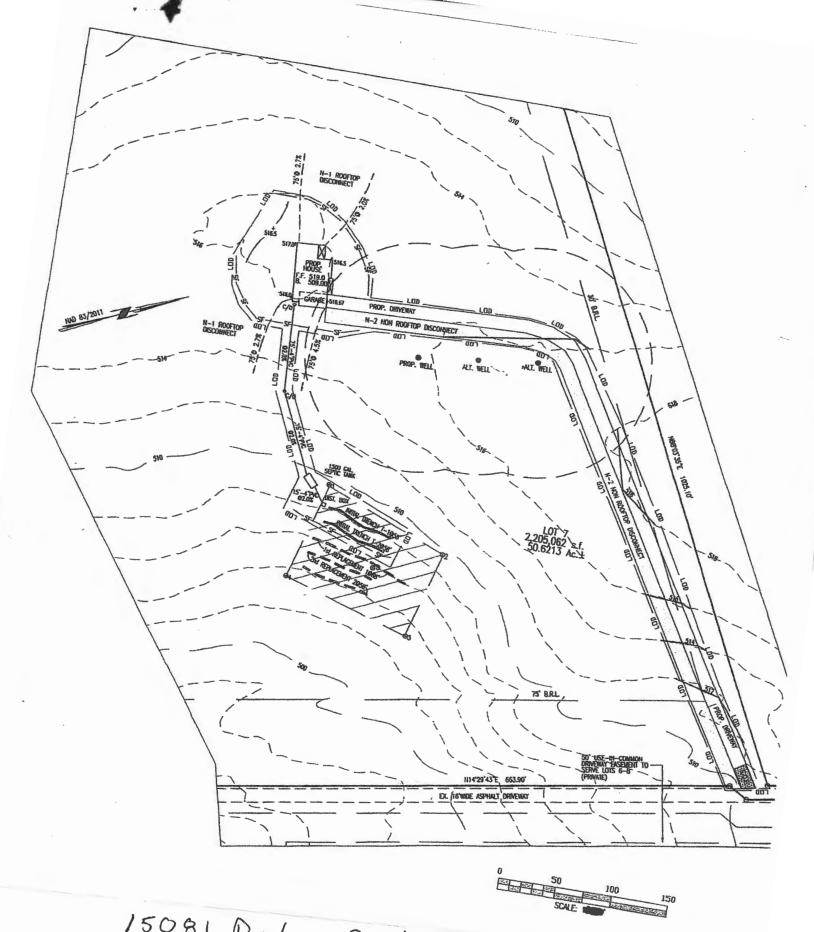
H. Oswald

Lot Coverage for New Town Zone: SDP/Red-line approval date:

Sub- Total Paid

Balance Due Check

#



15081 Roxbury Road Glenela, MD Road Lot 7 - Chase Farm

From: Oswald, Hank

Sent: Friday, February 15, 2019 1:38 PM

To: 'DEAN@DUBBE.COM'
Cc: 'ron@vanmar.com'

Subject: Building Permit B18003232 (15081 Roxbury Road)

Hello Mr. Dubbe:

The OSDS Plan and building permit (B18003232) for 15081 Roxbury Road has been approved by the Health Department. Should you have any questions, please don't hesitate to ask.

Respectfully,

Hank

Hank Oswald
Licensed Environmental Health Specialist
Howard County Health Department
Bureau of Environmental Health
Well & Septic Program
8930 Stanford Boulevard
Columbia, MD 21045
410.313.1786 (Office)
hoswald@howardcountymd.gov

CONFIDENTIALITY NOTICE

From:

Oswald, Hank

Sent:

Monday, September 24, 2018 8:34 AM

To:

'DEAN@DUBBE.COM'; 'mike@crosenhomes.com'; 'ron@vanmar.com'

Subject:

B18003232_15081 Roxbury Road_Well

Good morning All:

This office has received a building permit for a SFD located on 15081 Roxbury Road, Chase Farm, Lot 7. At this time, the file does not contain a well completion report. Prior to approval of the building permit, a well must be installed and approved by this office. In addition, the OSDS Plan must be revised to show the well location and well tag number under note #4.

Should you have any questions, or wish to discuss this, please don't hesitate to contact me.

Respectfully,

Hank

Hank Oswald
Licensed Environmental Health Specialist
Howard County Health Department
Bureau of Environmental Health
Well & Septic Program
8930 Stanford Boulevard
Columbia, MD 21045
410.313.1786 (Office)
hoswald@howardcountymd.gov

CONFIDENTIALITY NOTICE

From:

Oswald, Hank

Sent:

Friday, August 24, 2018 2:46 PM

To:

'ron@vanmar.com'

Subject:

Chase Farm Lot 7

Attachments:

OSDS_Memo To Vamar__2018.pdf

Hi Ron:

Attached, please find memo pertaining to the OSDS Plan for Chase Farm, Lot 7. I don't see a well tag # on the plan and I could not locate a completion report for this lot. Do you know if a well has been drilled on this lot?

Thanks,

Hank

Hank Oswald
Licensed Environmental Health Specialist
Howard County Health Department
Bureau of Environmental Health
Well & Septic Program
8930 Stanford Boulevard
Columbia, MD 21045
410.313.1786 (Office)
hoswald@howardcountymd.gov

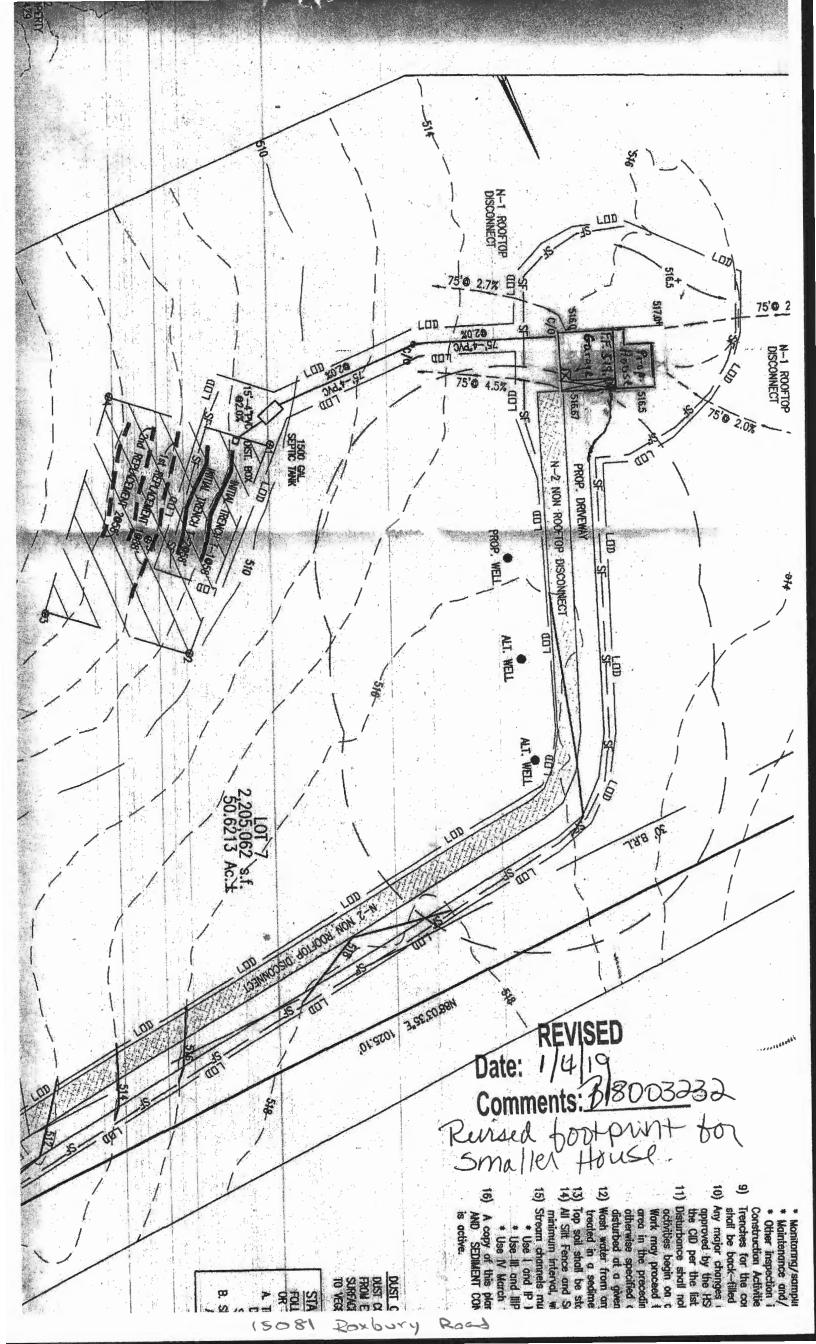
CONFIDENTIALITY NOTICE

COMPLETE THIS FORM WHEN DROPPING OFF ANY CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:

DLI	THE THE PARTY OF T	IS COUNTER.
Date:	1/4/18	RECERT
To:	Dan Surnells	RECEIVED
10:	(Person's Name and Division)	JAN 07 2019
From:	(Person's Name and Division) Dean Dulle (Rexerry View 4L (30)) 807 7903 (Your Name, Company Name and Telephone Number)	PLAN REVIEW DIVISION
Subject	Project name Lat 7 Chase Farm,	
	Project site address 15081 Roxbur, Road Glinela	MD 21737
	Permit# B18003232 SDF# G-P-19-13	.,
	Project site address 15081 Rox by Rock Glinels Permit # B18003232 SDP# GP-19-13 Other information pertinent to this project Revising Size of house s	maller
✓ Pleas	se check the attachments below that you are submitting with this transmittal:	
	Letter of response to address plan review comment letter	
V	Revised plans and/or revised details: When submitting for a complete re-review, duplicate s	sets shall be submitted.
	Letter Summarizing Changes	
	Energy conservation calculations	
	Copies of (be specific).	
	Health Department Request DPZ/ DED Request	Applicant's Request
	Two sets of single family dwelling model plans to be placed on permanent file: Model name	
	Other	
	Contact Person Information: (Required)	
		A . 7 7 4 A 3
	Dean Dubbe Telephone No: 301	
	Please Print Name E-Mail Address: dean	pauble.com
DIE	CE ACCURE ALL DOCUMENTS AND/OD DEVISIONS ARE ADDRODDIATELY SIGN	VED AND SEALED IF
NECES NECES	SE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY <u>SIGN</u> SSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED	<u>VED AND SEALED, IT</u> THAT INSUFFICIENT
INFOR	RMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER.	. THE DEPARTMENT
	SPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROP THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND A	
	THE BUILDING PERMIT IS APPROVED BY THE PLAIN REVIEW DIVISION AND AN TORY AGENCIES, AND THE BUILDING PERMIT <u>IS</u> READY FOR ISSUANCE, TH	
WILL	NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP.	ALL PERMIT STATUS
	RIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE I	
AND P	PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVIS SE ALLOW A <u>MINIMUM OF FIVE (5) WORKING DAYS</u> FOR ANY PLAN SUBMITTA	LS TO BE REVIEWED.
	K YOU.	
	CC: Health	JAN 4 AM10:19
Receive	dby TWIIIW	i Materia attition a, with
White-P	Plan Review / Yellow-Applicant / Pink-Permit Division	

t:\Operations\Updated forms\transmit.frm - Rev. 04/2014

Poxbwy View LLC.



From:

Oswald, Hank

Sent:

Friday, January 11, 2019 10:53 AM

To:

'mike@crosenhomes.com'

Subject:

B18003232_15081 Roxbury Road_New Floor Plans

Hi Mike:

Good morning. Can you send a pdf version of the new floor plans for B18003232 (15081 Roxbury Road). I am having a little trouble lining up the old version with the new.

Thanks,

Hank

Hank Oswald
Licensed Environmental Health Specialist
Howard County Health Department
Bureau of Environmental Health
Well & Septic Program
8930 Stanford Boulevard
Columbia, MD 21045
410.313.1786 (Office)
hoswald@howardcountymd.gov

CONFIDENTIALITY NOTICE

Anest, Cathy

From:

Crystal Jones <cjones@bhbcmd.com>

Sent: L

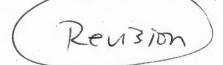
Friday, January 04, 2019 4:36 PM

To:

Anest, Cathy

Subject:

Re: Building Permit #B18004038



[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Please let me know you received.

Thanks,

On Thu, Jan 3, 2019 at 2:54 PM Crystal Jones < ciones@bhbcmd.com > wrote: Good afternoon Cathy,

As per our conversation the plans for the Oxfordshire have already been submitted and assigned builder permit #B18004038. Please include a finished basement with exercise room, recreation room, home theatre room, den, bath and finished storage.

Please confirm you received this email.

Thanks,

Crystal Jones BHBC Operations Manager ciones@bhbcmd.com

(P) 443-681-2400

(C) 704-352-8620

(F) 443-681-2403



From:

Mike Crosen <mike@crosenhomes.com>

Sent:

Friday, January 11, 2019 11:11 AM

To:

Oswald, Hank

Subject:

RE: B18003232_15081 Roxbury Road_New Floor Plans

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Yes keeping with large septic

Michael Crosen

<u>mike@crosenhomes.com</u> Custom Homes & Remodeling 443.324.4775



From: Oswald, Hank [mailto:hoswald@howardcountymd.gov]

Sent: Friday, January 11, 2019 11:10 AM

To: Mike Crosen

Subject: RE: B18003232_15081 Roxbury Road_New Floor Plans

The septic plan is sized for 5 bedrooms. Are they keeping that plan?

From: Mike Crosen [mailto:mike@crosenhomes.com]

Sent: Friday, January 11, 2019 11:08 AM

To: Oswald, Hank

Subject: RE: B18003232 15081 Roxbury Road New Floor Plans

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Yes, also small powder room on first floor where you enter. The other house in the file is no longer being built on the farm.

Michael Crosen

mike@crosenhomes.com Custom Homes & Remodeling 443.324.4775



From: Oswald, Hank [mailto:hoswald@howardcountymd.gov]

Sent: Friday, January 11, 2019 11:07 AM

To: Mike Crosen

Subject: RE: B18003232_15081 Roxbury Road_New Floor Plans

Hi Mike:

The house is composed of a garage and rec room on the first floor and a hobby room with full bathroom on the 2nd floor

Hank

From: Mike Crosen [mailto:mike@crosenhomes.com]

Sent: Friday, January 11, 2019 11:00 AM

To: Oswald, Hank

Subject: RE: B18003232_15081 Roxbury Road_New Floor Plans

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Here is the latest and greatest.

Michael Crosen

mike@crosenhomes.com Custom Homes & Remodeling 443.324.4775



From: Oswald, Hank [mailto:hoswald@howardcountymd.gov]

Sent: Friday, January 11, 2019 10:53 AM

To: 'mike@crosenhomes.com'

Subject: B18003232_15081 Roxbury Road_New Floor Plans

Hi Mike:

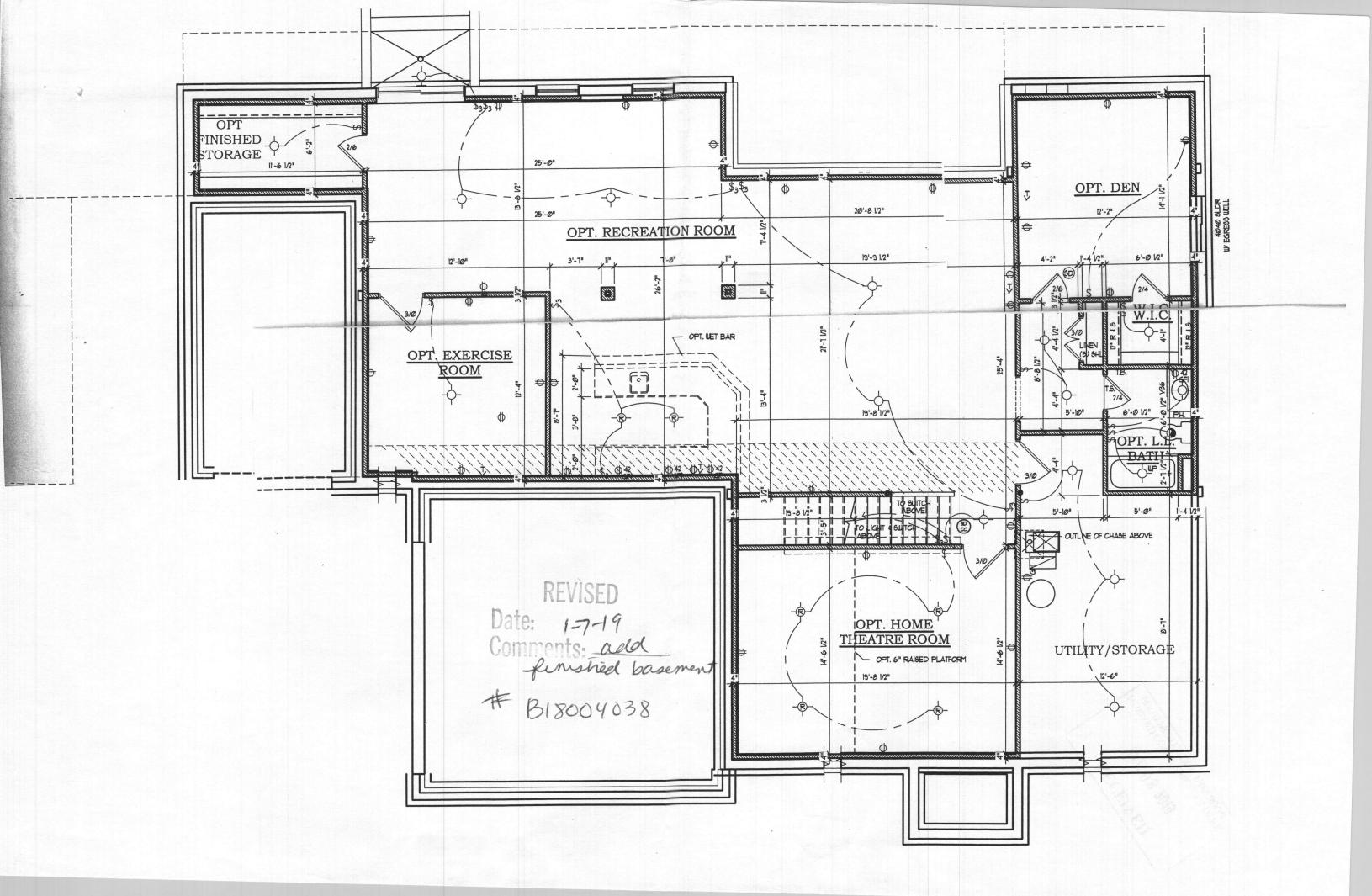
Good morning. Can you send a pdf version of the new floor plans for B18003232 (15081 Roxbury Road). I am having a little trouble lining up the old version with the new.

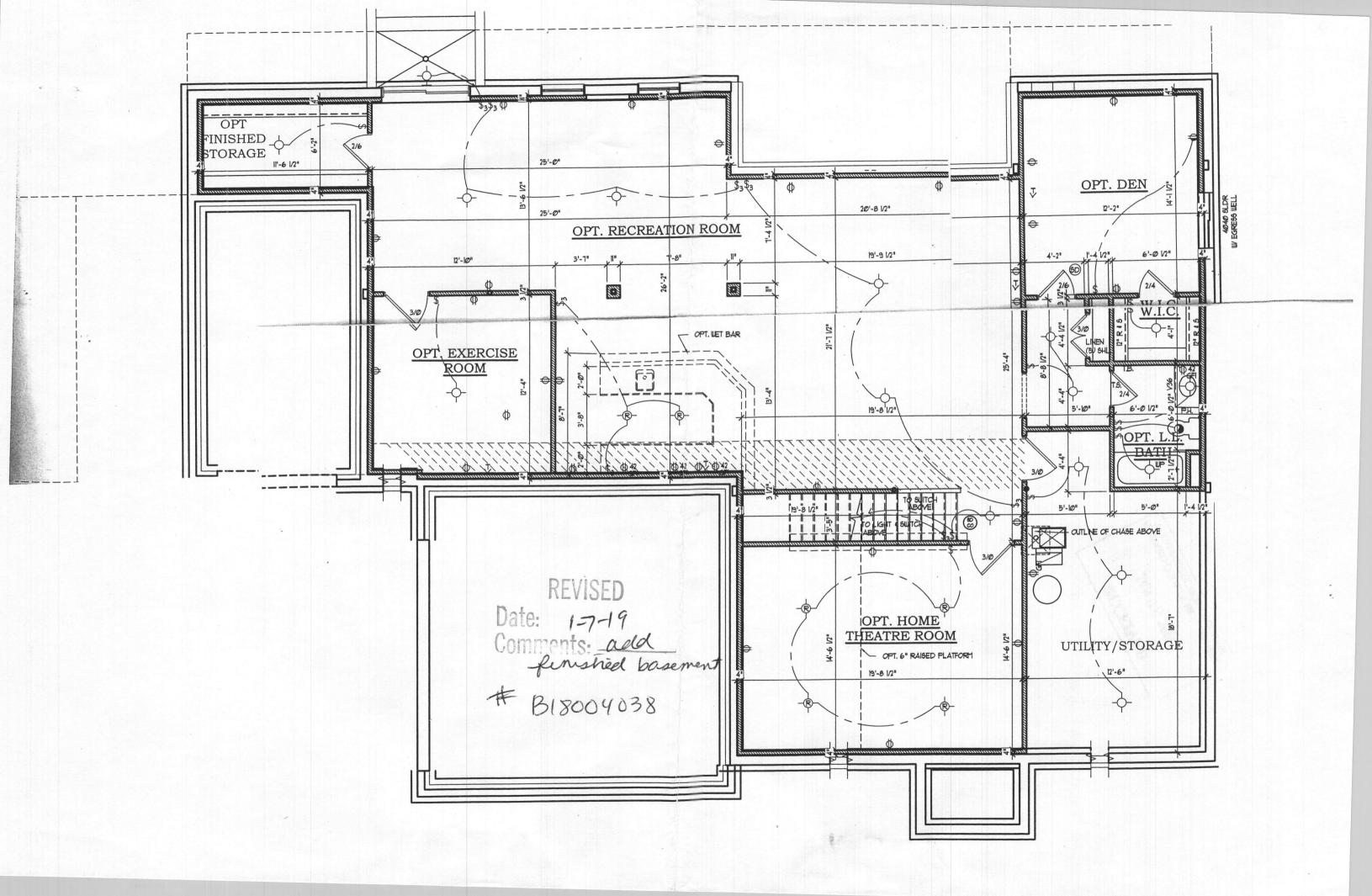
Thanks,

Hank

Hank Oswald
Licensed Environmental Health Specialist
Howard County Health Department
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hoswald@howardcountymd.gov

CONFIDENTIALITY NOTICE





2015 IECC CODE COMPLIANCE

2015 IECC CODE COMPLIANCE R301.1 Climate zone 4A

R401.2 Compliance Method: Mandatory and Prescriptive Provisions

R402.1.1 Vapor Retarder: Wall assemblies in the building thermal envelope shall comply with vapor retarder requirements of Section R702.7 of the International Residential Code, 2015

R402.1.2 Attic Insulation:Raised Heel Trusses R-49 R-38

R402.1.2 Wood Frame Wall: R-20 or R13 + R5 continuous insulation

R402.1.2 Basement Wall Insulation: R-13/R-10 Foil Faced Continuous, uninterrupted Batts Full Height

R402.1.2 Crawl Space Wall Insulation: R-13/R-10 Foil faced Continuous Batts Full Height extending from floor above to finishgrade level and then vertically or horizontally an additional 2'

R402.1.2 Floor Insulation over Unconditioned Space: R-19 batt insulation.

R402.1.2 Window U-Value/SHGC .35 (U-Value)/.40 (SHGC)

R402.2.10 Slab on Grade Floors Less Than 12" Below Grade: R-10 Rigid Foam Board Under Slab Extending Either 2' -0" Horizontally or 2'-0" Vertically

R402.2.4 Attic Access: Attic access scuttle will be weatherstripped and insulated R-49

R402.4 Building Thermal Envelope (air leakage): Exterior walls and penetrations will be sealed per this section of the 2015 IECC with caulk, gaskets, weatherstripping or an air barrier of suitable material. Sealing methods between dissimilar materials shall allow sealing for differential expansion and contraction.

R402.4.1.2 Building Thermal Envelope Tightness Test: Building envelope shall be tested and verified as having an air leakage rate of not exceeding 3 air changes per hour. Testing shall be conducted in accordance with ASTM E779 or ASTM E 1827 with (blower door) at a pressure of 0.2 inches w.g. (50 pascals). Testing shall be conducted by an approved third party. A written report of the results of the test shall be signed by the party conducting the test and provided to the building inspector.7/15

R402.4.2 Fireplaces: New wood burning fireplaces will have tight-fitting flue dampers or doors, and outdoor combustion air. Fireplace doors shall be listed and labeled in accordance with

R402.4.4 Rooms containing fuel-burning appliances where open combustion air ducts provide combustion air to open combustion fuel burning appliances, the appliances and combustion air shall be located outside the building thermal envelope or enclosed in a room isolated from inside the thermal envelope. Exceptions: 1. Direct vent appliances with both intake and exhaust pipes installed continuous to the outside. 2. Fireplaces and stoves complying with Section R402.4.2 and Section R1006 ++++

R402.4.5 Recessed Lighting: Recessed luminaries installed in the building thermal envelope shall be sealed to limit air leakage.

R403.1.1 Thermostat: All dwelling units will have at least (1) programmable thermostat for each separate heating and cooling system per 2015 IECC Section 403.1.1.

R403.1.2 Where a Heat pump system having supplementary electric resistance heat is used the thermostat shall prevent the supplementary heat from coming on when heat pump can

R403.3.1 Mechanical Duct Insulation: Supply and Return Ducts in Attic R-8 minimum, R-6 when less than 3 inches. Supply and Return Ducts outside of conditioned spaces R-8 minimum. All other ducts except those located completely inside the building thermal envelope R-6 minimum. Ducts located under concrete slabs must be R-6 minimum.

R403.3.2 Duct Sealing: All ducts, air handlers, filter boxes will be sealed. Joints and seams will comply with section M1601.4.1 of the IRC. A duct tightness test ("Duct Blaster" duct total leakage test) will be performed on all homes and shall be verified by either a post construction test or a rough-in test. Duct fightness test is not required if the air handler and all ducts are

R403.6 Mechanical Ventilation: Outdoor (make-up and exhausts) air ducts to be provided with automatic or gravity damper that close when the ventilation system is not operating.

R403.6.1 Whole-house mechanical ventilation system fan efficiency to comply with TABLE R403.6.1.

R403.7 Equipment Sizing shall comply with R403.7.

R404.1 Lighting Equipment: A minimum of 75% of all lamps (lights) must be high-efficacy lamps. This contractor also responsible for generating Certificate of Compliance and affixing to electrical panel or within 6 feet of the electrical panel and be readily visible.

GENERAL FRAMING NOTES

DOUBLE ALL FLOOR JOISTS UNDER WALLS ABOVE, THAT ARE FRAMED PARALLEL TO FLOOR FRAMING UNLESS NOTED OTHERWISE ON THE PLANS.

ALL FLOOR JOISTS, CEILING JOISTS & RAFTERS ARE TO BE S.P.F.

ALL BEAMS, GIRDERS AND HEADERS ARE TO BE DOUG. FIR LARCH #2 OR BETTER WITH A Fb RATING OF 875 AND MODULUS OF ELASTICITY OF 1,600,000 MIN. UNLESS OTHERWISE NOTED.

ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDERS AND HEADERS LABELED ON THE PLANS, TO HAVE A F6 RATING OF 2,950 AND MODULUS OF ELASTICITY OF 2,000,000 MIN. UNLESS OTHERWISE NOTED. STRUCTURAL LAMINATED BEAMS TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

ALL STRUCTURAL OPENINGS TO RECEIVE MIN. 3-2x10 HEADERS W/ 1/2" RIGID INSULATION FILLER & 1 JACK STUD EACH END UNLESS NOTED OTHERWISE.

PROVIDE SOLID 2x10 BLOCKING TO BE LOCATED BETWEEN FLOOR JOISTS WHERE POSTS, FROM ABOVE, CARRYING STRUCTURAL HEADERS LAND BETWEEN FLOOR JOIST BELOW. BLOCKING TO BE BUILT UP TO THE SAME WIDTH AS POST IT IS CARRYING ABOVE.

PROVIDE ADEQUATE CLEARANCE @ PLUMBING STACKS AS REQ.

ALL DIMENSIONS MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR BEFORE START OF CONSTRUCTION, ANY DISCREPANCIES ON THE PLANS, OR SPECIFICATIONS, MUST BE REPORTED TO THE ARCHITECT OF ENGINEER PRIOR TO THE START OF CONSTRUCTION.

ANY VARIATION FROM THESE PLANS THAT WILL REQUIRE CHANGES TO THE STRUCTURAL MEMBERS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.

WHERE APPLICABLE, REFER TO ENGINEERED LUMBER MFR'S SPECIFICATIONS FOR MULTI-MEMBER **INSTALLATION & CONNECTION REQUIREMENTS**

FASTEN MULTIPLE MEMBER JACKS TOGETHER W/ MIN. 10d NAILS @ 8" O.C. STAGGERED ALONG ENTIRE LENGTH OF MEMBERS. PROVIDE NAILING W/IN 3" OF TOP OR BOTTOM OF MEMBERS.

FASTEN MULTIPLE MEMBER BEAMS TOGETHER W/ MIN 16d NAILS @ 12" O.C. STAGGERED ALONG ENTIRE LENGTH OF MEMBERS. TWO ROWS REQUIRED FOR DEPTHS UP TO 12". THREE ROWS REQUIRED FOR DEPTHS OF 12-18". PROVIDE NAILING W/IN 22" OF EACH END OF MEMBERS. FOR BEAMS 7" OR GREATER IN WIDTH PROVIDE BOLTED CONNECTION W/ ASTM GRADE A-307 (OR BETTER) 1/2" DIA. BOLTS IN TWO ROWS 3" FROM EACH END OF BEAM @ 24" O.C. STAGGERED.

DESIGN CRITERIA

CLIMATE AND GEOGRAPHIC DESIGN CRITERIA - table 301.2 (1)

GROUND SNOW LOAD	30		
WIND PRESSURE (pound	17 +/- (90 m.p.h.)		
SEISMIC CONDITION B	SEISMIC CONDITION BY ZONE		
SUBJECT TO DAMAGE	SEVERE		
	FROST LINE DEPTH	30	
	TERMITE	MODERATE	
	DECAY	MODERATE	
WINTER DESIGN TEMP. I	13°		
RADON RESISTANT CON	NSTRUCTION REQ		
FLOOD ZONE			

5.01 SECTIONS 5.02 **SECTIONS** WALL SECTIONS

DRAWING LIST

COVER SHEET

GENERAL INFO

ELEVATIONS

ELEVATIONS

FOUNDATION

FIRST FLOOR PLAN

BRACING PLANS

BRACING DETAILS

SECOND FLOOR PLAN

0.02

1.01

1.02

2.01

3.01

3.02

3.52

License Number #14678

0

AREA INFO

FLOOR	SQUARE FOOTAGE
SECOND FLOOR	631 s.f.
FIRST FLOOR	418 s.f.
GARAGE	651 s.f.
FOOTPRINT	1,196 s.f.

CODE INFORMATION

2015 International Residential Code 2011 National Electrical Code with Local Amendments (NFPS 70) 2012 International Mechanical Code 2012 Life Safety Code 2009 National Standard Plumbing Code III. 2009 National Fuel Gas Code (NFPA 54) 2015 International Energy Conservation Code

ITEMS OF PARTICULAR NOTE

- Contractor, sub-contractor or supplier shall verify all job conditions and measurements prior to commencing work or ordering materials. Discrepancies between dimensions shown on drawings and actual field conditions should be brought to the Architect and Owner's attention immediately for clarification prior to proceeding with work. These plans are not to be scaled for Construction purposes. Written dimensions and notes supersede all scaled reference. If there are any conflicts, discrepencies or ambiguity with dimensioning the Contractor shall notify the Architect immediately for clarification. Field verify ALL proposed dimensions

- As a matter of record, JRArchitecture, LLC shall not be responsible for construction means and methods or omissions by the contractor, sub-contractor or any other persons performing work in accordance with these drawings.

- On this Project, the Contractor shall have sole supervision over, and exclusive responsibility for: demolition and temporary construction; construction means, methods, techniques, sequences, procedures, safety precautions and safety programs in connection with all demolition and construction work; and protection of persons and property during construction until final completion is attained. Services performed by Architect or its consultants during construction, if any, are intended to promote the goal that, in general, the construction work, when fully

ONATHAN (443) 226-5745 JONATHAN RIVERA.COM

ROFESSIONAL CERTIFICATION certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland, License Number #14678 Expiration Date: 6/30/2020

Jonathan Rivera

enelg, Road Roxbury hase 0 5885 ot

ISSUE DATES:

12-13-18 **REVIEW SET**

SCALE: 1/4" = 1'-0"

INFO SHEET

Wednesday, January 02, 2019

The Architectural Works, Drawings, Specifications, Technical Drawings and other documents prepared by the Architect for this Project are instruments of the Architect's service for use solely with respect to this Project and, unless otherwise provided the alligned of the exclusive responsibility of the under this Agreement, except by agreement in writing and with appropriate compensation to the Architect is adjudged to be in default.

MASONRY

- Maximum vertical distance of unbalanced fill measured from the top of the lower level slab to outside finished grade shall not exceed the following, for unreinforced walls where unstable soil or ground water conditions do not exist.

Type of Wall	Height of Fill		
8" C.M.U.	4'-0"		
12" C.M.U. (hollow)	6'-0"		
12" C.M.U. (solid)	7'-0"		
8" Poured Concrete	7'-0"		
10" Poured Concrete	8'-0"		

- Masonry veneer shall be installed over 15# felt or approved water repellant sheathing. Through-wall flashing and weeps shall be provided at any location where interior space projects beyond the face of the veneer, i.e. bay windows, Off-set chimneys, etc...
- Masonry veneer shall be attached 16" o.c. each way and anchored in accordance with the local code requirements.
- Walls over 7'-0" or on unstable soil shall be engineered and certified by a registered professional engineer.
- Concrete masonry units shall meet ASTM C-90 Grade A solid block or ASTM C-145 Grade B Standards and be 28 DAYS OLD before installation. Minimum net compression strength of block to be 1500 psi.
- Parging over CMU walls to be not less than 3/8" Portland cement parging from footing to finished grade. Parging and poured concrete walls shall be covered with a coat of approved bituminous material applied at the recommended rate below grade.
- MASONARY LINTELS: Proivide lightweight pre-cast lintels for all openings and and recesses in CMU walls. Provide (1) 4x8 lintel for each 4" of wall thickness. Reinforce each lintel with two #4 bars at top and bottom and with #2 ties spaced 9" O.C., unless noted otherwise. Precast lintel to have minimum 8" bearing at each end. Such lintels shall not support any superimposed loads.
- Use Type "M" mortar for masonry below grade in contact with earth.
- Use Type "N" mortar for exterior above-grade load bearing and non-load bearing walls, and for other applications where another type is not indicated.

CONCRETE

- Concrete works shall conform to American Concrete Institute Standard 318-83
- Bottom of all footings shall be located a minimum of 30", (or as per local code) below finished grade. Steps or depth of footing / foundation may vary according to local site or frost conditions.
- All interior concrete slabs will be reinforced 6"x6"xW2.0xW2.0 WWF or control joints. Monolithic turned down slabs for townhouses shall have a control joint
- Concrete used in exposed areas implicit to freezing and thawing (both during construction and service life) shall be air-entrained in accordance with local code. Exterior flat-work shall be coated with an approved curing compound.
- Foundation walls of habitable rooms located below grade will be dampproofed or water proofed using materials/methods approved by local building jurisdiction.
- All work shall comply to local code.

Type of Concrete Construction	Minimum Specified Compressive Strength		
- Footings	3500 PSI		
- Interior Basement Slabs	3500 PSI		
- Foundation Walls	3500 PSI		
- Garage and Exterior Slabs	3500 PSI		
- Rat Slabs	2500 PSI		
(av as a sylvani pode)			

(or as per local code)

- REINFORCING BARS: ASTM A-615 and A-305, MESH: ASTM A-185.
- All interior slabs of 30 FEET or more in any dimension shall have WWF and Control
- Vapor barrier under all slabs EXCEPT garages:
- 7 MIL Polyethylene, Lap all edges 6", Lay over 4" Gravel bed.
- Exterior Concrete Slabs: 5% to 7% Air Entrained

WOOD

- Wall bracing shall be installed as per local code.
- All roof trusses and floor systems shall be braced and installed per manufacturer's specifications and as per local code. See manufacturer's plans for exact layout and construction.
- All trusses are to be stamped and certified by a registered engineer and meet TPI manufacturers minimum requirement.
- See drawings for plywood.
 - Tongue and groove floor decking glued and nailed (8d nails) on floor joists at 6" o.c. and 4" edge spacing maximum to meet the American Plywood Association Sturd-I-Floor system.
 - Tongue and groove floor decking glued nailed (8d nails) on pre-engineered floor joists at 6" o.c. and 4" edge spacing maximum to meet the American Plywood Association Sturd-I-Floor system.
- Fire-stopping shall be provided to cut-off concealed draft openings and to form an effective fire barrier between stories as per local code.
- All LVL's will be microlams will be manu. by Trus Joist McMillian (or equiv)
- Structural sawn lumber shall be SPF #1 or #2
- All exterior walls are 2x6 stud #16" centers, minimum SPF stud grade unless otherwise noted.
- All interior walls are 2x4 stud #16" centers, minimum SPF stud grade unless otherwise noted.
- All opening headers to be 3-2x10's w/3/4" plywood filler bearing on min. 2-2x6's studs, unless noted otherwise
- Joist hangers to be installed as required.
- All wood less than 8" from grade shall be pressure treated. All sole plates on slabs shall be pressure treated.
- Provide bearing at all structural members as required by local code.
- All materials shall be installed per manufacturer's specifications and as per applicable building codes.
- All multiple beam members will be glued together with liquid nails and screwed using 3" Deck Mate screw at 16" o.c. staggered 2" from the top and bottom of the depth of the beam.
- All work shall comply to local code.

METAL

- Strap anchors or anchor bolts shall be local code and building inspector approved: Minimum 2 straps/bolts per section of plating 12" Max. from each end and with intermediate strap/bolts at 6'-0" o.c. maximum. (or as per local code)
- Galvanized metal brick veneer ties shall be installed 16" o.c. each way.
- All steel shall conform to ASTM Specs for A-36 Steel.
- Metal joist hangers (Standard wood ledger) Shall be used where required at joist without direct bearing and be min.18 GA. galvanized steel. Use all nails specified by the manufacturer.
- Steel lintels for all opening and recesses in brick or Brick Faced Masonry wall not specifically detailed: Provide (1) steel angle for each 4" of wall thickness. Steel angles to have minimum 6"baering at each end. Horizontal leg shall be $3 \frac{1}{2}$, unless noted otherwise.
- LINTEL SCHEDULE (UNLESS NOTED OTHERWISE ON PLANS):

LOOSE LINTELS (STEEL AND PRECAST)

- 1. Provide loose lintels over penetrations in new masonry walls (and new penetrations in existing masonry walls) at doors, windows, mechanical and electrical services and equipment, etc...u.n.o.
- 2. Provide a steel angle for each 4" of masonry thickness bearing 6" minium on a full mortar bed as follows:

OPENINGS UP TO 3'	L3-1/2x3-1/2x5/16	
OPENINGS >3' TO 5'	L4x3-1/2x5/16, (LLV)	
OPENINGS >5' TO 8'	16x3-1/2x5/16 (IIV)	

3. Where required for architectural reasons, or as noted, provide precast concrete lintels bearing 8" min. on a full mortar bed as follows.

4" WALLS (8' max open.) 4"x8", Reinforced W/ 1#3 top & 1#5 bottom 6" WALLS (8' max open.) 6"x8", Reinforced W/ 1#3 top & 1#5 bottom 8"x8", Reinforced W/ 2#3 top & 2#5 bottom 8" WALLS (8' max open.)

- 4. When walls are present that are thicker than 8" use a combination of 4", 6" and 8" precast concrete lintels.
- Lintels shown shall not support any superimposed loads.
- All steel angles in masonry walls are to be flashed and painted.
- Paint all exterior ferrous or galvanized metals EXCEPT completely pre-finished factory items.
- All work shall comply to local code.

SITEWORK

- GENERAL: These drawings do not cover sitework, grading or landscaping
- Building foundations have been designed based on an assumed soil bearing capacity of 1500 PSF. Additional engineering is required if soil bearing capacity is less than 1500 PSF.
- Provide continuous perimeter foundation drainage in accordance with local code requirements. Where both interior and exterior drains are required, provide minimum 1 1/2' dia. bleeder pipes through mid line of footing at max 8" o.c. Typically, drains shall lead to sump pits or to positive daylight discharge points.
- Slope all stoops, porches, walks and exterior slabs away from building 1/8" minimum per foot.
- All work shall comply to local code.

WEATHER/THERMAL

- Insulation for slab on grade construction shall begin at the inside intersection of the slab and the foundation wall and shall extend for a minimum distance of 24" down the inside face of the foundation wall and horizontally 24" under the slab. For unheated slabs a material with an R-value of 42 is required: for heated slabs an R-value of 63 is required (or as per local code)
- Sill Sealer-compressible material shall be installed under all mud plates (foundation wall and wood floor systems) and sole plates (slab on grade)

R-Value	Thickness	Location
R-11 FS25	3 1/2"	Basement Walls
R-21	5 1/2"	2x6 Walls (exterior)
R-38	9"	Crawl Space
R-38	1	Floors exposed to unheated condition
R-49 Batt.	12"	Roof
R-49 Blown	1	Apply blown insulation as required by manufacturer's specifications

- Provide vents as per local code.
- Flashing: Prefinished aluminum or equal, at all roof offsets, chimneys, roof openings, hips, valleys, ridges, dormers and where roof intersects wall.
- Contractor shall maintain in all circumstances proper fire, sound and insulation ratings when penetrating through walls, floors, ceilings and roots.
- All miscellaneous penetrations during construction shall be patched and repaired according to manufacturer's specifications and as per code.
- All exterior joints between windows, doors and other surfaces shall be caulked and sealed appropriately.
- DAMPPROOFING: Apply (1) coat of asphalt emulsion to exterior of all below grade walls at basement conditions. When habitable space occurs below grade, provide waterproofing membrane, aqueous based elastometric, vinyl acrylic mastic, 35 Mil. min. thickness or other approved equal.
- SLAB VAPOR BARRIER: 7 Mil. polyethlene sheet where noted on drawings. Overlay all edges 6".
- SILL SEALER: ½" x 5 ½" compressible fiberglass beneath all exterior sill plates or other approved sill sealer.
- Provide approved corrosion-resitive flashing at the intersections of masonry and wood frame construction; over projecting wood trim; where decks, porches etc. attach to wood frame construction; at wall and roof intersection; at chimney and roof intersections; in roof valleys; at all roof penetrations; and at wall openings if recommeded by window and door manufacturers.
- Slab perimeters exposed to outside or within 30" of grade; 4.5x24", either vertical or horizontal from slab intersection.
- ROOFING: unless noted otherwise, roofing shall be min 200# Class "C" Fiberglass based asphalt shingles over 15 pound felt. Eave flashing to a point 24" inside of interior face of wall line may be also installed at the owner discretion.
- WALL SHEATHING: As shown on drawings and installed in accordance with MANUFACTURER'S RECOMMENDATIONS.
- GUTTERS AND LEADERS: .032" Prefinished aluminum gutters with .024" prefinished aluminum leaders. Lead to splashblocks or collector as required.

DOORS and WINDOWS

- Provide safety glazing as required by local code.
- All doors and windows shall be installed in accordance with manufacturer's specifications, and as per local code.

GENERAL NOTES

- All work shall comply to all applicable local codes.
- All construction shall be classified as and comply to either of the following:
- -- Use Group R-4 under the 2015 International Residential Code. & Howard County Code
- Contractor is responsible for bracing all framing/walls during construction
- These plans and notes are the property and sole responsibility of JRArchitecture, Inc. Use of these plans without the written consent of JRArchitecture, Inc. is prohibited.
- These plans are subject to modification as necessary to meet code requirements and or facilitate mechanical/plumbing installations or to incorporate design improvements. The Architect and the Owner reserves the right to make any changes, for any reason, at any time, providing they comply with the code.
- The Sub-Contractor shall compare and coordinate all drawings. When a discrepancy or an error or omission exists, he shall comply with the code and contact the Architect and the Owner in writing for proper adjustment.
- These plans are not to be scaled for Construction purposes. Written dimensions and notes supersede all scaled reference.
- In the event certain features of Construction are not fully shown on the drawings, their construction shall be of the same character as for similar conditions that are shown or noted.
- Field verify ALL existing dimensions

DESIGN - LIVE LOADS

- RECOMMENDED MINIMUMS:
- 30 psf - Ground Snow Load 30 psf - Roof
- Sleeping Floors 30 psf
- Living Floors 40 psf
- Exterior Decks 60 psf 100 psf
- Garage Slabs 50 psf - Wind Load 17 psf - Dead Load
- 10 psf 200' at any point in any direction. - Guardrails

(or as per local code)

STAIR CRITERIA

- INTERIOR and EXTERIOR STAIRS

- All stairs shall comply with all local codes.
- Minimum finish width: 36"
- Minimum finished headroom height: 6'-8"
- Maximum riser height: 7 3/4" - Minimum tread depth: 11"
- Maximum space between ballisters: 4"
- Handrail height shall not be less than 34" or greater than 38" and may not project more than 3 1/2" into stair width.
- Provide a minimum of 1 1/2" space between handrail and wall.
- Stair winder shall have a minimum inside width of 6" and a minimum of a 9" tread when measured 12" from inside corner.
- Stair landings shall be a minimum of 36" x 36"
- Stairways with 3 or more risers are required to have a handrail.

MECH. PLUMB. ELEC.

- Mechanical contractor is responsible for the design and installation of mechanical systems including duct sizes, trunk and register size for air conditioning and heating. Systems shall be installed per manufacturer's specifications and recommendations and as per all applicable building
- Plumbing contractor is responsible for the design and installation of plumbing and piping. All plumbing, piping and fixtures shall be installed per manufacturer's specifications and recommendations and as per all applicable codes.
- Electrical contractor is responsible for the design and installation of all electrical systems. All electrical work shall meet the requirements of the National Electric Code, the local power company and all applicable codes. Fixtures and apparatus are selected by the builder and shall be UL approved.
- Smoke & Carbon Monoxide detectors Provide a minimum of one ceiling mounted fixture per floor, hard wired to a nearby circuit and interconnected for simultaneous activation with battery backup. Provide detectors at each sleeping room if required by local code. Provide detectors outside each sleeping area within 10'-0' of each door.

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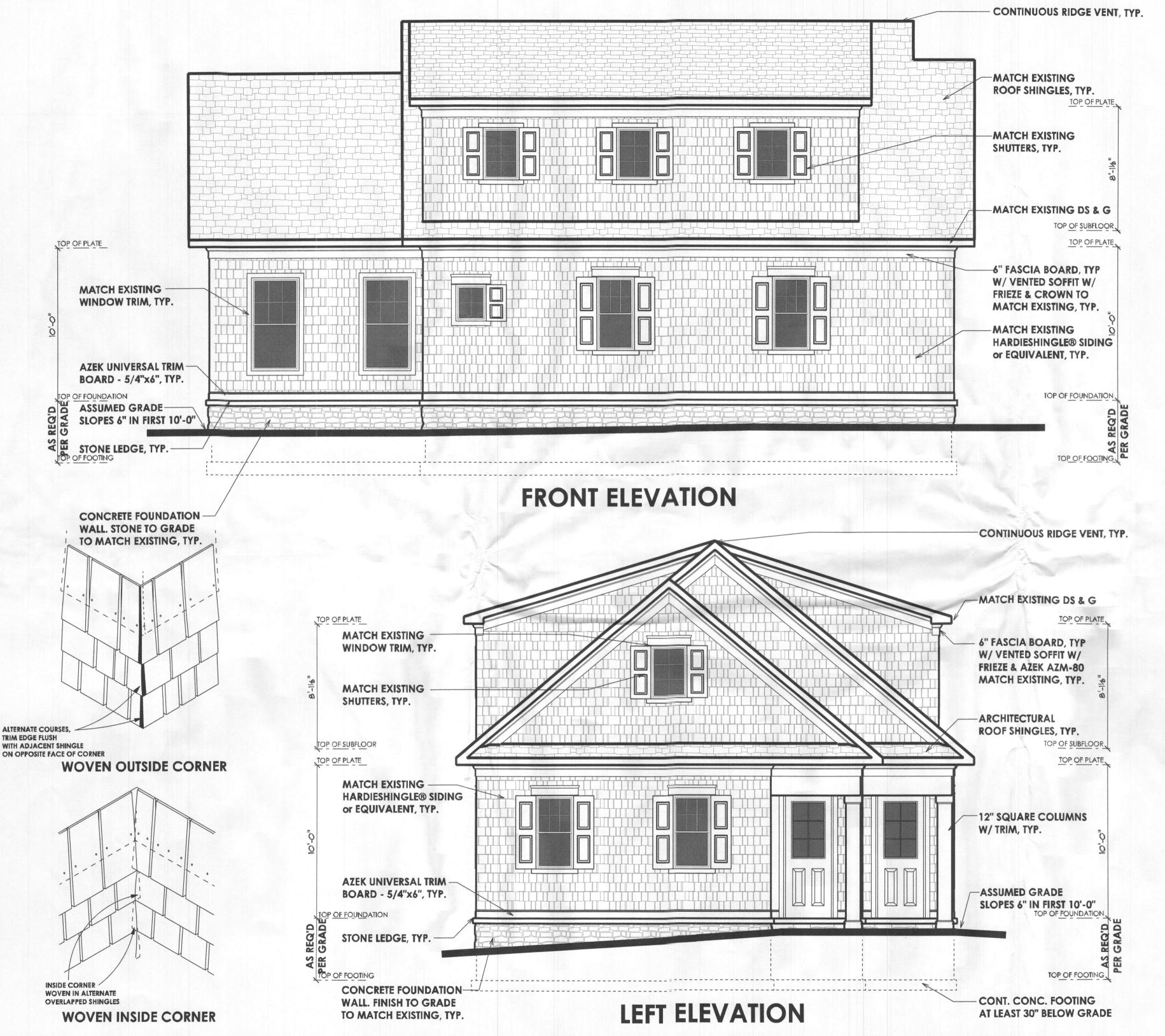
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Oxbury Road Lot #7 Glenelg, Maryland 21737

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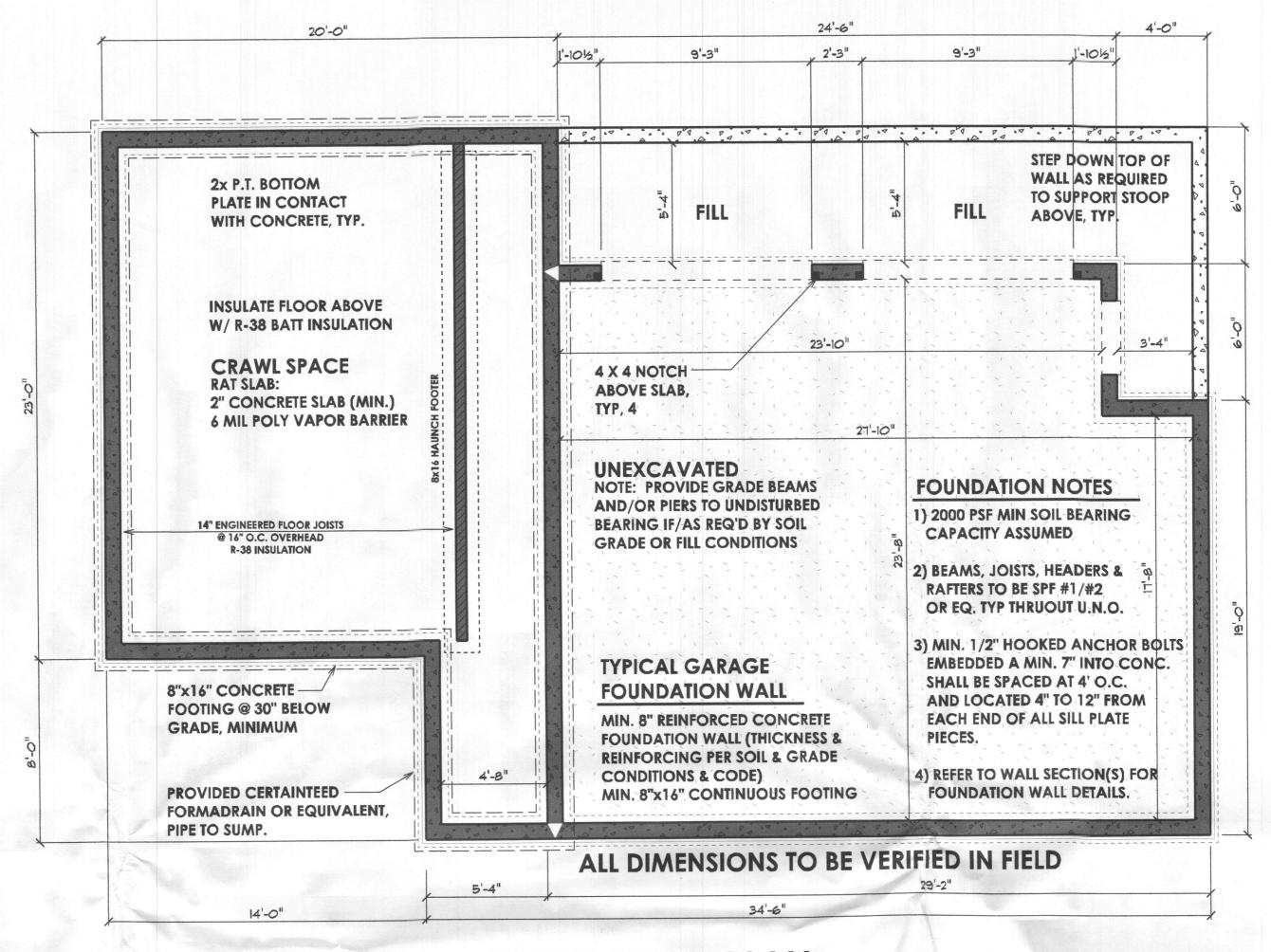
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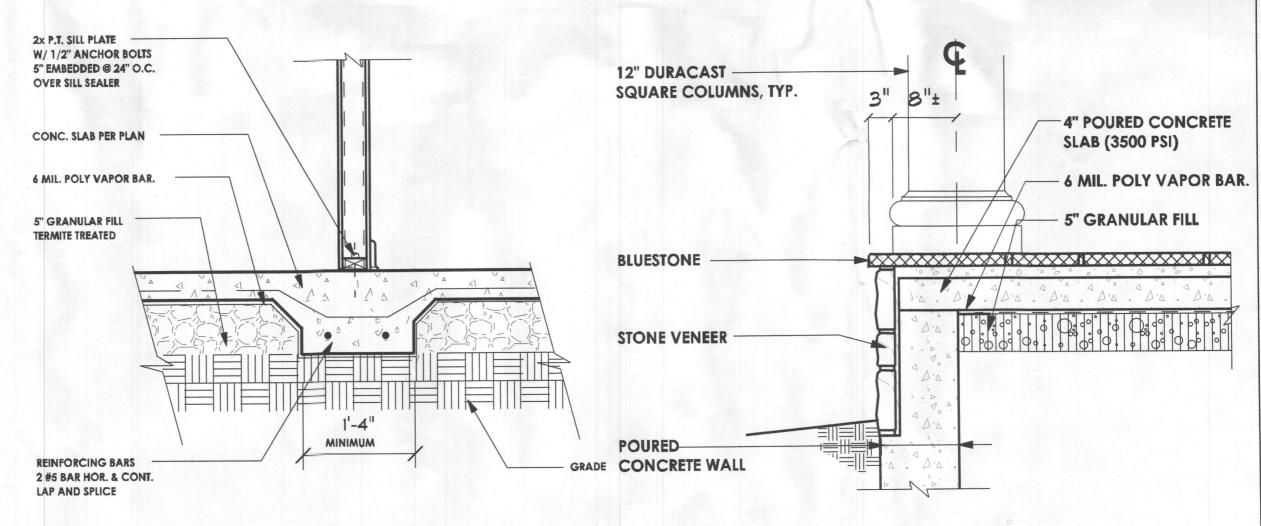
ELEVATIONS

1.01

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FOUNDATION PLAN



INTERIOR BEARING

EDGE SECTION

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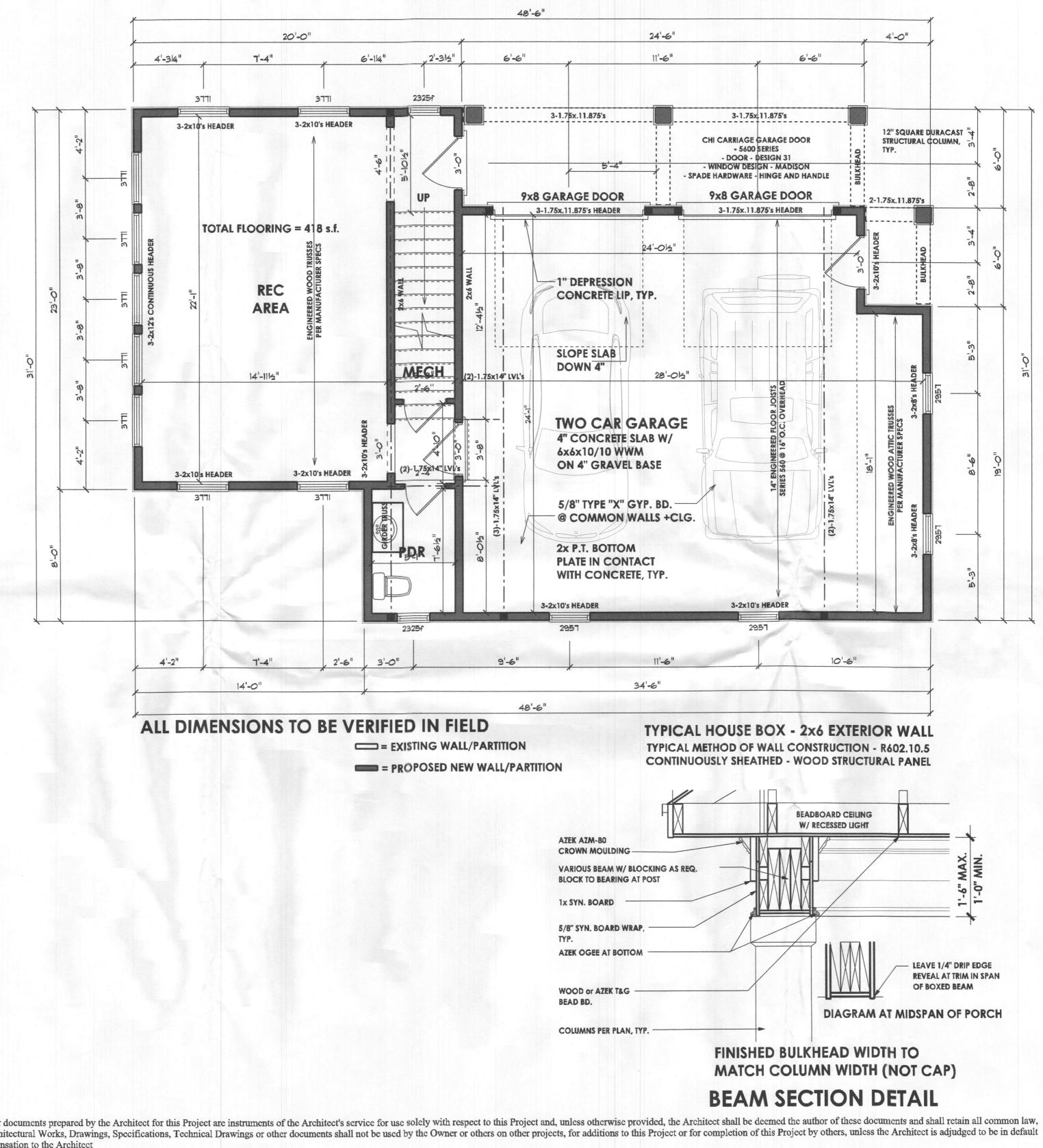
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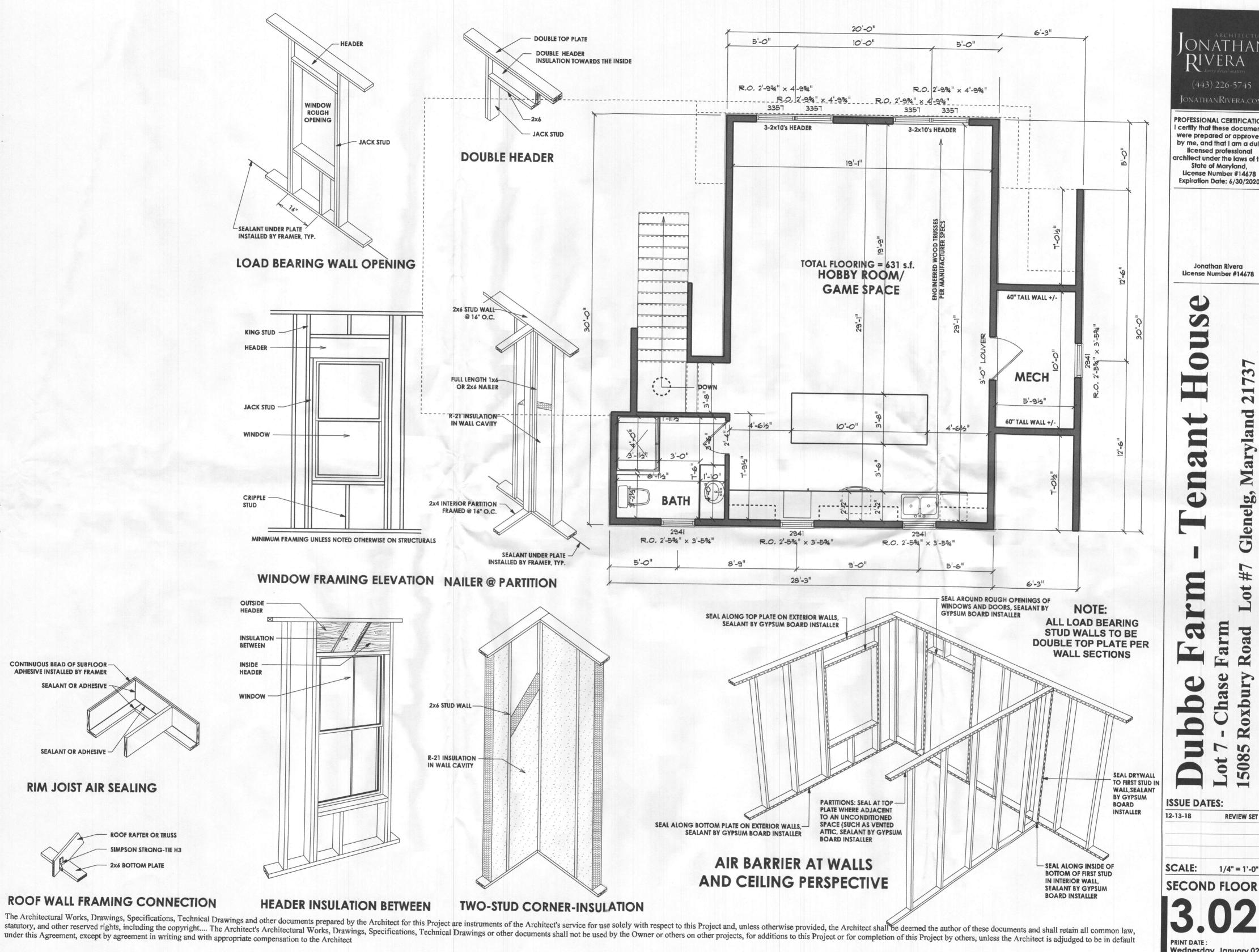
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FIRST FLOOR

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ADHESIVE INSTALLED BY FRAMER

SEALANT OR ADHESIVE -

SEALANT OR ADHESIVE

RIM JOIST AIR SEALING

ROOF RAFTER OR TRUSS

2x6 BOTTOM PLATE

SIMPSON STRONG-TIE H3

Wednesday, January 02, 2019

Road

REVIEW SET

1/4" = 1'-0"

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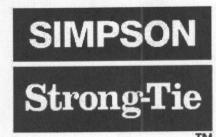
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TECHNICAL BULLETIN

HOLLOW COLUMN UPLIFT CONNECTIONS

Installation requires a base anchor and Simpson's CMST strap. A concealed connection can be designed between foundation and beam. The minimum inside diameter of the hollow column must be 31/4" for the CMST strap and a minimum base opening diameter of approximately 7" is required for the LTT/HTT or HDA base anchors. Consult the column manufacturer for minimum column opening diameters.

INSTALLATION .

- · Select the appropriate strap and base anchor for the required uplift load from the table.
- · Install base anchor:
 - a. Mark slab for center location of column.
 - b. Drill hole to the specified diameter and depth. See Table 2.
 - c. Clean hole and add Simpson's Epoxy-Tie. See Figures 1 through 6 on page 1.
 - d. Insert the required A307 threaded rod at the specified embedment depth.
 - e. Allow epoxy to cure.
- · Attach base anchor to threaded rod and tighten nut after Epoxy-Tie has cured.
- Cut length of strap as required. Add an additional 1½" for "end distance".
- · Overlap CMST strap with strap of base anchor:
 - a. Mark a 11/2" distance from the end of the CMST strap. This is your end distance clearance. From the end distance, mark strap to match the ocation of base anchor stud bolts.
 - b. Drill strap bolt holes size and quantity as shown in Table 2.
 - c. Attach strap to base anchor with the required size and quantity of machine bolts (A307 bolts minimum).
- · Set column in place and pull strap taut. While strap is held taut, fasten strap to beam with fasteners shown in table.

Install half of total face Top fasteners Beam and column shall be designed fasteners on each side as required by the Engineer of Record. of the beam. Double 2x for header or beam. Installation 2 **Typical CMST** Installation to Beam Minimum 31/4" Length of strap must wrap over inside diameter header and extend down opposite **CMST** Base Anchor Minimum end threaded rod see table Minimum edge

TABLE 2 — Allowable Uplift Loads

Base	Base	se Anchor	Min.	Min.	Min.	Min. Edge Dist.	Strap	Strap Strap		Drill Bit	Fasteners		Uplift	
Anchor Model No.	Anchor Dia.	Drill Bit Dia	Embed.	Anchor Length	End Dist.		Model No.	Qty Dia.	Dia. (Strap)	Face (Total)	Тор	100	(133 & 160)	
LTT20B	3/4	7/8	63/4	83/4	101/8	5	CMST14	2	1/2	9/16	4-10d	2-10d	1750	1750
MTT28B	3/4	7/8	63/4	83/4	101/8	5	CMST14	4	1/2	9/16	8-10d	2-10d	3630	4455
HD2A	5/8	3/4	5	7	71/2	4	CMST14	2	5/8	11/16	4-10d	2-10d	2775	2775
HD5A	% or ¾	7/8	63/4	83/4	101/8	4	CMST14	2	3/4	13/16	8-10d	2-10d	3375	4010
HD8A	7/8	1	73/4	93/4	11%	6	CMST14	3	7/8	15/16	8-10d	2-10d	3430	4435
HD8A	7/8	1	73/4	93/4	11%	6	CMST12	3	7/8	15/16	10-10d	2-10d	4865	6305
HD10A	7/8	1	73/4	93/4	11%	6	CMST12	4	7/8	15/16	10-10d	2-10d	4865	6305

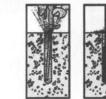
1. See Simpson Anchor Systems catalog for complete Epoxy-Tie installation details.

distance to

threaded rod see table

- 2. 10d nails are common nails. 3. Allowable loads have been increased for wind or earth quake loading with no further
- increase allowed. 4. Minimum concrete compressive strength is 2000 psi.

Installation into Concrete and Grout Filled CMU



Clean-Remove dust from hole with oil-free compressed air. Clean with





5. Fill-Dispense bead of adhesive off to the side to check for proper mixture (a uniform gray color) before using. Fill hole halfway, starting from bottom of hole to prevent air pockets.

Withdraw nozzle as hole fills up.



Insert-Anchors mus be clean and oil free. Insert anchor, turning slowly until the anchor contacts the bottom of the hole. Do not disturb during cure time.

MIN. 2-2x10 HEADER or **HEADER PER PLAN INSTALL UPLIFT STRAP** OVER THE TOP OF BEAM MIN. 7" DOWN OTHER SIDE ATTACH WITH APPROPRIATE **FASTENERS** SIMPSON UPLIFT STRAP #CMST14 12" SQUARE TURNCRAFT COLUMN, TYP. SEE 3.03 FOR HOLD-DOWN **BASE ANCHOR** SIMPSON LTT20B THREADED ROD SIMPSON A307 3/4" DIA. EMBEDDED

CONCRETE PORCH SECTION

COLUMNS AND ROOF PER ELEVATION



1. Drill-Drill

hole to

specified

diameter



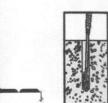
nylon brush and blow out remaining

dust. Note: Dust left in hole can

reduce the adhesive's holding







IN CONCRETE MIN. 7"



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Glenelg, Maryland 21737

Roxbury

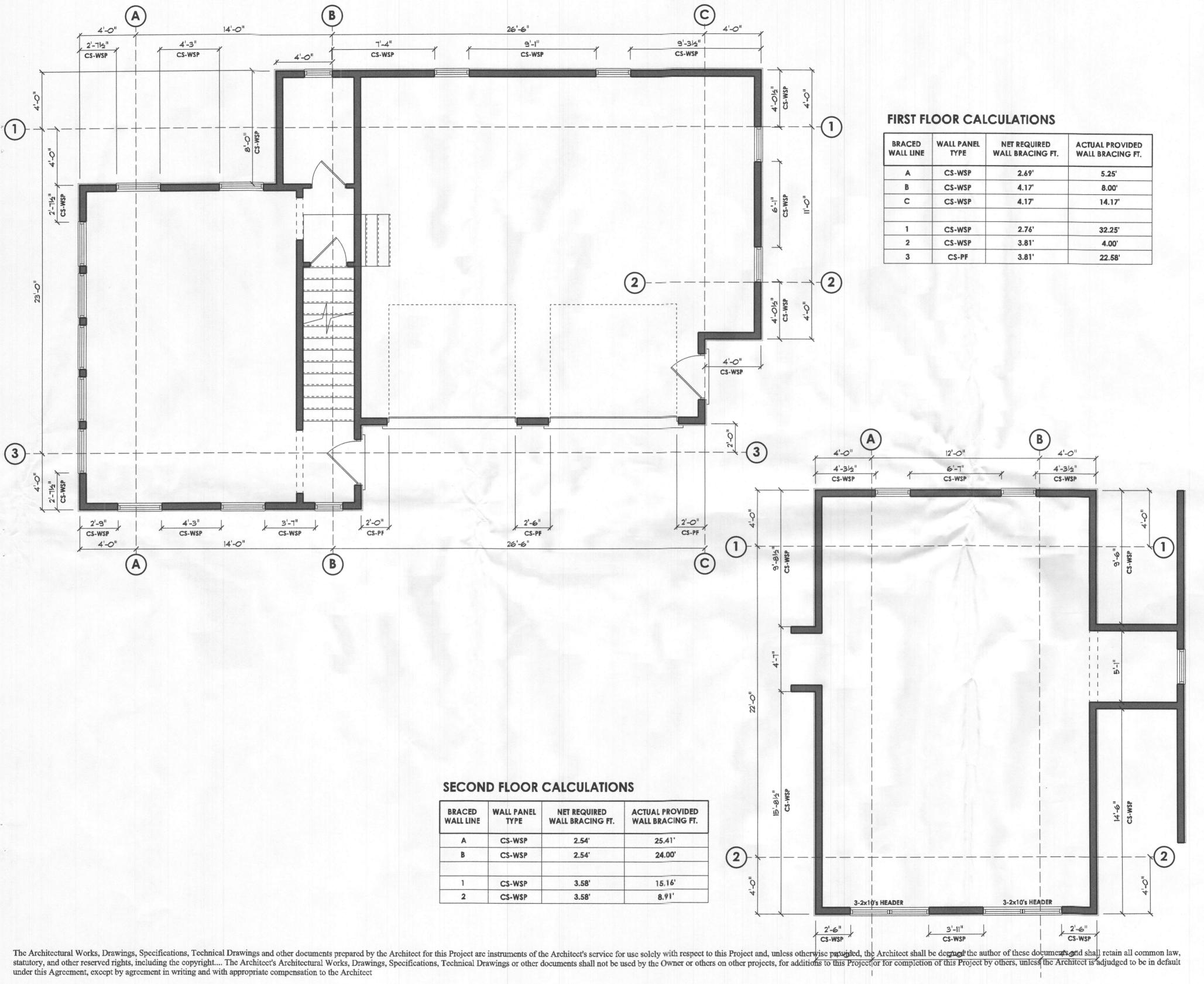
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HOLD DOWNS

Wednesday, January 02, 2019



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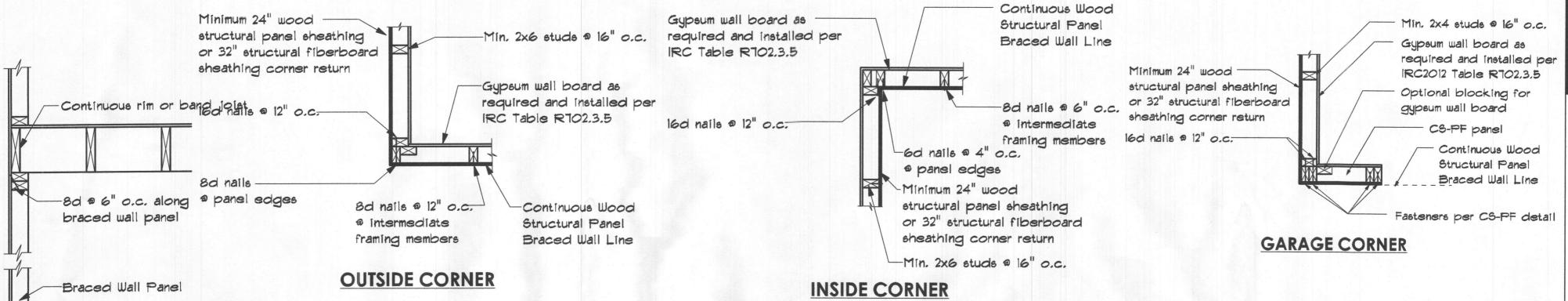
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BRACING PLAN

3.51

Wednesday, January 02, 2019

EXTERIOR CORNER WALL DETAILS



Tension Strap Capacity Required for Method CS-PF

Minimum Wall Stud Framing	Maximum	Maximum	Maximum	Wind Exposure B	Wind Exposure C	
Nominal Size and Grade	Pony Wall Height (feet)	Total Wall Height (feet)	Opening Width (feet)	Tension strap capacity required (lbf)		
2 2x6 Stud Grade			9	1000	1750	
	2	12	16	2050	3550	
		18	2450	4100		
			9	1500	2775	
		4	12	16	3150	DR
			18	3675	DR	

Notes:

- 1. Basic Wind Speed of 90mph. For other Basic Wind Speeds, see IRC Table R602.10.4.1.1
- 2. DR = Design Required

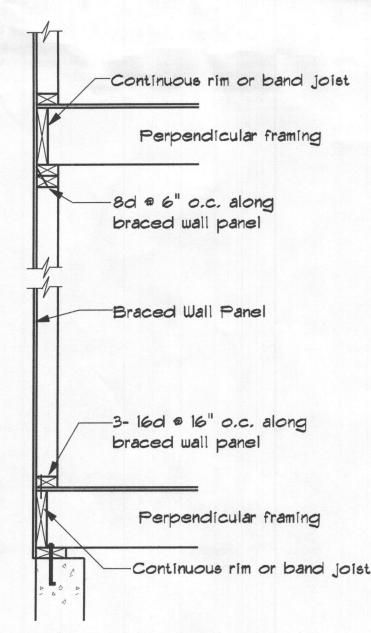
BRACED EXTERIOR WALL PANEL CONNECTION WHEN PARALLEL TO FLOOR/CEILING FRAMING

TYPICAL AT ALL EXTERIOR, PLYWOOD SHEATHED WALLS

Continuous rim or band loist

-3- 16d @ 16" o.c. along

braced wall panel



- ALL DESIGNATED EXTERIOR BRACED WALLS SHALL BE A MINIMUM 1/16" PANEL SHEATHING ATTACHED TO FRAMING WITH 8d COMMON NAILS . 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE FRAMING MEMBERS. SOLE PLATS SHALL BE FASTENED TO JOIST OR SOLID WOOD BLOCKING WITH (3) 16d NAILS AT 16" O.C. RIM JOIST TO PLATE OR SILL 8d . 6" O.C. TOENAIL.

o.c. at intermediate framing members.

R602.3(3).

- ALL EXTERIOR WALL CORNERS SHALL BE FRAMED PER DETAIL.

Methods WSP & CS-WSP: Min. 7/16" OSB Wood Structural Panel

sheathing fastened per IRC Tables R602.3(1), R602.3(2), and

at intermediate framing members or nails per IRC Table R702.3.5

sheathing attached to framing with 6d at 6" o.c. at panel edges and 12"

Note: At Braced Wall Lines incorporating Continuously Sheathed bracing

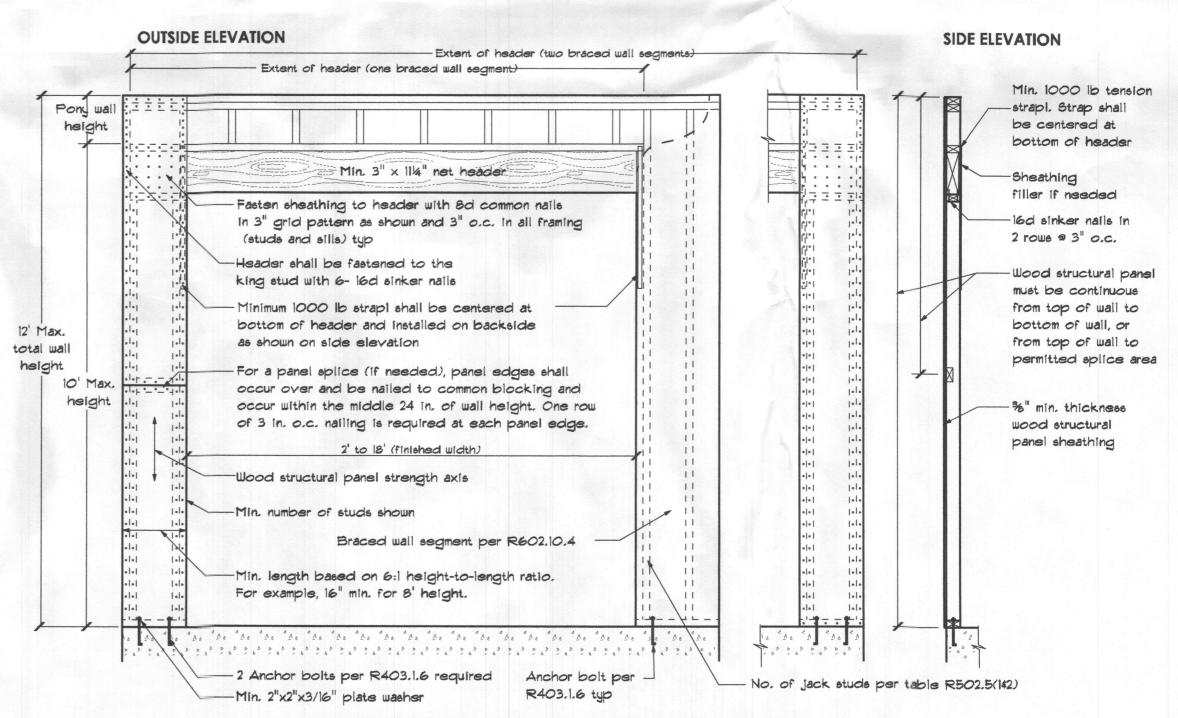
Method GB: Min. 12" gypsum board applied to each side of framing with

adhesive and Type 5 or W screws @ 7" o.c. at panel edges and 24" o.c.

a 7" o.c. at panel edges and 16" o.c. at intermediate framing members.

methods (CS-WSP & CS-PF), all exterior walls along the Braced Wall Line must be fully sheathed with min 7/16" OSB Wood Structural Panel

- ALL DESIGNATED INTERIOR BRACED WALLS SHALL BE MIN 1/2" GYPSUM BOARD APPLIED TO BOTH FACES OF FRAMING WITH ADHESIVE AND TYPE S OR W SCREWS AT 24" O.C.
- DESIGNATED NARROW WALL BRACING SHALL BE CONSTRUCTED IN ACCORDANCE WITH BRACED WALL DETAILS.
- TENSION HOLD DOWN STRAP OF 800* ex. (SIMPSON CMSTI4 STRAP W/ 15-16d NAILS EACH END)



PERPENDICULAR TO FLOOR/CEILING FRAMING

TYPICAL AT ALL EXTERIOR, PLYWOOD SHEATHED WALLS

OVER CONCRETE OR MASONRY BLOCK FOUNDATION

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JONATHAN RIVERA

Every detail matters

(443) 226-5745

JONATHANRIVERA.COM

PROFESSIONAL CERTIFICATION
I certify that these documents
were prepared or approved
by me, and that I am a duly
licensed professional
architect under the laws of the
State of Maryland,
License Number #14678
Expiration Date: 6/30/2020

Jonathan Rivera License Number #14678

bbe Farm - Tenant House

Glenelg, Maryland 21737

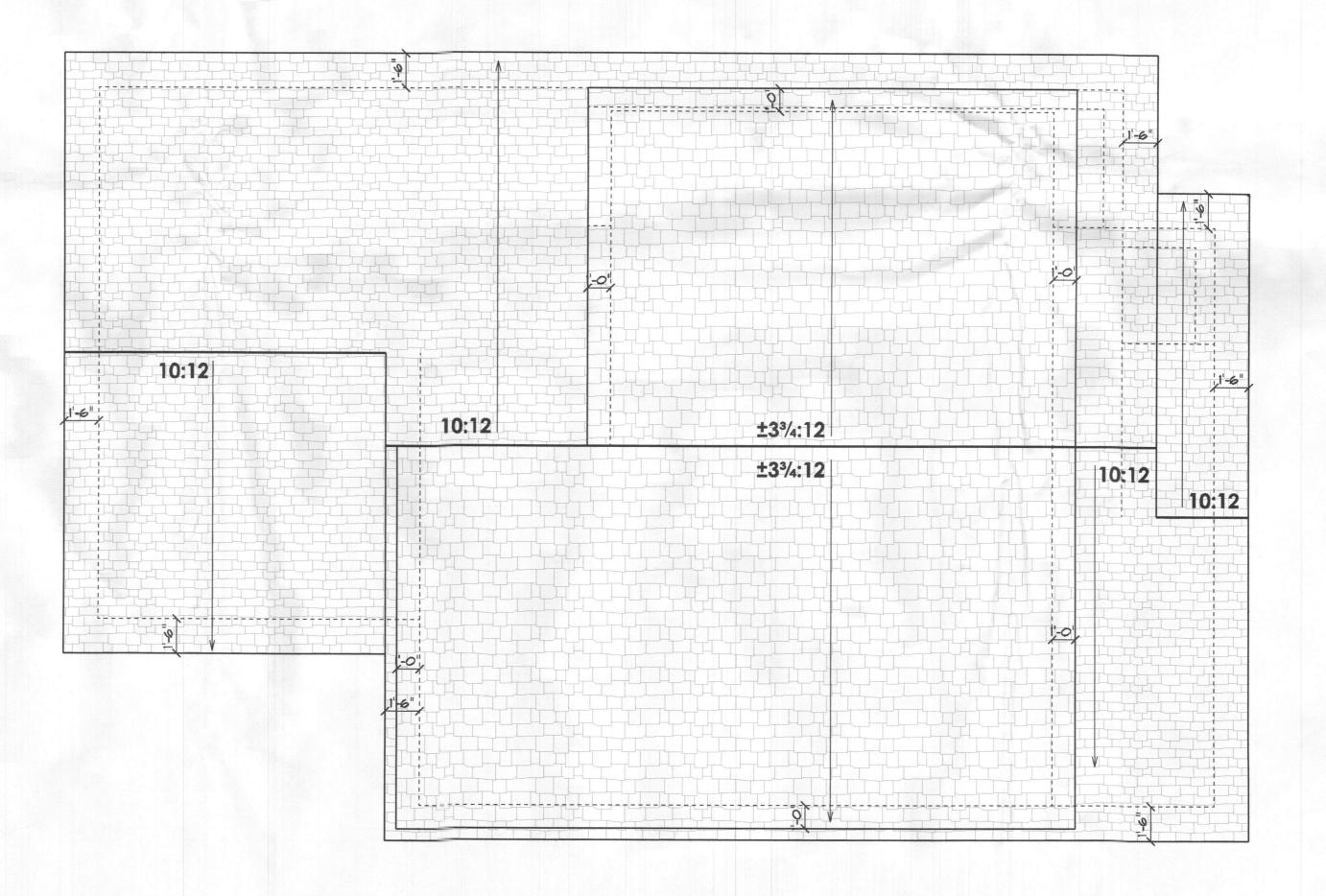
ISSUE DATES:							
12-13-18	REVIEW SE						

SCALE: 1/4" = 1'-0"

BRACING DETAILS

3.52

PRINT DATE:
Wednesday, January 02, 2019



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Jonathan Rivera

License Number #14678

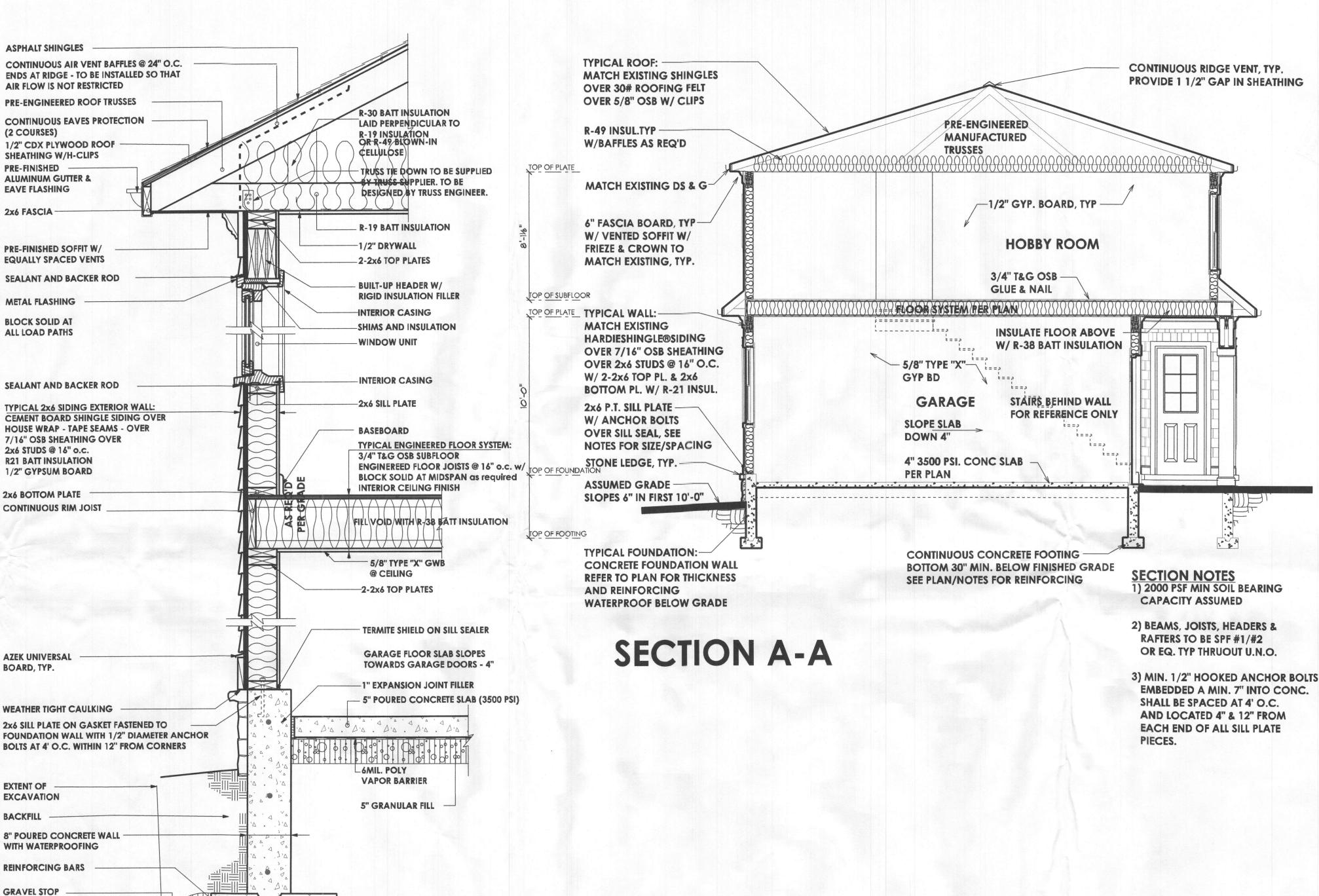
enant Farm Chase 0

Road

ISSUE DATES:

SCALE: 1/4" = 1'-0" **ROOF PLAN**

Wednesday, January 02, 2019





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Jonathan Rivera

License Number #14678

Glenelg, Maryland 2173

ISSUE DATES:

12-13-18 **REVIEW SET**

SCALE: 1/4" = 1'-0"

SECTIONS

Wednesday, January 02, 2019

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CONCRETE FOOTING PER STRUCTURALS

w/MIN. (2) #4 REBAR

WALL SECTION AT GARAGE

6" GRAVEL (MINIMUM) ON

FORMADRAIN (or eq.)PIPE TO SUMP. DRAIN TO BE IN 1"-1.5" WASHED STONE WITH FILTER FABRIC or

PROVIDE 4" DIA FOOTING DRAINPIPE

TO DAYLIGHT. DRAIN TO BE IN 1"-1.5"

WASHED STONE WITH FILTER FABRIC

3" CIR. INTERIOR PERIMETER DRAIN TILE IN 6" STONE COVER AND SILT

BARRIER W/WEEP HOLES @ 4' O.C.

PROVIDED CERTAINTEED

WITH...