



# Building Permit Application

Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

Date Received: 9/13/18

Permit No.: B1800323

Building Address: 15081 Roxbury Road  
City: Glenview State: MD Zip Code: 21737  
Suite/Apt. #: SDP/WP/BA #:   
Subdivision: Chase Farm  
Lot: 7 Tax Map: 21 Parcel: 191  
Existing Use: Agricultural  
Proposed Use: Ag + Tenant Home  
Estimated Construction Cost: \$ 12000  
Description of Work: Construct a Tenant Home on the property  
Occupant/Tenant Name: Dean Dubbe  
Was tenant space previously occupied? ☐ Yes ☒ No  
Contact Name: Dean Dubbe  
Address: 15081 Roxbury Road Dr  
City: Glenview State: MD Zip Code: 21737  
Phone: 301-907-7903 Fax:   
Email: dean@dubbe.com

Property Owner's Name: Mr. Roxbury  
Address: 15081 Roxbury Road Dr  
City: Glenview State: MD Zip Code: 21737  
Phone: 301-907-7903 Fax:   
Email: dean@dubbe.com  
Applicant's Name & Mailing Address, (If other than stated herein)  
Applicant's Name:   
Address:   
City: State: Zip Code:   
Phone: Fax:   
Email:   
Contractor Company:   
Contact Person: Mike Givens  
Address: 3785 Shady Lane  
City: Glenview State: MD Zip Code: 21738  
License No.: 7643  
Phone: 410-499-5242 Fax:   
Email: MILE@COUNTHOUSE.COM  
Engineer/Architect Company: Jonathan Rivera  
Responsible Design Prof.: Jonathan Rivera  
Address: 1242 Monahan Station Rd  
City: White State: MD Zip Code: 21797  
Phone: 443-226-5745 Fax:   
Email: jrivera2000@comcast.net

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1st floor: 30' 42'
Area of construction (sq. ft.):	2nd floor: 30' 42'
Use group:	Basement: 30' 42'
Construction type:	<input type="checkbox"/> Finished Basement
<input type="checkbox"/> Reinforced Concrete	<input checked="" type="checkbox"/> Unfinished Basement
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Crawl Space
<input type="checkbox"/> Masonry	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Wood Frame	No. of Bedrooms: 2
<input type="checkbox"/> State Certified Modular	Multi-family Dwelling
	No. of efficiency units:
	No. of 1 BR units:
	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
	Footings:
	Roof:
	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Sewage Disposal
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Heating System
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane Gas
<input type="checkbox"/> Other:
Sprinkler System:
<input type="checkbox"/> Yes <input type="checkbox"/> No
Grading Permit Number:
Building Shell Permit Number:

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature

Print Name

Email Address

Date

Title/Company

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

\*\*PLEASE WRITE NEATLY & LEGIBLY\*\*

-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	2/15/19	H. Oswald

Is Sediment Control approval required for issuance? ☐ Yes ☐ No  
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	# 1037

Distribution of Copies:

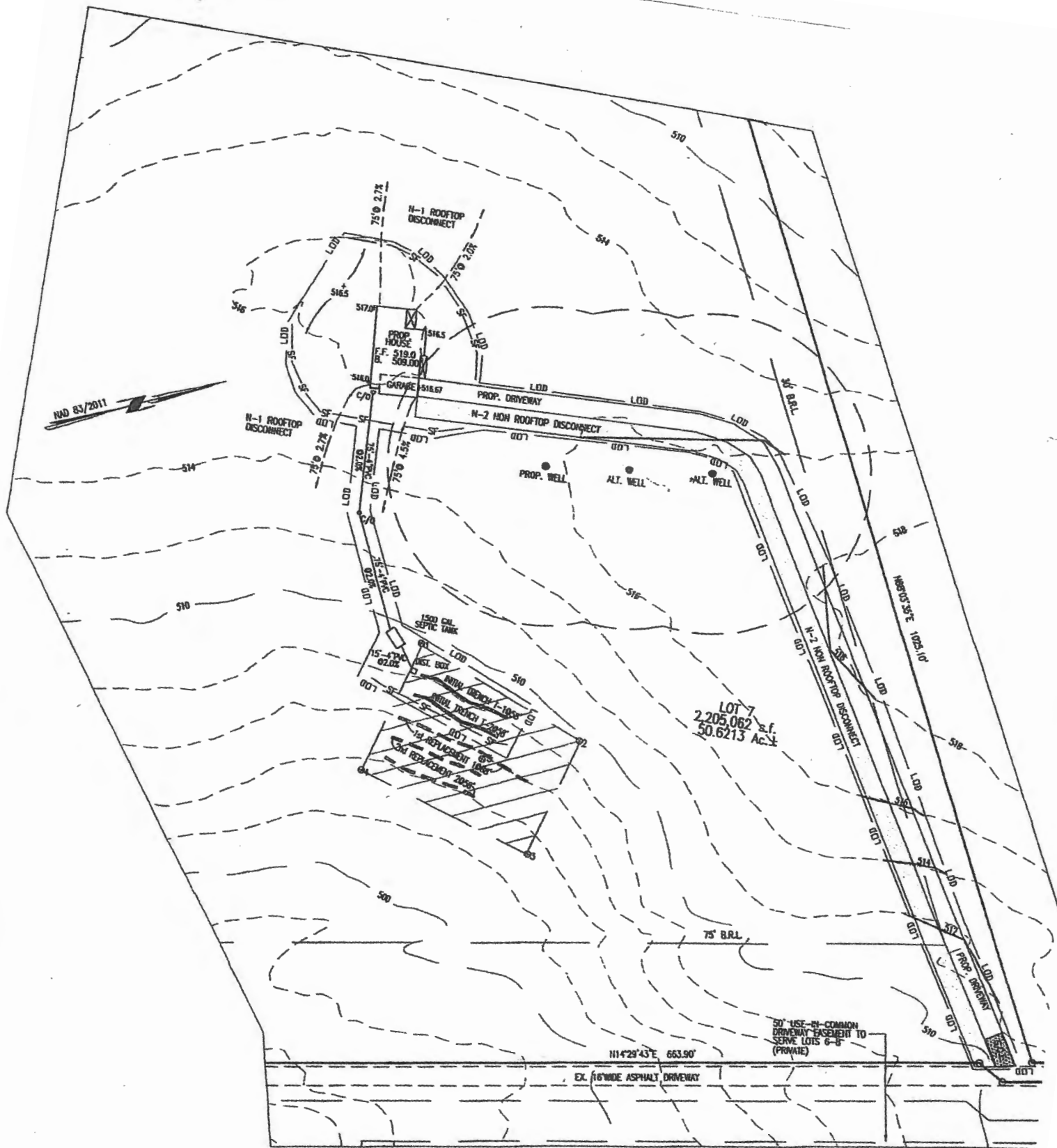
White: Building Officials

Green: PSZA,Zoning

Yellow: PSZA,Engineering

Pink: Health

Gold: SHA



15081 Roxbury Road  
 Glenelg, MD  
 Lot 7 - Chase Farm



## Oswald, Hank

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**From:** Oswald, Hank  
**Sent:** Friday, February 15, 2019 1:38 PM  
**To:** 'DEAN@DUBBE.COM'  
**Cc:** 'ron@vanmar.com'  
**Subject:** Building Permit B18003232 (15081 Roxbury Road)

Hello Mr. Dubbe:

The OSDS Plan and building permit (B18003232) for 15081 Roxbury Road has been approved by the Health Department. Should you have any questions, please don't hesitate to ask.

Respectfully,

Hank

Hank Oswald  
Licensed Environmental Health Specialist  
Howard County Health Department  
Bureau of Environmental Health  
Well & Septic Program  
8930 Stanford Boulevard  
Columbia, MD 21045  
410.313.1786 (Office)  
[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)

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## Oswald, Hank

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**From:** Oswald, Hank  
**Sent:** Monday, September 24, 2018 8:34 AM  
**To:** 'DEAN@DUBBE.COM'; 'mike@crosenhomes.com'; 'ron@vanmar.com'  
**Subject:** B18003232\_15081 Roxbury Road\_Well

Good morning All:

This office has received a building permit for a SFD located on 15081 Roxbury Road, Chase Farm, Lot 7. At this time, the file does not contain a well completion report. Prior to approval of the building permit, a well must be installed and approved by this office. In addition, the OSDS Plan must be revised to show the well location and well tag number under note #4.

Should you have any questions, or wish to discuss this, please don't hesitate to contact me.

Respectfully,

Hank

Hank Oswald  
Licensed Environmental Health Specialist  
Howard County Health Department  
Bureau of Environmental Health  
Well & Septic Program  
8930 Stanford Boulevard  
Columbia, MD 21045  
410.313.1786 (Office)  
[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)

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## Oswald, Hank

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**From:** Oswald, Hank  
**Sent:** Friday, August 24, 2018 2:46 PM  
**To:** 'ron@vanmar.com'  
**Subject:** Chase Farm Lot 7  
**Attachments:** OSDS\_Memo To Vamar\_\_2018.pdf

Hi Ron:

Attached, please find memo pertaining to the OSDS Plan for Chase Farm, Lot 7. I don't see a well tag # on the plan and I could not locate a completion report for this lot. Do you know if a well has been drilled on this lot?

Thanks,

Hank

Hank Oswald  
Licensed Environmental Health Specialist  
Howard County Health Department  
Bureau of Environmental Health  
Well & Septic Program  
8930 Stanford Boulevard  
Columbia, MD 21045  
410.313.1786 (Office)  
[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)

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**COMPLETE THIS FORM WHEN DROPPING OFF ANY  
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY  
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 1/4/19

To: Dan Scindler  
(Person's Name and Division)

From: Dean Dubbe (Roxbury View, LLC) (301) 807 7903  
(Your Name, Company Name and Telephone Number)

Subject: Project name Lot 7, Chase Farm  
Project site address 15081 Roxbury Road Glenely, MD 21737  
Permit # B18003232 SDP # GP-19-13  
Other information pertinent to this project Revising size of house smaller

RECEIVED

JAN 07 2019

PLAN REVIEW DIVISION

☒ Please check the attachments below that you are submitting with this transmittal:

- ☐ Letter of response to address plan review comment letter
- ☒ Revised plans and/or revised details: When submitting for a complete re-review, duplicate sets shall be submitted.
- ☐ Letter Summarizing Changes
- ☐ Energy conservation calculations
- ☐ Copies of \_\_\_\_\_ (be specific).
- ☐ Health Department Request ☐ DPZ/DED Request ☐ Applicant's Request
- ☐ Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # \_\_\_\_\_
- ☐ Other \_\_\_\_\_

**Contact Person Information: (Required)**

Dean Dubbe  
Please Print Name

Telephone No: 301-807-7903

E-Mail Address: dean@dubbe.com

**PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.**

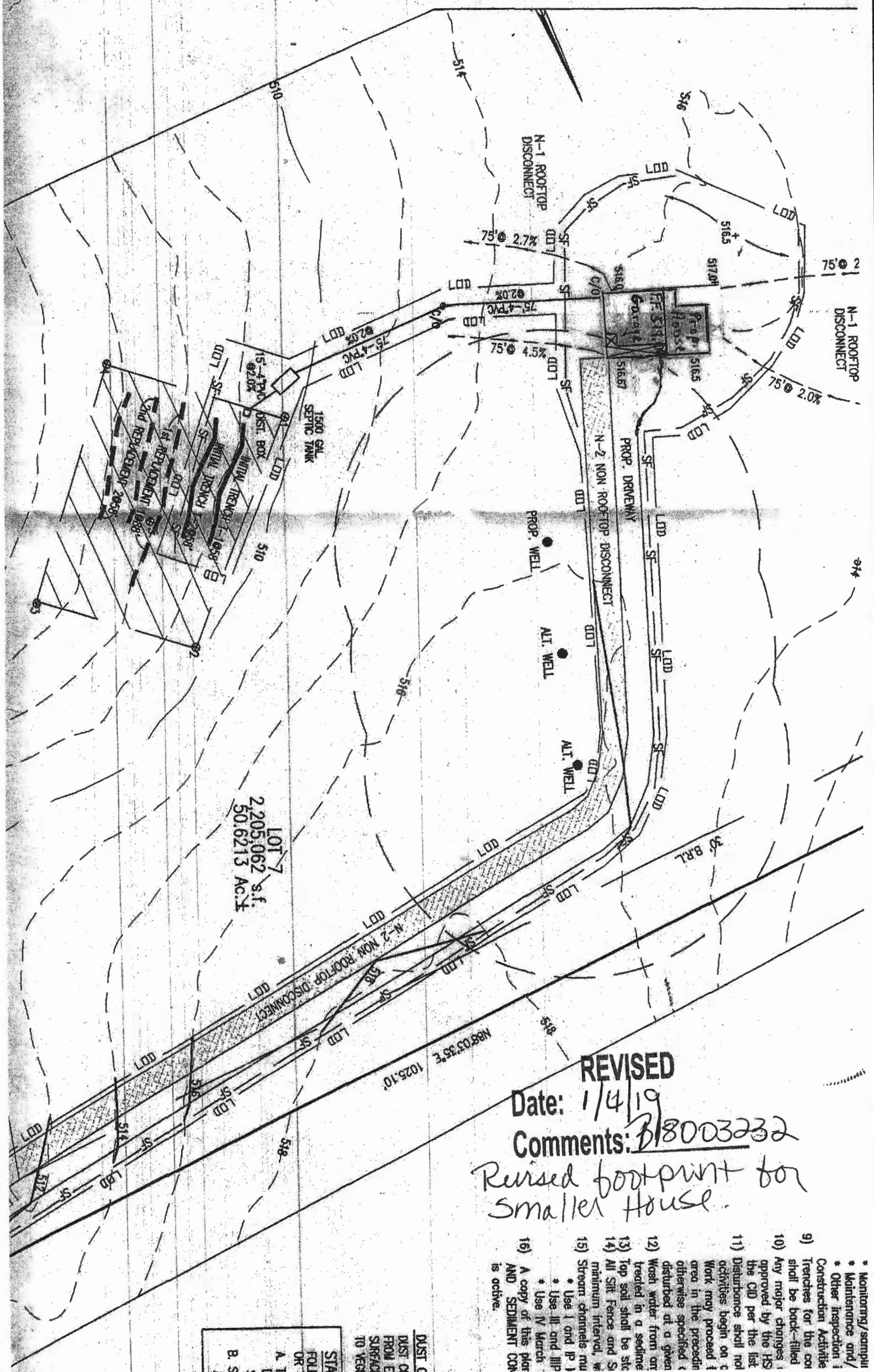
Received by:

A. Hurman

CC: Health  
P+Z

DILP 2019 JAN 4 AM 10:19

\$50.00  
Ck # 1011  
Roxbury View LLC.



**REVISED**  
 Date: 1/4/19  
 Comments: B18003232  
 Revised footprint for  
 smaller house.

- 9) Trenches for the con shall be back-filled
- 10) Any major changes approved by the HS the CID per the list
- 11) Disturbance shall not activities begin on a Work may proceed in area in the precedin otherwise specified, disturbed at a given
- 12) Wash water from an treated in a sediment
- 13) Top soil shall be sit
- 14) All Silt Fence and S minimum interval, w Stream channels mu
- 15) \* Use I and IP
- 16) \* Use II and III
- 17) A copy of this plat AND SEDIMENT CON is active.

DUST C	DUST A	FROM E	SURFACE	TO VEG
SIA	FOUL	OR	A. T	B. S

## Oswald, Hank

---

**From:** Oswald, Hank  
**Sent:** Friday, January 11, 2019 10:53 AM  
**To:** 'mike@crosenhomes.com'  
**Subject:** B18003232\_15081 Roxbury Road\_New Floor Plans

Hi Mike:

Good morning. Can you send a pdf version of the new floor plans for B18003232 (15081 Roxbury Road). I am having a little trouble lining up the old version with the new.

Thanks,

Hank

Hank Oswald  
Licensed Environmental Health Specialist  
Howard County Health Department  
Bureau of Environmental Health  
Well & Septic Program  
8930 Stanford Boulevard  
Columbia, MD 21045  
410.313.1786 (Office)  
[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)

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Anest, Cathy

**From:** Crystal Jones <cjones@bhbcmd.com>  
**Sent:** Friday, January 04, 2019 4:36 PM  
**To:** Anest, Cathy  
**Subject:** Re: Building Permit #B18004038

Revision

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Please let me know you received.

Thanks,

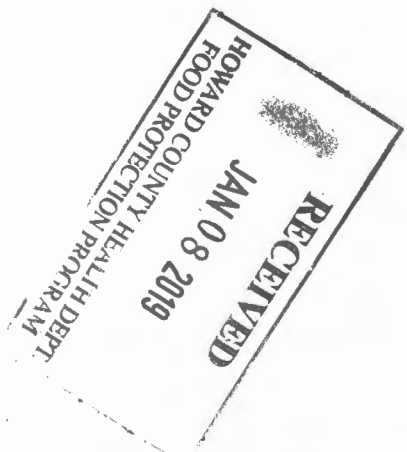
On Thu, Jan 3, 2019 at 2:54 PM Crystal Jones <cjones@bhbcmd.com> wrote:  
Good afternoon Cathy,

As per our conversation the plans for the Oxfordshire have already been submitted and assigned builder permit #B18004038. Please include a finished basement with exercise room, recreation room, home theatre room, den, bath and finished storage.

Please confirm you received this email.

Thanks,

Crystal Jones  
BHBC  
Operations Manager  
cjones@bhbcmd.com  
(P) 443-681-2400  
(C) 704-352-8620  
(F) 443-681-2403



## Oswald, Hank

---

**From:** Mike Crosen <mike@crosenhomes.com>  
**Sent:** Friday, January 11, 2019 11:11 AM  
**To:** Oswald, Hank  
**Subject:** RE: B18003232\_15081 Roxbury Road\_New Floor Plans

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Yes keeping with large septic

**Michael Crosen**  
[mike@crosenhomes.com](mailto:mike@crosenhomes.com)  
Custom Homes & Remodeling  
443.324.4775



---

**From:** Oswald, Hank [<mailto:hoswald@howardcountymd.gov>]  
**Sent:** Friday, January 11, 2019 11:10 AM  
**To:** Mike Crosen  
**Subject:** RE: B18003232\_15081 Roxbury Road\_New Floor Plans

The septic plan is sized for 5 bedrooms. Are they keeping that plan?

---

**From:** Mike Crosen [<mailto:mike@crosenhomes.com>]  
**Sent:** Friday, January 11, 2019 11:08 AM  
**To:** Oswald, Hank  
**Subject:** RE: B18003232\_15081 Roxbury Road\_New Floor Plans

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Yes, also small powder room on first floor where you enter. The other house in the file is no longer being built on the farm.

**Michael Crosen**  
[mike@crosenhomes.com](mailto:mike@crosenhomes.com)  
Custom Homes & Remodeling  
443.324.4775



---

**From:** Oswald, Hank [<mailto:hoswald@howardcountymd.gov>]  
**Sent:** Friday, January 11, 2019 11:07 AM  
**To:** Mike Crosen  
**Subject:** RE: B18003232\_15081 Roxbury Road\_New Floor Plans

Hi Mike:

The house is composed of a garage and rec room on the first floor and a hobby room with full bathroom on the 2<sup>nd</sup> floor ?

Hank

---

**From:** Mike Crosen [<mailto:mike@crosenhomes.com>]  
**Sent:** Friday, January 11, 2019 11:00 AM  
**To:** Oswald, Hank  
**Subject:** RE: B18003232\_15081 Roxbury Road\_New Floor Plans

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Here is the latest and greatest.

**Michael Crosen**  
[mike@crosenhomes.com](mailto:mike@crosenhomes.com)  
Custom Homes & Remodeling  
443.324.4775



---

**From:** Oswald, Hank [<mailto:hoswald@howardcountymd.gov>]  
**Sent:** Friday, January 11, 2019 10:53 AM  
**To:** 'mike@crosenhomes.com'  
**Subject:** B18003232\_15081 Roxbury Road\_New Floor Plans

Hi Mike:

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Thanks,

Hank

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# MASONRY

- Maximum vertical distance of unbalanced fill measured from the top of the lower level slab to outside finished grade shall not exceed the following, for unreinforced walls where unstable soil or ground water conditions do not exist.

Type of Wall	Height of Fill
8" C.M.U.	4'-0"
12" C.M.U. (hollow)	6'-0"
12" C.M.U. (solid)	7'-0"
8" Poured Concrete	7'-0"
10" Poured Concrete	8'-0"

- Masonry veneer shall be installed over 15# felt or approved water repellant sheathing. Through-wall flashing and weeps shall be provided at any location where interior space projects beyond the face of the veneer, i.e. bay windows, Off-set chimneys, etc..

- Masonry veneer shall be attached 16" o.c. each way and anchored in accordance with the local code requirements.

- Walls over 7'-0" or on unstable soil shall be engineered and certified by a registered professional engineer.

- Concrete masonry units shall meet ASTM C-90 Grade A solid block or ASTM C-145 Grade B Standards and be 28 DAYS OLD before installation. Minimum net compression strength of block to be 1500 psi.

- Parging over CMU walls to be not less than 3/8" Portland cement parging from footing to finished grade. Parging and poured concrete walls shall be covered with a coat of approved bituminous material applied at the recommended rate below grade.

- MASONARY LINTELS: Provide lightweight pre-cast lintels for all openings and and recesses in CMU walls. Provide (1) 4x8 lintel for each 4" of wall thickness. Reinforce each lintel with two #4 bars at top and bottom and with #2 ties spaced 9" O.C., unless noted otherwise. Precast lintel to have minimum 8" bearing at each end. Such lintels shall not support any superimposed loads.

- Use Type "M" mortar for masonry below grade in contact with earth.

- Use Type "N" mortar for exterior above-grade load bearing and non-load bearing walls, and for other applications where another type is not indicated.

# CONCRETE

- Concrete works shall conform to American Concrete Institute Standard 318-83

- Bottom of all footings shall be located a minimum of 30", (or as per local code) below finished grade. Steps or depth of footing / foundation may vary according to local site or frost conditions.

- All interior concrete slabs will be reinforced 6"x6"xW2.0xW2.0 WWF or control joints. Monolithic turned down slabs for townhouses shall have a control joint between units.

- Concrete used in exposed areas implicit to freezing and thawing (both during construction and service life) shall be air-entrained in accordance with local code. Exterior flat-work shall be coated with an approved curing compound.

- Foundation walls of habitable rooms located below grade will be dampproofed or water proofed using materials/methods approved by local building Jurisdiction.

- All work shall comply to local code.

Type of Concrete Construction	Minimum Specified Compressive Strength
- Footings	3500 PSI
- Interior Basement Slabs	3500 PSI
- Foundation Walls	3500 PSI
- Garage and Exterior Slabs	3500 PSI
- Rat Slabs	2500 PSI

(or as per local code)

- REINFORCING BARS: ASTM A-615 and A-305, MESH: ASTM A-185.

- All interior slabs of 30 FEET or more in any dimension shall have WWF and Control Joints.

- Vapor barrier under all slabs EXCEPT garages: 7 MIL Polyethylene, Lap all edges 6", Lay over 4" Gravel bed.

- Exterior Concrete Slabs: 5% to 7% Air Entrained

# WOOD

- Wall bracing shall be installed as per local code.

- All roof trusses and floor systems shall be braced and installed per manufacturer's specifications and as per local code. See manufacturer's plans for exact layout and construction.

- All trusses are to be stamped and certified by a registered engineer and meet TPI manufacturers minimum requirement.

- See drawings for plywood.  
- Tongue and groove floor decking glued and nailed (8d nails) on floor joists at 6" o.c. and 4" edge spacing maximum to meet the American Plywood Association Sturd-I-Floor system.

- Tongue and groove floor decking glued nailed (8d nails) on pre-engineered floor joists at 6" o.c. and 4" edge spacing maximum to meet the American Plywood Association Sturd-I-Floor system.

- Fire-stopping shall be provided to cut-off concealed draft openings and to form an effective fire barrier between stories as per local code.

- All LVL's will be microlams will be manu. by Trus Joist McMillian (or equiv)

- Structural sawn lumber shall be SPF #1 or #2

- All exterior walls are 2x6 stud #16" centers, minimum SPF stud grade unless otherwise noted.

- All interior walls are 2x4 stud #16" centers, minimum SPF stud grade unless otherwise noted.

- All opening headers to be 3-2x10's w/ 3/4" plywood filler bearing on min. 2-2x6's studs, unless noted otherwise

- Joist hangers to be installed as required.

- All wood less than 8" from grade shall be pressure treated. All sole plates on slabs shall be pressure treated.

- Provide bearing at all structural members as required by local code.

- All materials shall be installed per manufacturer's specifications and as per applicable building codes.

- All multiple beam members will be glued together with liquid nails and screwed using 3" Deck Mate screw at 16" o.c. staggered 2" from the top and bottom of the depth of the beam.

- All work shall comply to local code.

# METAL

- Strap anchors or anchor bolts shall be local code and building inspector approved: Minimum 2 straps/bolts per section of plating 12" Max. from each end and with intermediate strap/bolts at 6'-0" o.c. maximum. (or as per local code)

- Galvanized metal brick veneer ties shall be installed 16" o.c. each way.

- All steel shall conform to ASTM Specs for A-36 Steel.

- Metal joist hangers (Standard wood ledger) Shall be used where required at joist without direct bearing and be min.18 GA. galvanized steel. Use all nails specified by the manufacturer.

- Steel lintels for all opening and recesses in brick or Brick Faced Masonry wall not specifically detailed: Provide (1) steel angle for each 4" of wall thickness. Steel angles to have minimum 6"baering at each end. Horizontal leg shall be 3 1/2, unless noted otherwise.

- LINTEL SCHEDULE (UNLESS NOTED OTHERWISE ON PLANS):

LOOSE LINTELS (STEEL AND PRECAST)		
1. Provide loose lintels over penetrations in new masonry walls (and new penetrations in existing masonry walls) at doors, windows, mechanical and electrical services and equipment, etc...u.n.o.		
2. Provide a steel angle for each 4" of masonry thickness bearing 6" minium on a full mortar bed as follows:		
OPENINGS UP TO 3'	L3- 1/2x3- 1/2x5/16	
OPENINGS >3' TO 5'	L4x3- 1/2x5/16, (LLV)	
OPENINGS >5' TO 8'	L6x3- 1/2x5/16, (LLV)	

3. Where required for architectural reasons, or as noted, provide precast concrete lintels bearing 8" min. on a full mortar bed as follows.

4" WALLS (8' max open.)	4"x8", Reinforced W/ 1#3 top & 1#5 bottom
6" WALLS (8' max open.)	6"x8", Reinforced W/ 1#3 top & 1#5 bottom
8" WALLS (8' max open.)	8"x8", Reinforced W/ 2#3 top & 2#5 bottom

4. When walls are present that are thicker than 8" use a combination of 4", 6" and 8" precast concrete lintels.

- Lintels shown shall not support any superimposed loads.

- All steel angles in masonry walls are to be flashed and painted.

- Paint all exterior ferrous or galvanized metals EXCEPT completely pre-finished factory items.

- All work shall comply to local code.

# SITEWORK

- GENERAL: These drawings do not cover sitework, grading or landscaping

- Building foundations have been designed based on an assumed soil bearing capacity of 1500 PSF. Additional engineering is required if soil bearing capacity is less than 1500 PSF.

- Provide continuous perimeter foundation drainage in accordance with local code requirements. Where both interior and exterior drains are required, provide minimum 1 1/2" dia. bleeder pipes through mid line of footing at max 8" o.c. Typically, drains shall lead to sump pits or to positive daylight discharge points.

- Slope all stoops, porches, walks and exterior slabs away from building 1/8" minimum per foot.

- All work shall comply to local code.

# WEATHER/THERMAL

- Insulation for slab on grade construction shall begin at the inside intersection of the slab and the foundation wall and shall extend for a minimum distance of 24" down the inside face of the foundation wall and horizontally 24" under the slab. For unheated slabs a material with an R-value of 42 is required; for heated slabs an R-value of 63 is required (or as per local code)

- Sill Sealer: compressible material shall be installed under all mud plates (foundation wall and wood floor systems) and sole plates (slab on grade)

R-Value	Thickness	Location
R-11 FS25	3 1/2"	Basement Walls
R-21	5 1/2"	2x6 Walls (exterior)
R-38	9"	Crawl Space
R-38	'	Floors exposed to unheated condition
R-49 Batt.	12"	Roof
R-49 Blown	'	Apply blown insulation as required by manufacturer's specifications

- Provide vents as per local code.

- Flashing: Prefinished aluminum or equal, at all roof offsets, chimneys, roof openings, hips, valleys, ridges, dormers and where roof intersects wall.

- Contractor shall maintain in all circumstances proper fire, sound and insulation ratings when penetrating through walls, floors, ceilings and roofs.

- All miscellaneous penetrations during construction shall be patched and repaired according to manufacturer's specifications and as per code.

- All exterior joints between windows, doors and other surfaces shall be caulked and sealed appropriately.

- DAMPPROOFING: Apply (1) coat of asphalt emulsion to exterior of all below grade walls at basement conditions. When habitable space occurs below grade, provide waterproofing membrane, aqueous based elastomeric, vinyl acrylic mastic, 35 Mil. min. thickness or other approved equal.

- SLAB VAPOR BARRIER: 7 Mil. polyethylene sheet where noted on drawings. Overlay all edges 6".

- SILL SEALER: 1/2" x 5 1/2" compressible fiberglass beneath all exterior sill plates or other approved sill sealer.

- Provide approved corrosion-resistive flashing at the intersections of masonry and wood frame construction; over projecting wood trim; where decks, porches etc. attach to wood frame construction; at wall and roof intersection; at chimney and roof intersections; in roof valleys; at all roof penetrations; and at wall openings if recommended by window and door manufacturers.

- Slab perimeters exposed to outside or within 30" of grade; 4.5x24", either vertical or horizontal from slab intersection.

- ROOFING: unless noted otherwise, roofing shall be min 200# Class "C" Fiberglass based asphalt shingles over 15 pound felt. Eave flashing to a point 24" inside of interior face of wall line may be also installed at the owner discretion.

- WALL SHEATHING: As shown on drawings and installed in accordance with MANUFACTURER'S RECOMMENDATIONS.

- GUTTERS AND LEADERS: .032" Prefinished aluminum gutters with .024" prefinished aluminum leaders. Lead to splashblocks or collector as required.

# DOORS and WINDOWS

- Provide safety glazing as required by local code.

- All doors and windows shall be installed in accordance with manufacturer's specifications, and as per local code.

# GENERAL NOTES

- All work shall comply to all applicable local codes.

- All construction shall be classified as and comply to either of the following:

-- Use Group R-4 under the 2015 International Residential Code. & Howard County Code

- Contractor is responsible for bracing all framing/walls during construction

- These plans and notes are the property and sole responsibility of JRArchitecture, Inc. Use of these plans without the written consent of JRArchitecture, Inc. is prohibited.

- These plans are subject to modification as necessary to meet code requirements and or facilitate mechanical/plumbing installations or to incorporate design improvements. The Architect and the Owner reserves the right to make any changes, for any reason, at any time, providing they comply with the code.

- The Sub-Contractor shall compare and coordinate all drawings. When a discrepancy or an error or omission exists, he shall comply with the code and contact the Architect and the Owner in writing for proper adjustment.

- These plans are not to be scaled for Construction purposes. Written dimensions and notes supersede all scaled reference.

- In the event certain features of Construction are not fully shown on the drawings, their construction shall be of the same character as for similar conditions that are shown or noted.

- Field verify ALL existing dimensions

# DESIGN - LIVE LOADS

RECOMMENDED MINIMUMS:	
- Ground Snow Load	30 psf
- Roof	30 psf
- Sleeping Floors	30 psf
- Living Floors	40 psf
- Exterior Decks	60 psf
- Stairs	100 psf
- Garage Slabs	50 psf
- Wind Load	17 psf
- Dead Load	10 psf
- Guardrails	200' at any point in any direction.

(or as per local code)

# STAIR CRITERIA

- INTERIOR and EXTERIOR STAIRS  
- All stairs shall comply with all local codes.  
- Minimum finish width: 36"  
- Minimum finished headroom height: 6'-8"  
- Maximum riser height: 7 3/4"  
- Minimum tread depth: 11"  
- Maximum space between balusters: 4"  
- Handrail height shall not be less than 34" or greater than 38" and may not project more than 3 1/2" into stair width.

- Provide a minimum of 1 1/2" space between handrail and wall.

- Stair winder shall have a minimum inside width of 6" and a minimum of a 9" tread when measured 12" from inside corner.

- Stair landings shall be a minimum of 36" x 36"

- Stairways with 3 or more risers are required to have a handrail.

# MECH. PLUMB. ELEC.

- Mechanical contractor is responsible for the design and installation of mechanical systems including duct sizes, trunk and register size for air conditioning and heating. Systems shall be installed per manufacturer's specifications and recommendations and as per all applicable building codes.

- Plumbing contractor is responsible for the design and installation of plumbing and piping. All plumbing, piping and fixtures shall be installed per manufacturer's specifications and recommendations and as per all applicable codes.

- Electrical contractor is responsible for the design and installation of all electrical systems. All electrical work shall meet the requirements of the National Electric Code, the local power company and all applicable codes. Fixtures and apparatus are selected by the builder and shall be UL approved.

- Smoke & Carbon Monoxide detectors - Provide a minimum of one ceiling mounted fixture per floor, hard wired to a nearby circuit and interconnected for simultaneous activation with battery backup. Provide detectors at each sleeping room if required by local code. Provide detectors outside each sleeping area within 10'-0' of each door.

- Fire suppression systems shall be installed as per local building code. All this Project by others, unless the Architect is adjudged to be in default All work shall comply to local code.

ARCHITECTURE  
**JONATHAN RIVERA**  
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JONATHANRIVERA.COM

PROFESSIONAL CERTIFICATION  
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Expiration Date: 6/30/2020

Jonathan Rivera  
License Number #14678

Dubbe Farm - Tenant House  
Lot 7 - Chase Farm  
15085 Roxbury Road Lot #7 Glenelg, Maryland 21737

ISSUE DATES:  
12-13-18 REVIEW SET

SCALE:  
GENERAL INFO  
0.02  
PRINT DATE :  
Wednesday, January 02, 2019



# Dubbe Farm - Tenant House

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15085 Roxbury Road Lot #7 Glenelg, Maryland 21737

ISSUE DATES:  
12-13-18 REVIEW SET

SCALE: 1/4" = 1'-0"

ELEVATIONS

**1.01**

PRINT DATE:  
Wednesday, January 02, 2019

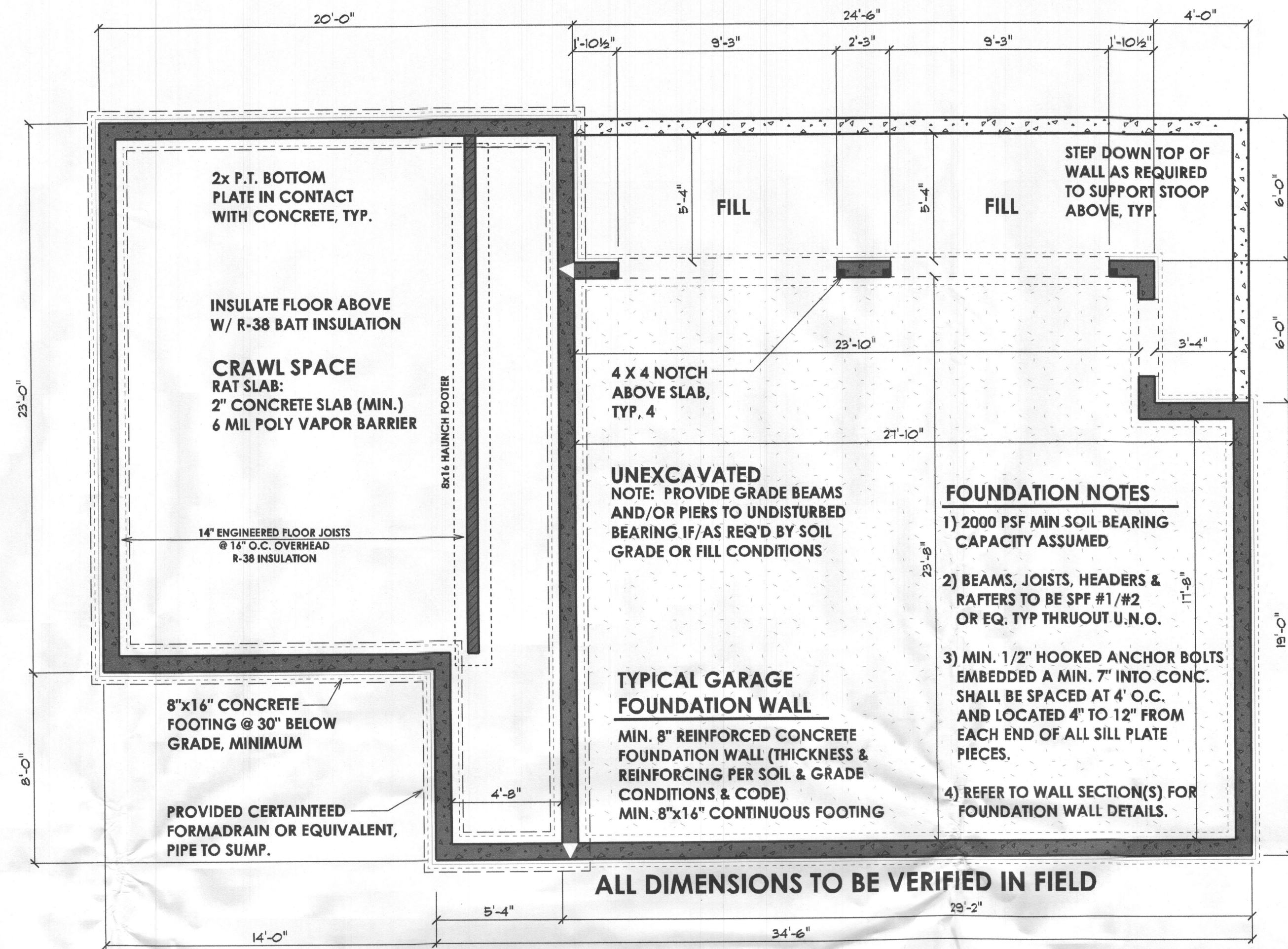


FRONT ELEVATION

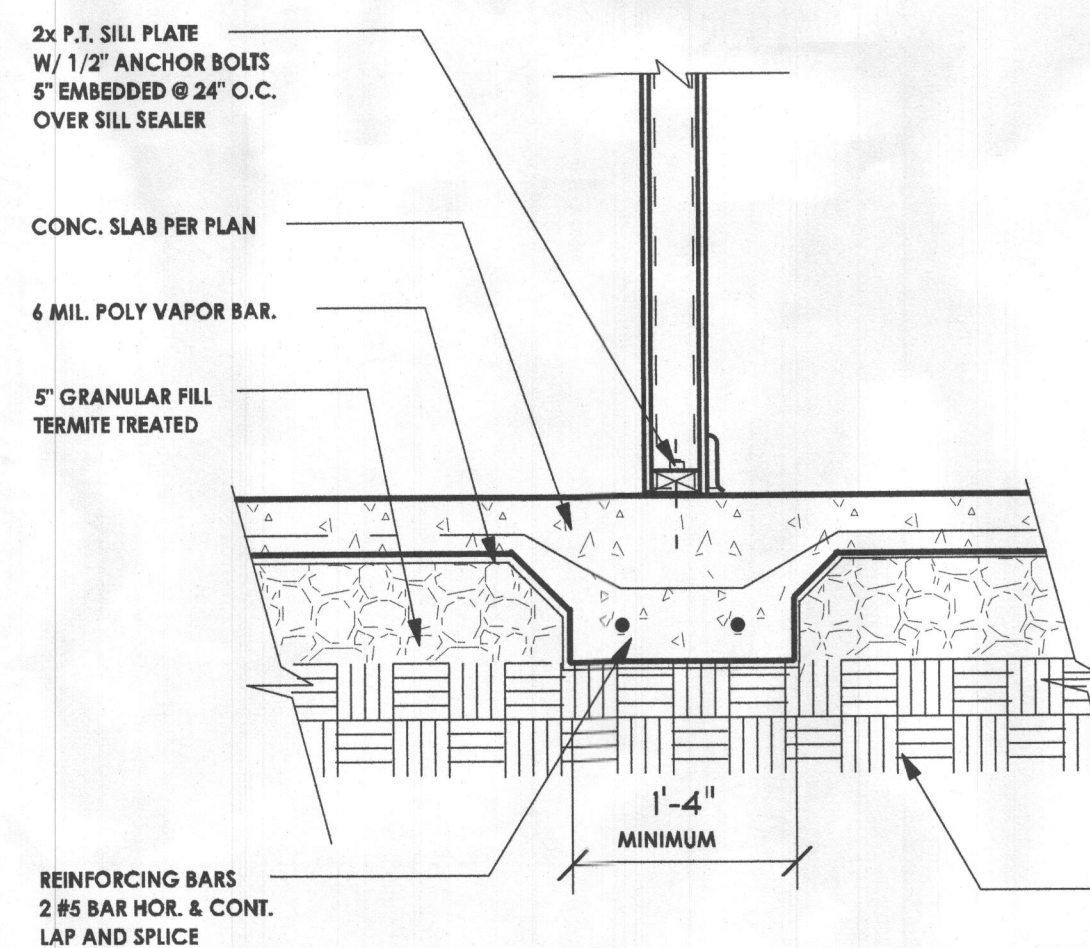


LEFT ELEVATION

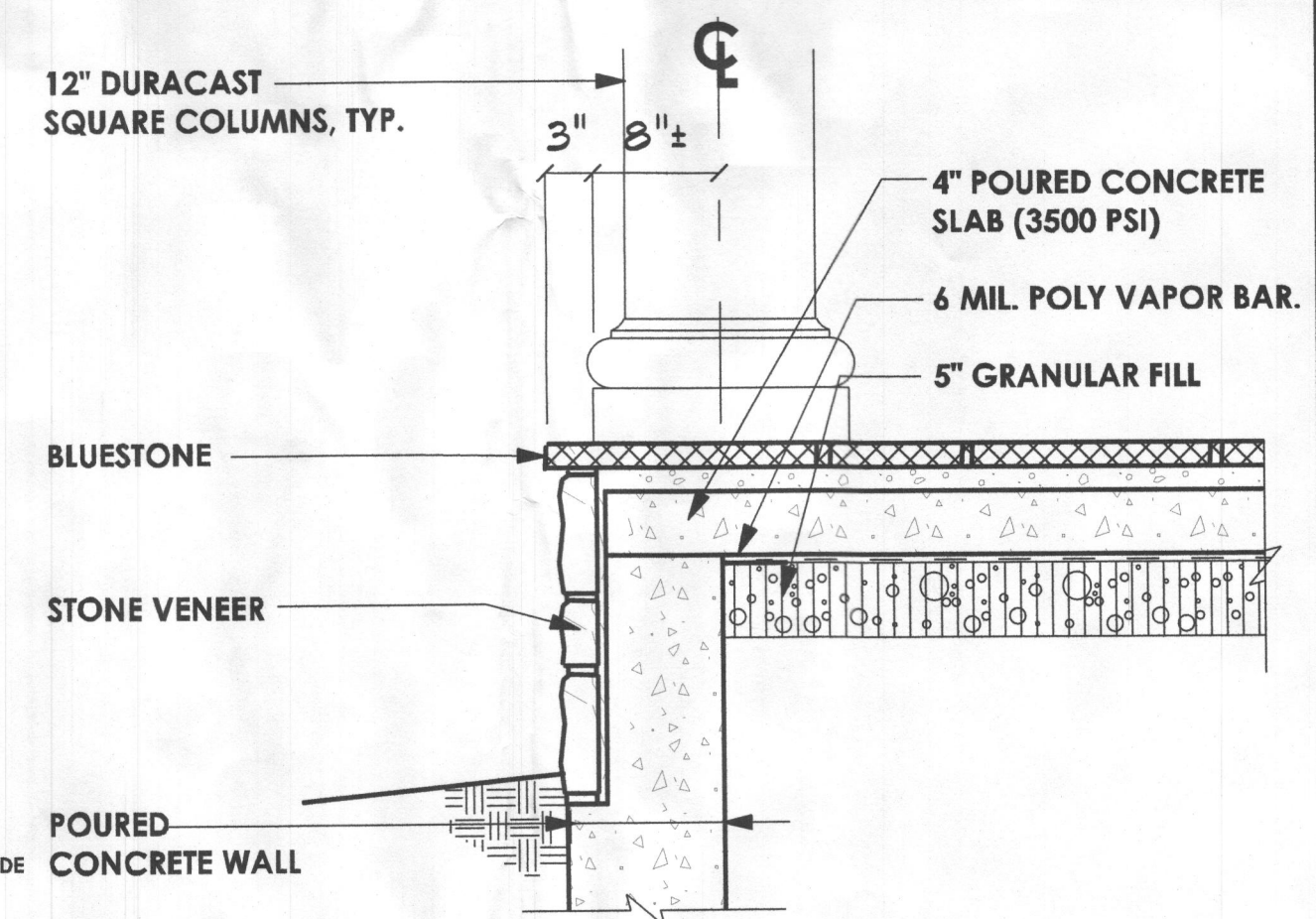




**FOUNDATION PLAN**



**INTERIOR BEARING**



**EDGE SECTION**

# Dubbe Farm - Tenant House

**Lot 7 - Chase Farm**  
**15085 Roxbury Road Lot #7 Glenelg, Maryland 21737**

**ISSUE DATES:**  
 12-13-18 REVIEW SET

**SCALE:** 1/4" = 1'-0"

**FOUNDATION**

**2.01**

**PRINT DATE:**  
 Wednesday, January 02, 2019



# Dubbe Farm - Tenant House

Lot 7 - Chase Farm  
15085 Roxbury Road Lot #7 Glenelg, Maryland 21737

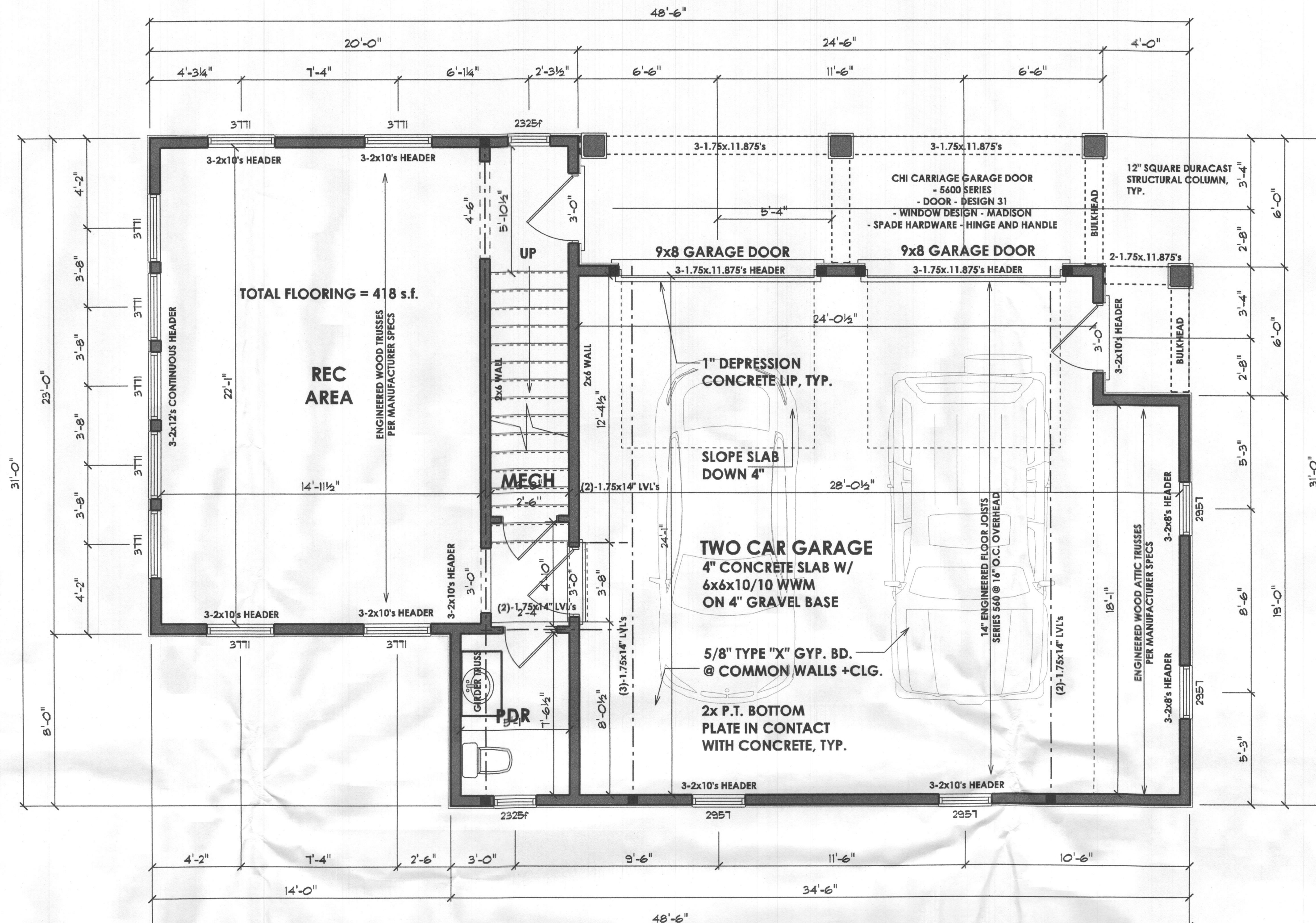
ISSUE DATES:  
12-13-18 REVIEW SET

SCALE: 1/4" = 1'-0"

FIRST FLOOR

## 3.01

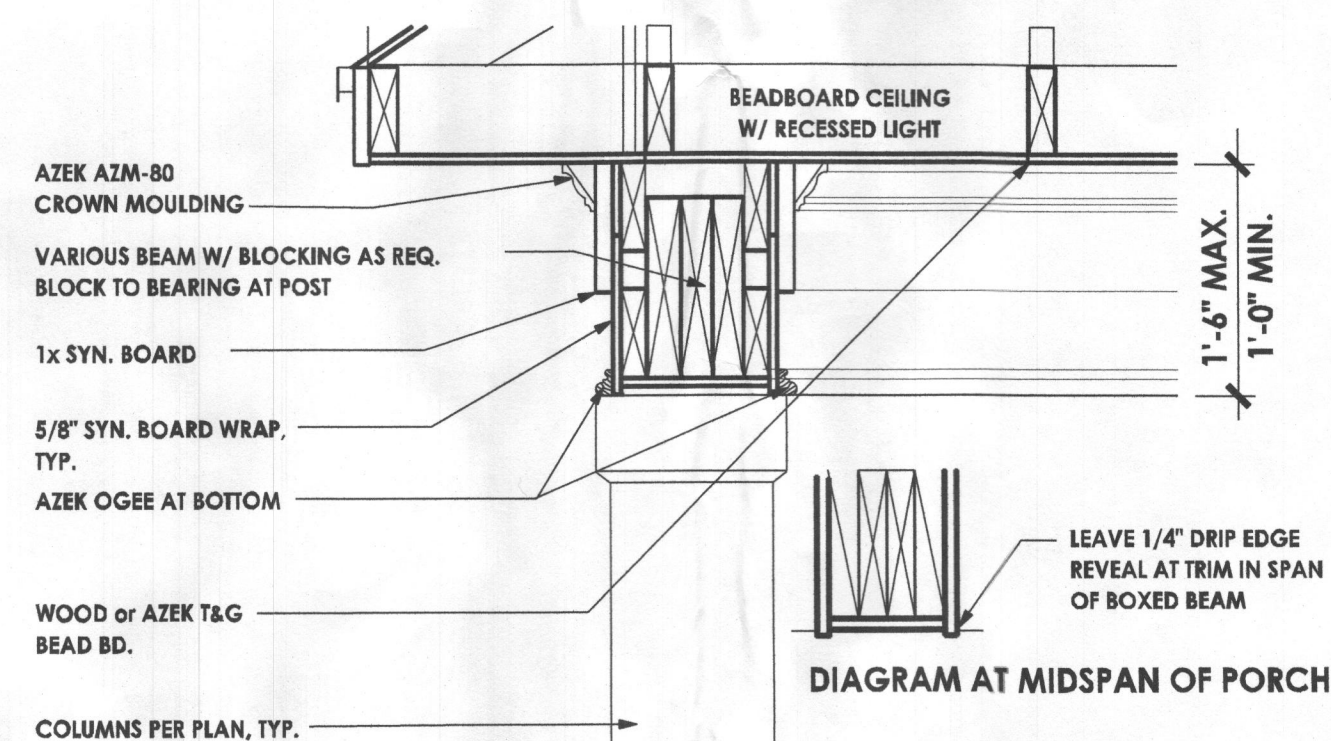
PRINT DATE:  
Wednesday, January 02, 2019



ALL DIMENSIONS TO BE VERIFIED IN FIELD

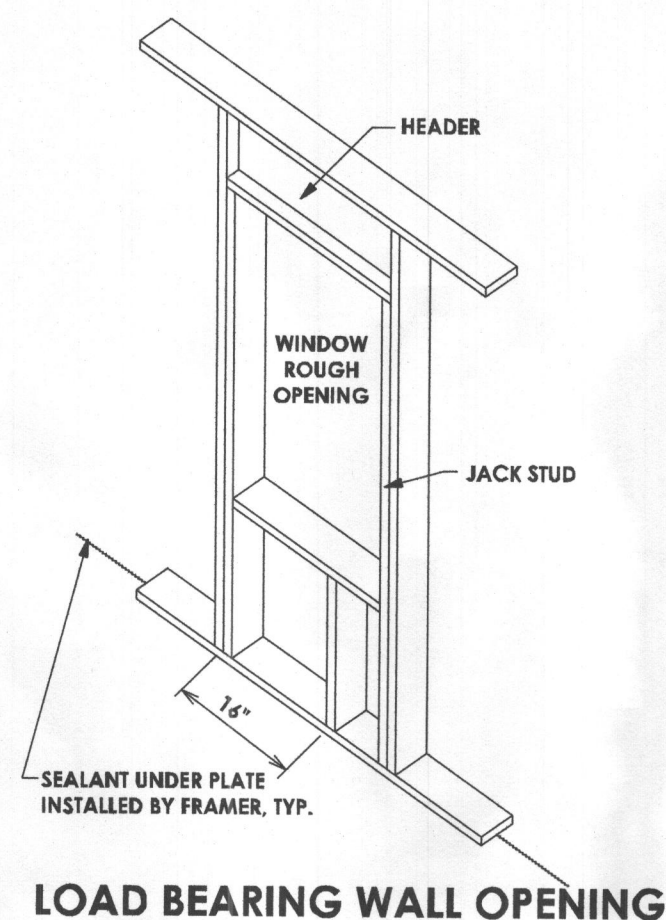
— = EXISTING WALL/PARTITION  
— = PROPOSED NEW WALL/PARTITION

TYPICAL HOUSE BOX - 2x6 EXTERIOR WALL  
TYPICAL METHOD OF WALL CONSTRUCTION - R602.10.5  
CONTINUOUSLY SHEATHED - WOOD STRUCTURAL PANEL

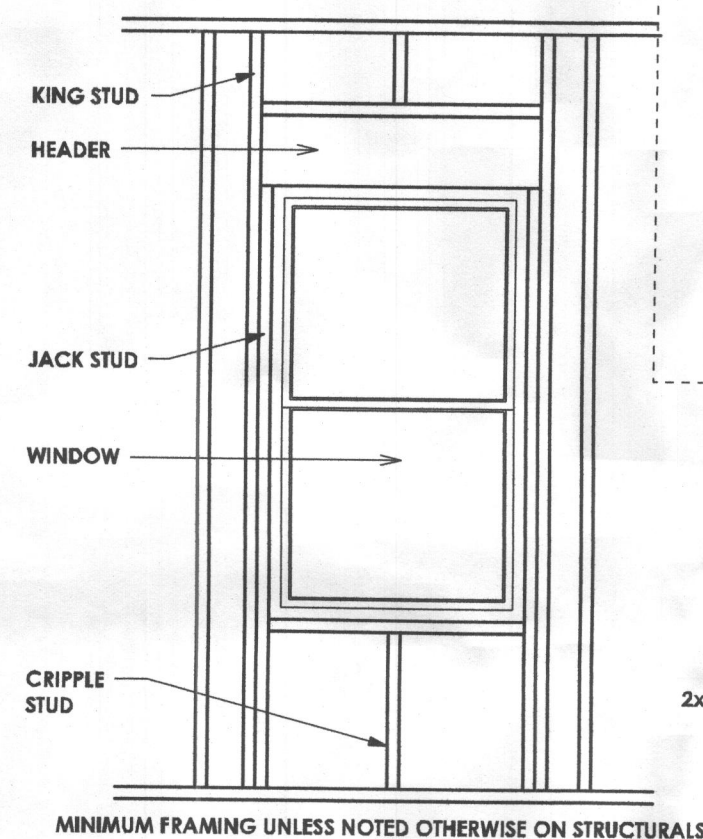


FINISHED BULKHEAD WIDTH TO  
MATCH COLUMN WIDTH (NOT CAP)  
BEAM SECTION DETAIL



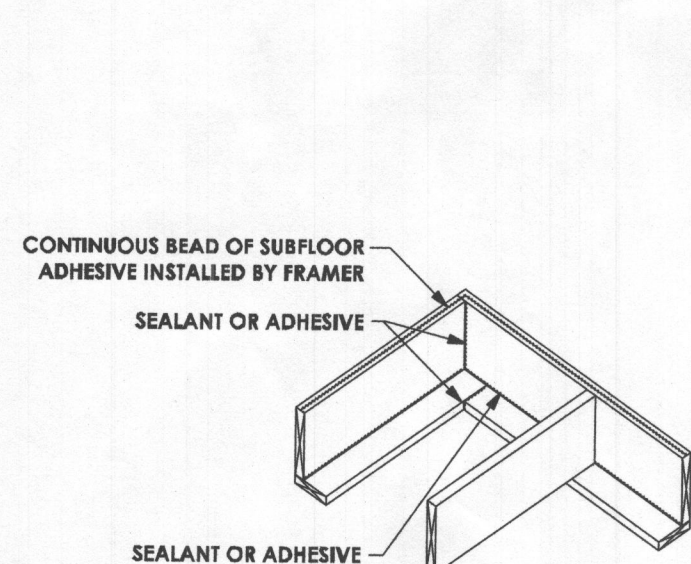


LOAD BEARING WALL OPENING

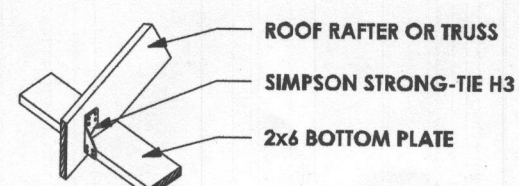


MINIMUM FRAMING UNLESS NOTED OTHERWISE ON STRUCTURALS

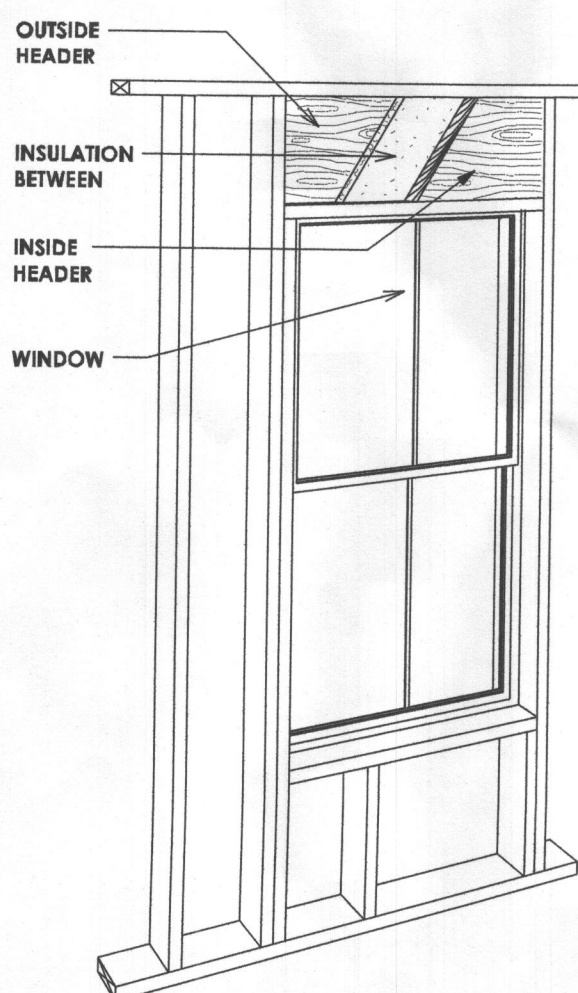
WINDOW FRAMING ELEVATION NAILER @ PARTITION



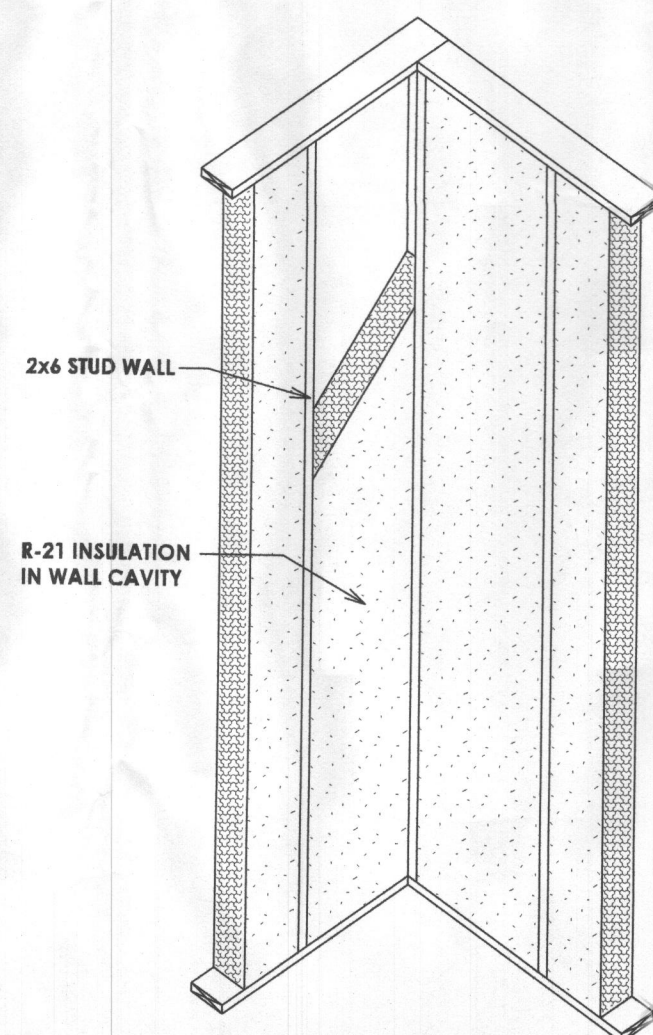
RIM JOIST AIR SEALING



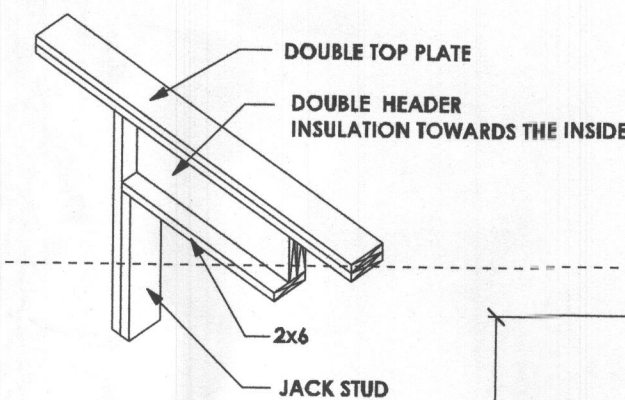
ROOF WALL FRAMING CONNECTION



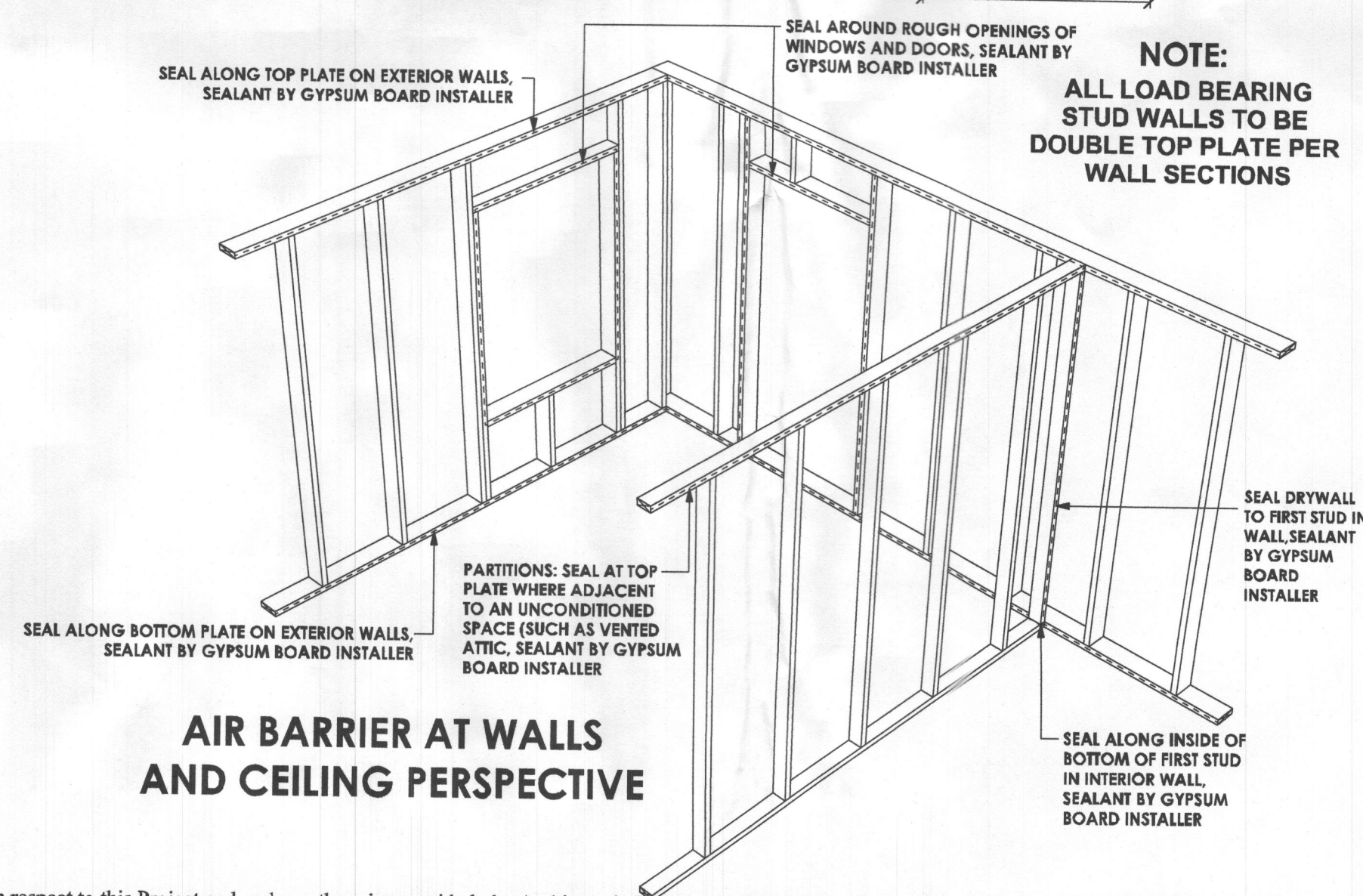
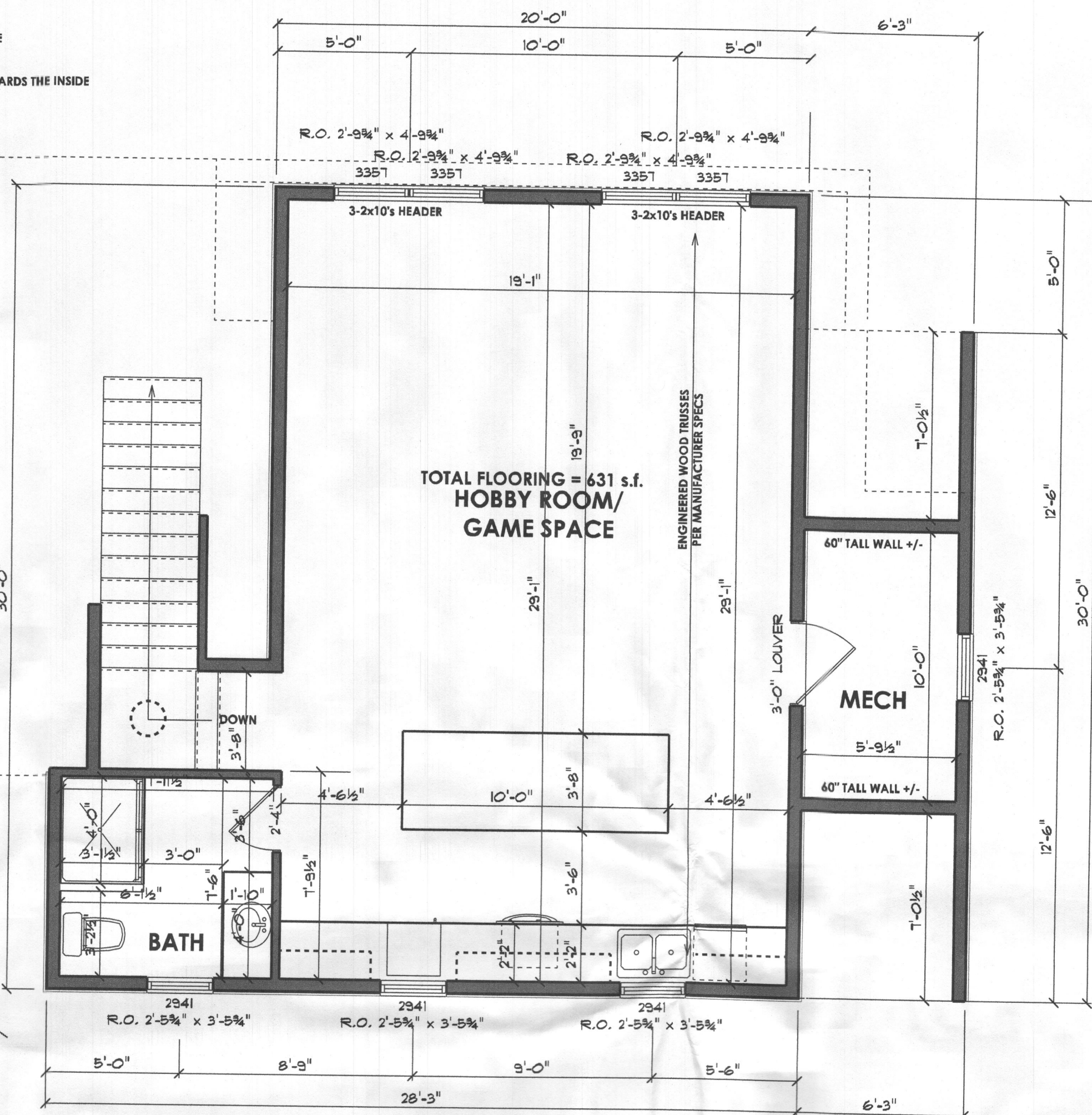
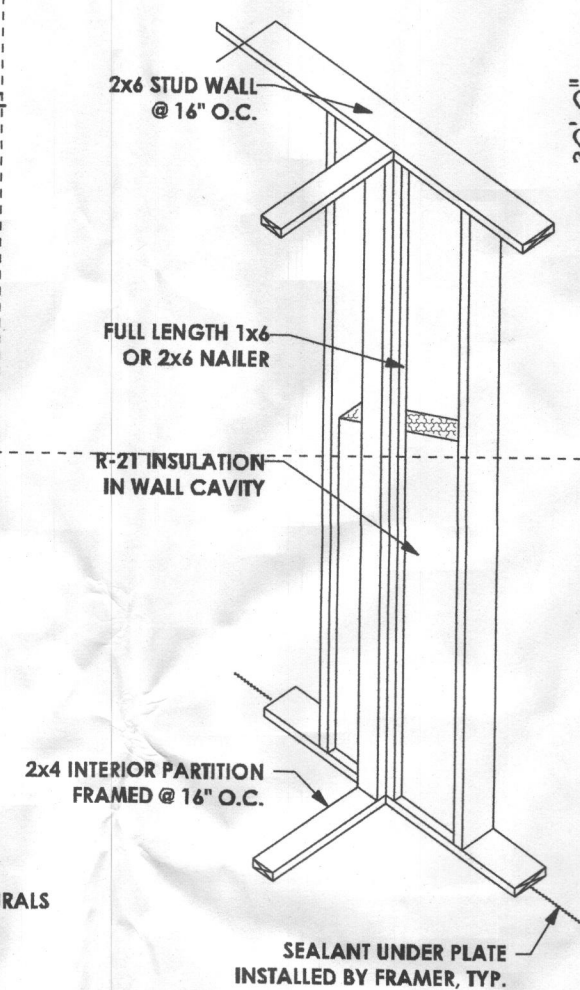
HEADER INSULATION BETWEEN



TWO-STUD CORNER-INSULATION



DOUBLE HEADER



AIR BARRIER AT WALLS AND CEILING PERSPECTIVE

# Dubbe Farm - Tenant House

Lot 7 - Chase Farm  
15085 Roxbury Road Lot #7 Glenelg, Maryland 21737

ISSUE DATES:  
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SCALE: 1/4" = 1'-0"

SECOND FLOOR

**3.02**

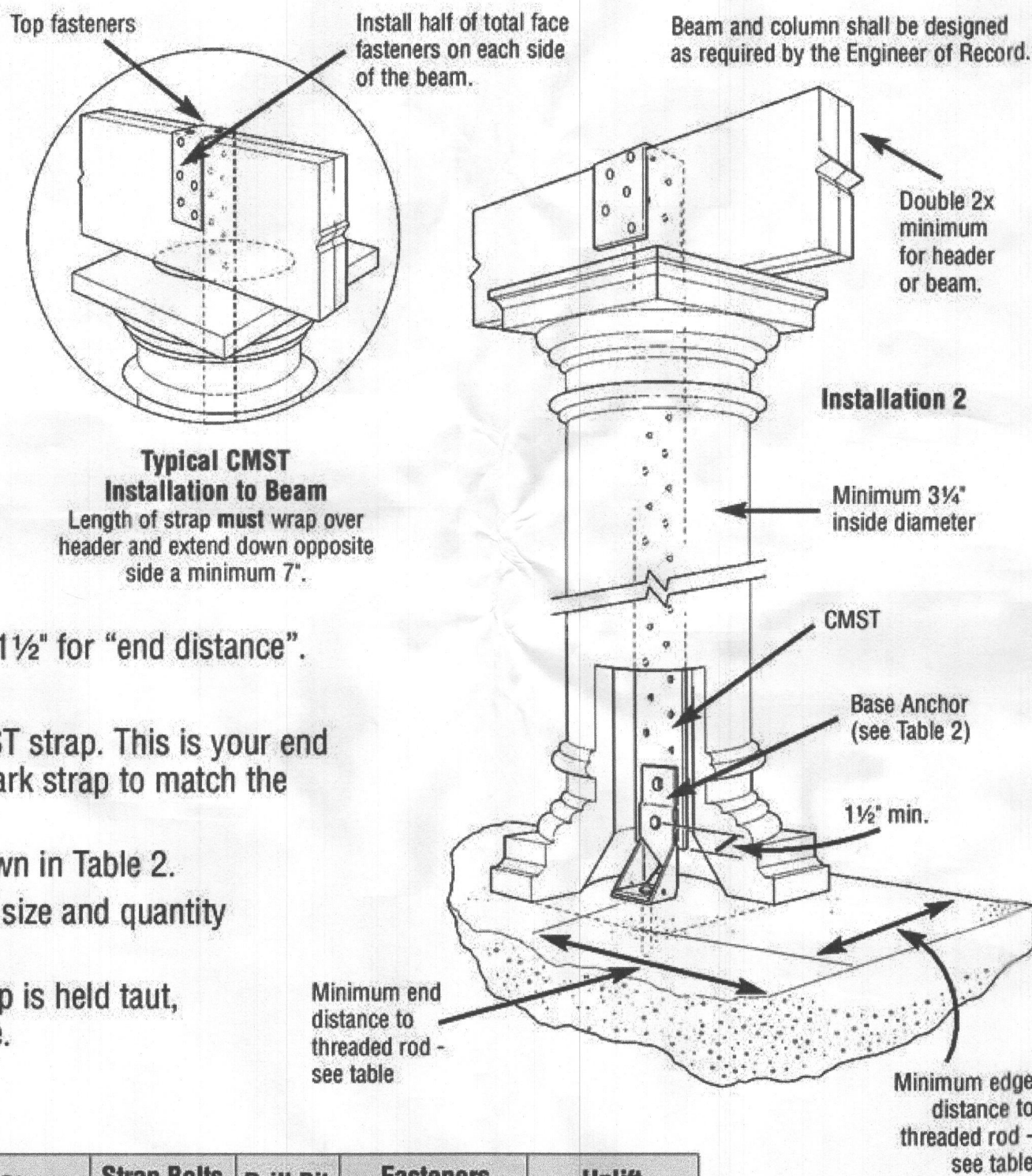
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Installation requires a base anchor and Simpson's CMST strap. A concealed connection can be designed between foundation and beam. The minimum inside diameter of the hollow column must be 3¼" for the CMST strap and a minimum base opening diameter of approximately 7" is required for the LTT/HTT or HDA base anchors. Consult the column manufacturer for minimum column opening diameters.

**INSTALLATION**

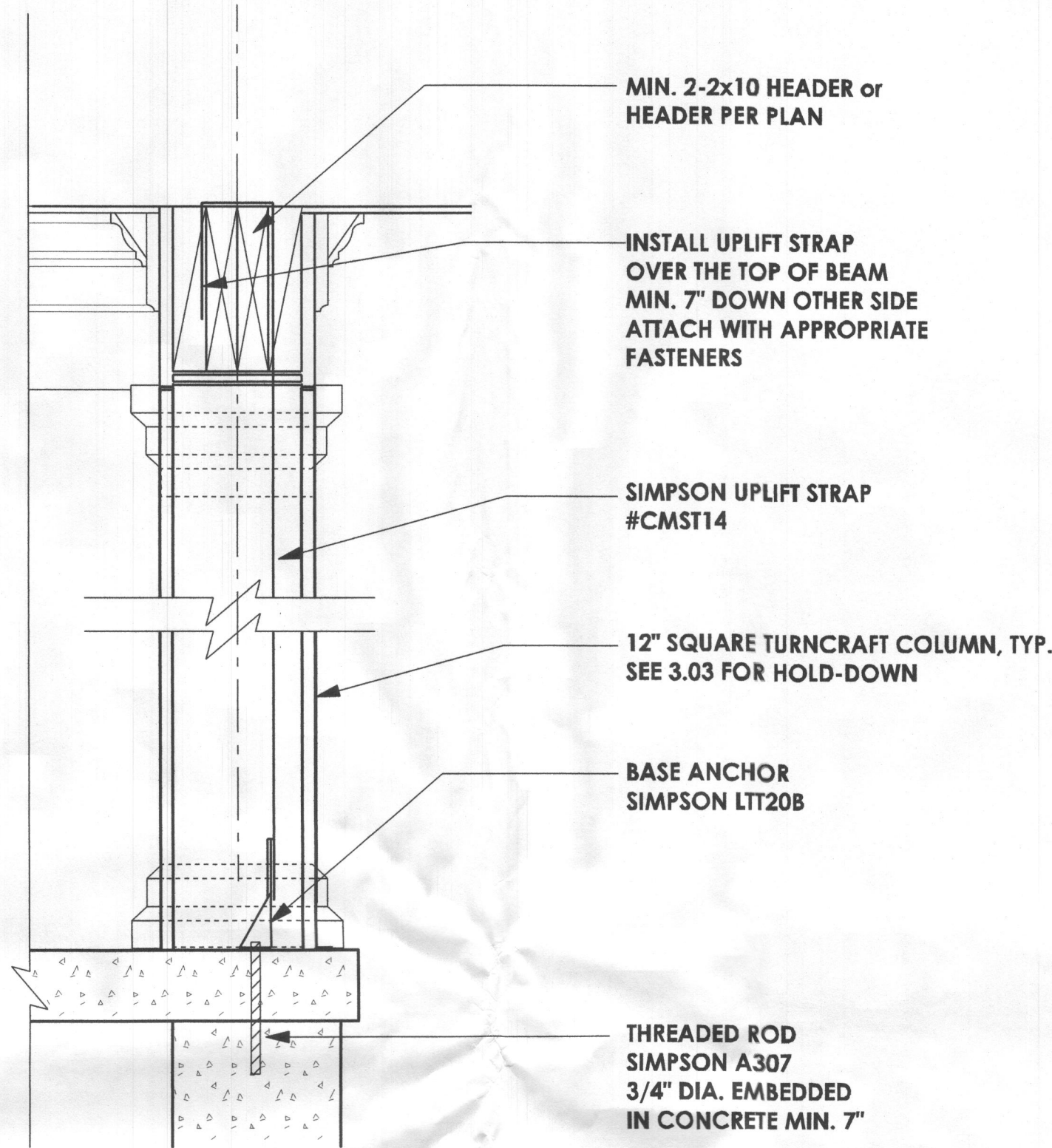
- Select the appropriate strap and base anchor for the required uplift load from the table.
- Install base anchor:
  - a. Mark slab for center location of column.
  - b. Drill hole to the specified diameter and depth. See Table 2.
  - c. Clean hole and add Simpson's Epoxy-Tie. See Figures 1 through 6 on page 1.
  - d. Insert the required A307 threaded rod at the specified embedment depth.
  - e. Allow epoxy to cure.
- Attach base anchor to threaded rod and tighten nut after Epoxy-Tie has cured.
- Cut length of strap as required. Add an additional 1½" for "end distance".
- Overlap CMST strap with strap of base anchor:
  - a. Mark a 1½" distance from the end of the CMST strap. This is your end distance clearance. From the end distance, mark strap to match the location of base anchor stud bolts.
  - b. Drill strap bolt holes size and quantity as shown in Table 2.
  - c. Attach strap to base anchor with the required size and quantity of machine bolts (A307 bolts minimum).
- Set column in place and pull strap taut. While strap is held taut, fasten strap to beam with fasteners shown in table.



**TABLE 2 — Allowable Uplift Loads**

Base Anchor Model No.	Base Anchor Dia.	Anchor Drill Bit Dia.	Min. Embed.	Min. Anchor Length	Min. End Dist.	Min. Edge Dist.	Strap Model No.	Strap Bolts		Drill Bit Dia. (Strap)	Fasteners		Uplift	
								Qty	Dia.		Face (Total)	Top	100	(133 & 160)
LTT20B	¾"	7/8"	6¾"	8¾"	10½"	5"	CMST14	2	½"	9/16"	4-10d	2-10d	1750	1750
MTT28B	¾"	7/8"	6¾"	8¾"	10½"	5"	CMST14	4	½"	9/16"	8-10d	2-10d	3630	4455
HD2A	5/8"	¾"	5"	7"	7½"	4"	CMST14	2	5/8"	1¼"	4-10d	2-10d	2775	2775
HD5A	5/8" or ¾"	7/8"	6¾"	8¾"	10½"	4"	CMST14	2	¾"	1¾"	8-10d	2-10d	3375	4010
HD8A	7/8"	1"	7¾"	9¾"	11½"	6"	CMST14	3	7/8"	1½"	8-10d	2-10d	3430	4435
HD8A	7/8"	1"	7¾"	9¾"	11½"	6"	CMST12	3	7/8"	1½"	10-10d	2-10d	4865	6305
HD10A	7/8"	1"	7¾"	9¾"	11½"	6"	CMST12	4	7/8"	1½"	10-10d	2-10d	4865	6305

1. See Simpson Anchor Systems catalog for complete Epoxy-Tie installation details.
2. 10d nails are common nails.
3. Allowable loads have been increased for wind or earth quake loading with no further increase allowed.
4. Minimum concrete compressive strength is 2000 psi.



**Installation into Concrete and Grout Filled CMU**

1. Drill-Drill hole to specified diameter and depth.
2. Clean-Remove dust from hole with oil-free compressed air. Clean with nylon brush and blow out remaining dust. Note: Dust left in hole can reduce the adhesive's holding capacity.
3. Cut open top of cartridge.
4. Attach clean mixing nozzle.
5. Fill-Dispense bead of adhesive off to the side to check for proper mixture (a uniform gray color) before using. Fill hole halfway, starting from bottom of hole to prevent air pockets. Withdraw nozzle as hole fills up.
6. Insert-Anchors must be clean and oil free. Insert anchor, turning slowly until the anchor contacts the bottom of the hole. Do not disturb during cure time.

PROFESSIONAL CERTIFICATION  
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Jonathan Rivera  
License Number #14678

**Dubbe Farm - Tenant House**  
Lot 7 - Chase Farm  
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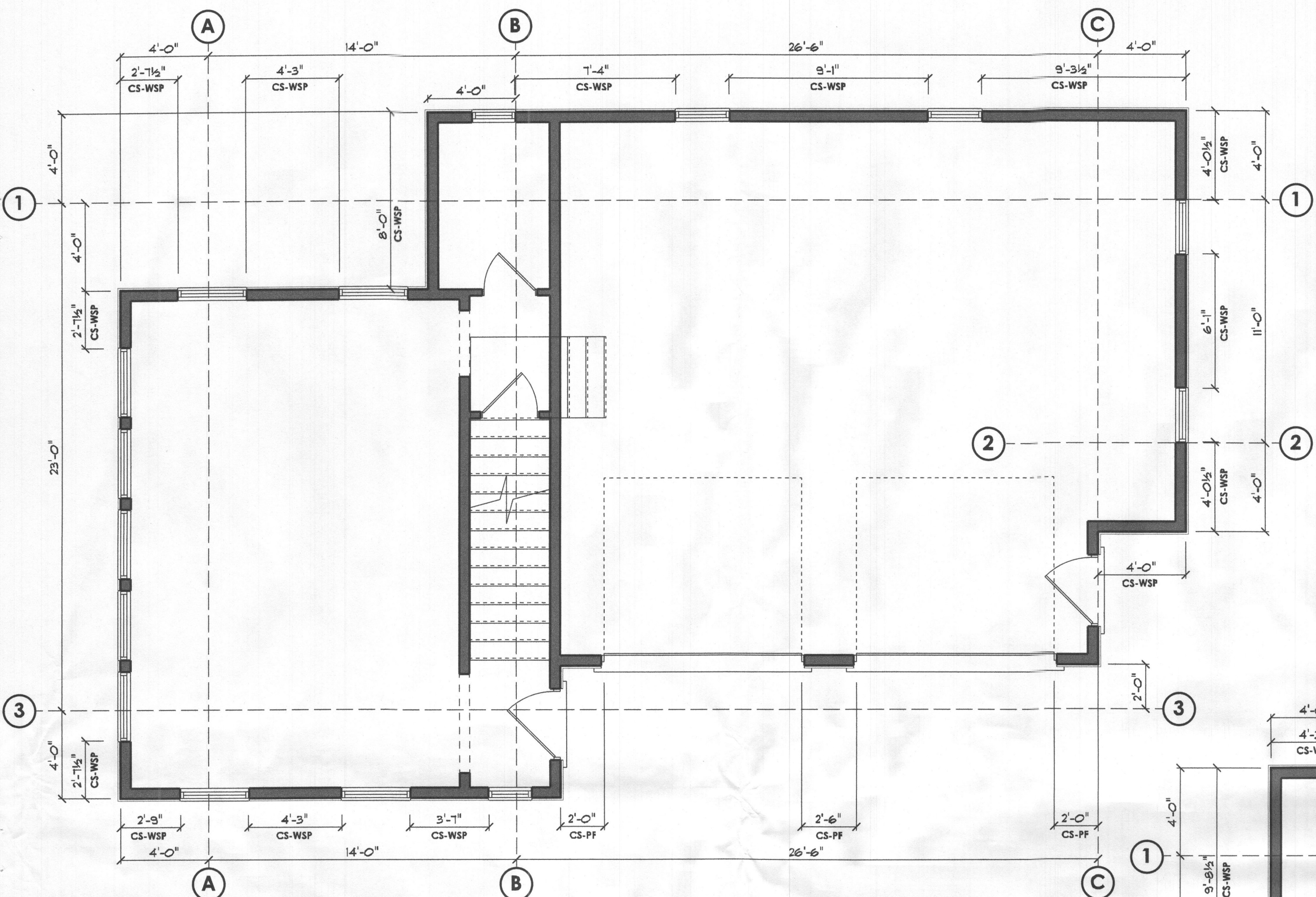
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**HOLD DOWNS**

**3.03**

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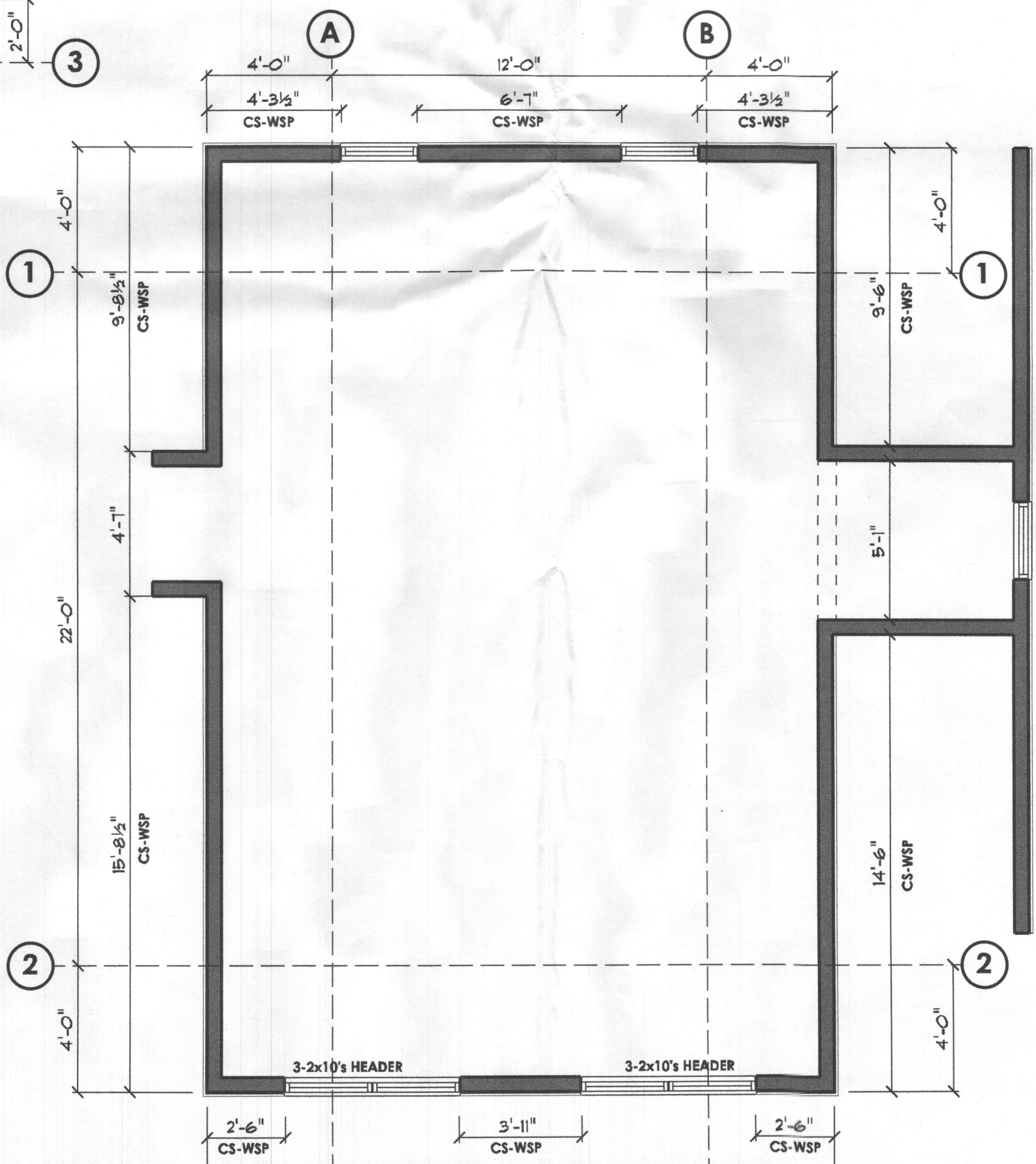


FIRST FLOOR CALCULATIONS

BRACED WALL LINE	WALL PANEL TYPE	NET REQUIRED WALL BRACING FT.	ACTUAL PROVIDED WALL BRACING FT.
A	CS-WSP	2.69'	5.25'
B	CS-WSP	4.17'	8.00'
C	CS-WSP	4.17'	14.17'
1	CS-WSP	2.76'	32.25'
2	CS-WSP	3.81'	4.00'
3	CS-PF	3.81'	22.58'

SECOND FLOOR CALCULATIONS

BRACED WALL LINE	WALL PANEL TYPE	NET REQUIRED WALL BRACING FT.	ACTUAL PROVIDED WALL BRACING FT.
A	CS-WSP	2.54'	25.41'
B	CS-WSP	2.54'	24.00'
1	CS-WSP	3.58'	15.16'
2	CS-WSP	3.58'	8.91'



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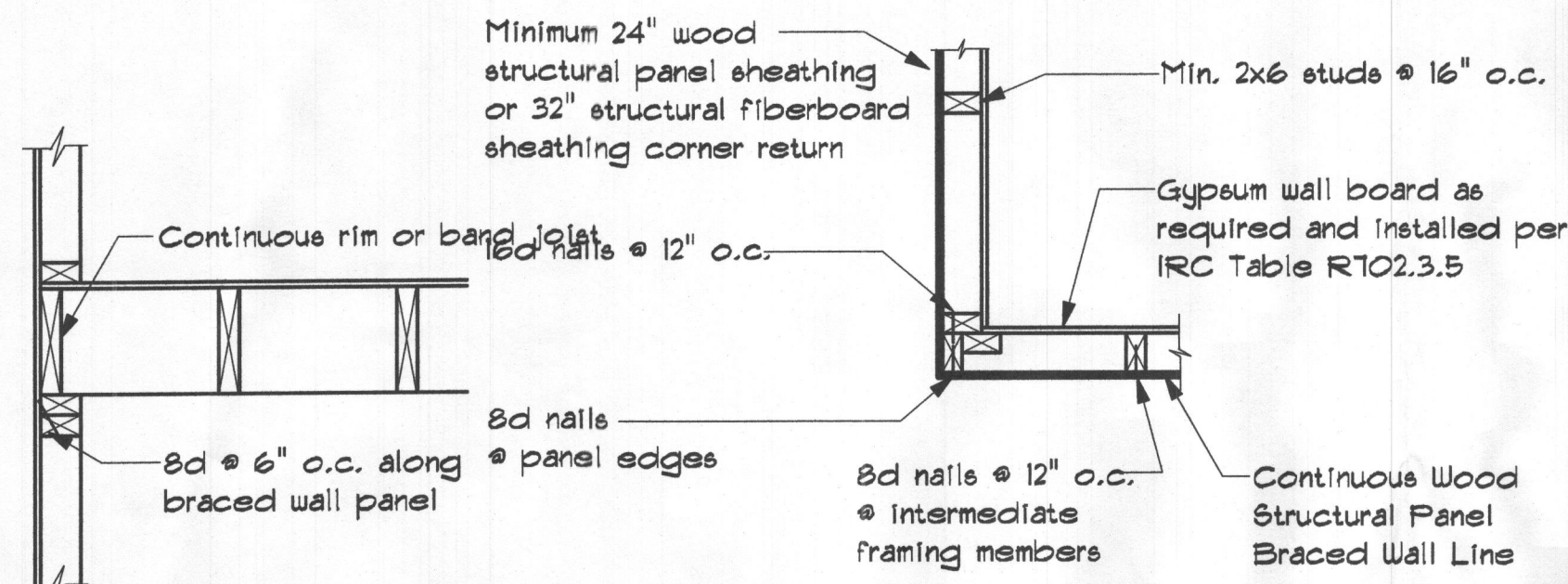
BRACING PLAN

# 3.51

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Wednesday, January 02, 2019



EXTERIOR CORNER WALL DETAILS

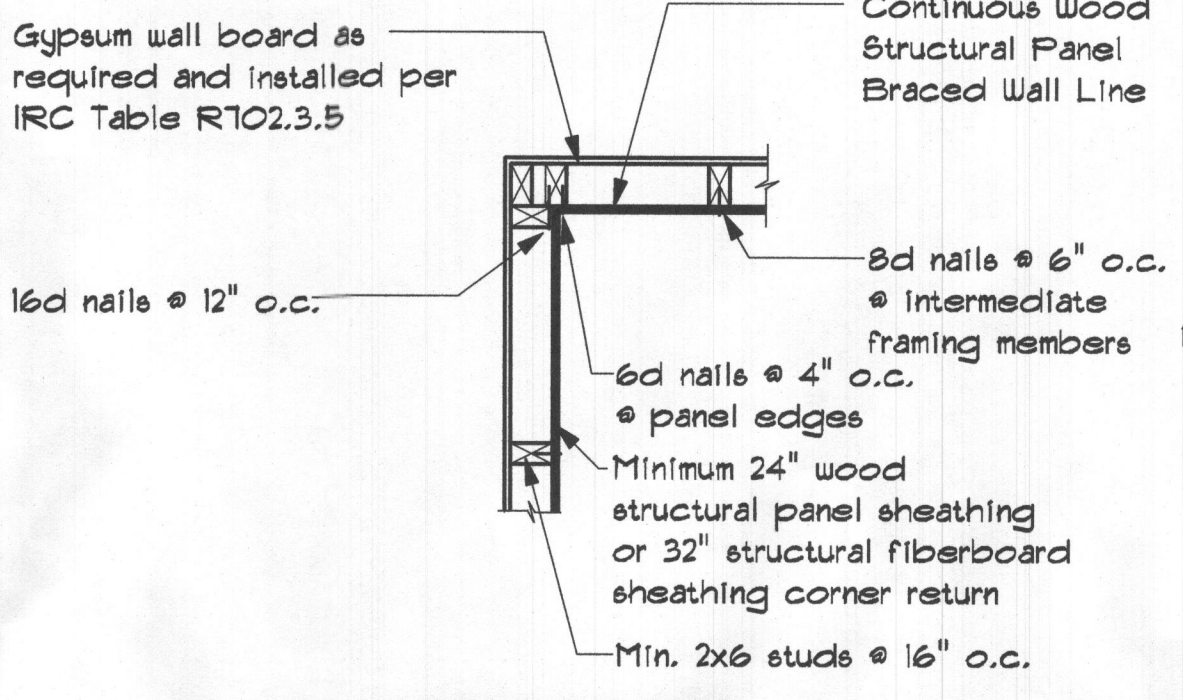


OUTSIDE CORNER

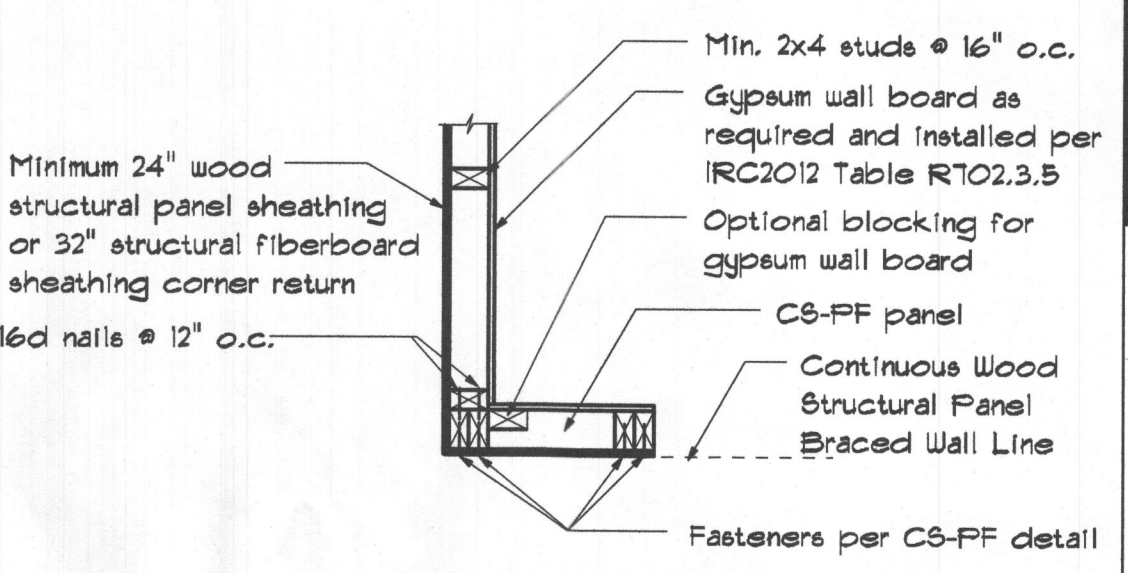
Methods WSP & CS-WSP: Min. 7/16" OSB Wood Structural Panel sheathing attached to framing with 6d at 6" o.c. at panel edges and 12" o.c. at intermediate framing members.

Note: At Braced Wall Lines incorporating Continuously Sheathed bracing methods (CS-WSP & CS-PF), all exterior walls along the Braced Wall Line must be fully sheathed with min 7/16" OSB Wood Structural Panel sheathing fastened per IRC Tables R602.3(1), R602.3(2), and R602.3(3).

Method GB: Min. 1/2" gypsum board applied to each side of framing with adhesive and Type S or W screws @ 7" o.c. at panel edges and 24" o.c. at intermediate framing members or nails per IRC Table R702.3.5 @ 7" o.c. at panel edges and 16" o.c. at intermediate framing members.



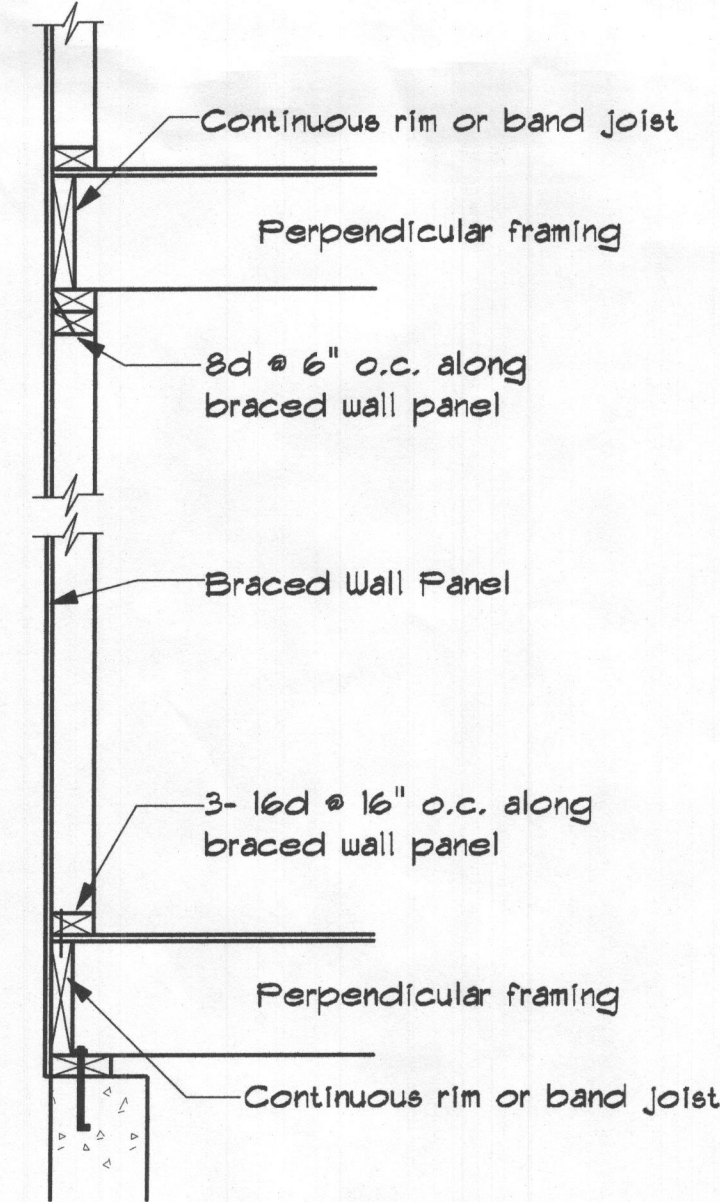
INSIDE CORNER



GARAGE CORNER

BRACED EXTERIOR WALL PANEL CONNECTION WHEN PARALLEL TO FLOOR/CEILING FRAMING

TYPICAL AT ALL EXTERIOR, PLYWOOD SHEATHED WALLS



- ALL DESIGNATED EXTERIOR BRACED WALLS SHALL BE A MINIMUM 7/16" PANEL SHEATHING ATTACHED TO FRAMING WITH 8d COMMON NAILS @ 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE FRAMING MEMBERS. SOLE PLATE SHALL BE FASTENED TO JOIST OR SOLID WOOD BLOCKING WITH (3) 16d NAILS AT 16" O.C. RIM JOIST TO PLATE OR SILL 8d @ 6" O.C. TOENAIL.
- ALL EXTERIOR WALL CORNERS SHALL BE FRAMED PER DETAIL.
- ALL DESIGNATED INTERIOR BRACED WALLS SHALL BE MIN 1/2" GYPSUM BOARD APPLIED TO BOTH FACES OF FRAMING WITH ADHESIVE AND TYPE S OR W SCREWS AT 24" O.C.
- DESIGNATED NARROW WALL BRACING SHALL BE CONSTRUCTED IN ACCORDANCE WITH BRACED WALL DETAILS.
- TENSION HOLD DOWN STRAP OF 800\* - ex. (SIMPSON CM5T14 STRAP W/ 15-16d NAILS EACH END)

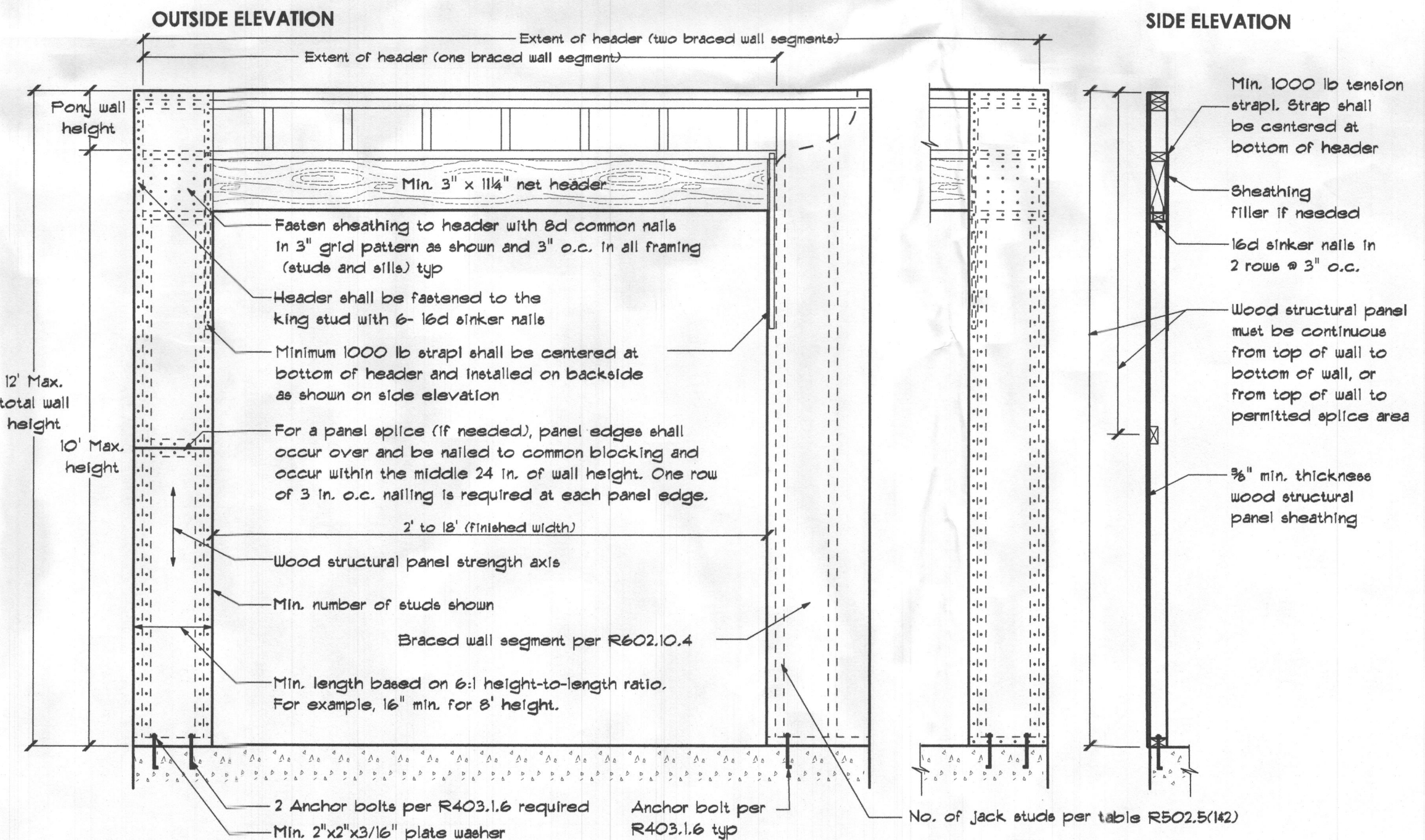
BRACED EXTERIOR WALL PANEL CONNECTION WHEN PERPENDICULAR TO FLOOR/CEILING FRAMING

TYPICAL AT ALL EXTERIOR, PLYWOOD SHEATHED WALLS

Tension Strap Capacity Required for Method CS-PF

Minimum Wall Stud Framing Nominal Size and Grade	Maximum Pony Wall Height (feet)	Maximum Total Wall Height (feet)	Maximum Opening Width (feet)	Wind Exposure B	Wind Exposure C
				Tension strap capacity required (lbf)	
2x6 Stud Grade	2	12	9	1000	1750
			16	2050	3550
			18	2450	4100
	4	12	9	1500	2775
			16	3150	DR
			18	3675	DR

- Notes:
1. Basic Wind Speed of 90mph. For other Basic Wind Speeds, see IRC Table R602.10.4.1.1
  2. DR = Design Required



OVER CONCRETE OR MASONRY BLOCK FOUNDATION

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ISSUE DATES:  
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BRACING DETAILS

**3.52**  
PRINT DATE:  
Wednesday, January 02, 2019

The Architectural Works, Drawings, Specifications, Technical Drawings and other documents prepared by the Architect for this Project are instruments of the Architect's service for use solely with respect to this Project and, unless otherwise provided, the Architect shall be deemed the author of these documents and shall retain all common law, statutory, and other reserved rights, including the copyright... The Architect's Architectural Works, Drawings, Specifications, Technical Drawings or other documents shall not be used by the Owner or others on other projects, for additions to this Project or for completion of this Project by others, unless the Architect is adjudged to be in default under this Agreement, except by agreement in writing and with appropriate compensation to the Architect



# Dubbe Farm - Tenant House

Lot 7 - Chase Farm

15085 Roxbury Road Lot #7 Glenelg, Maryland 21737

## ISSUE DATES:

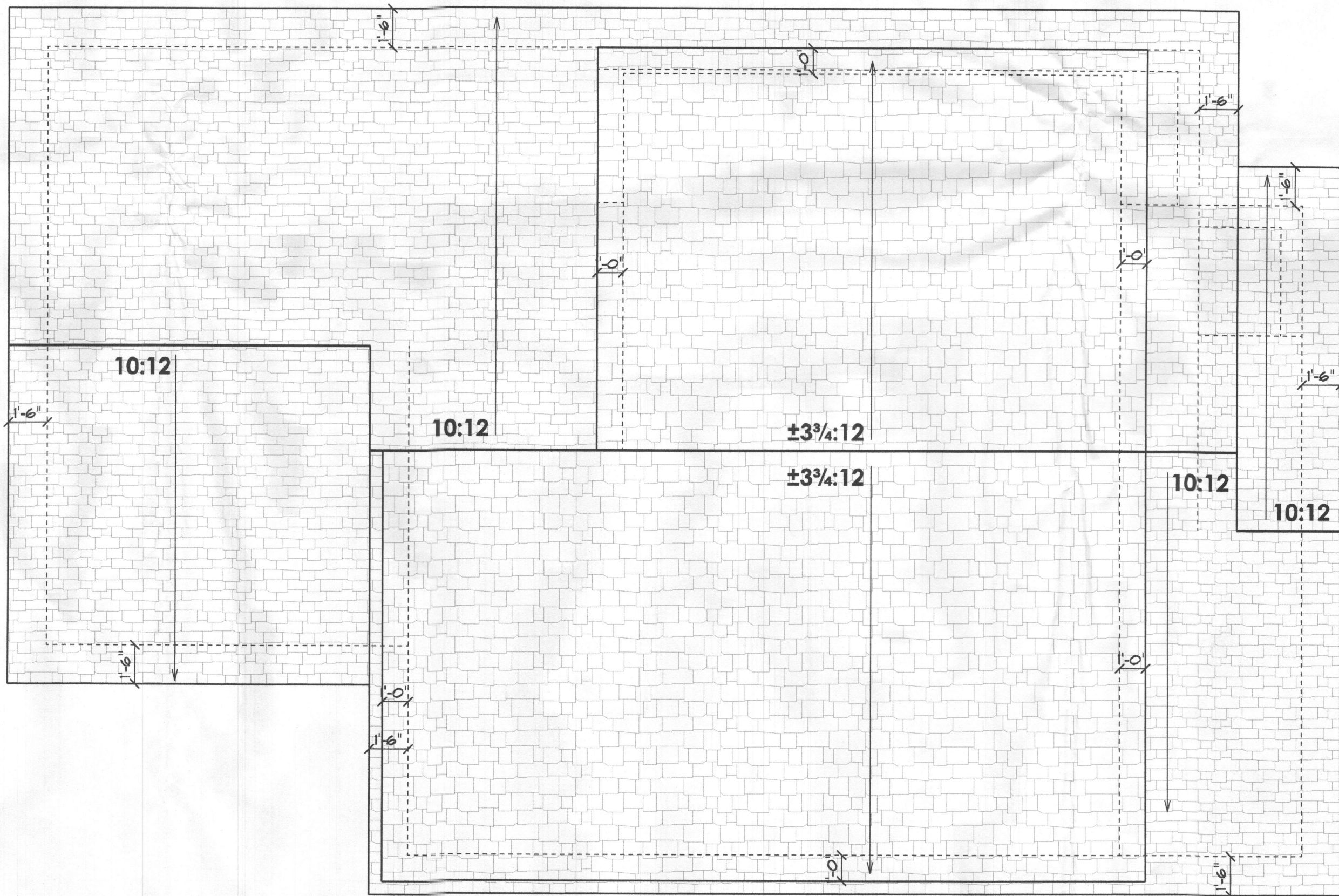
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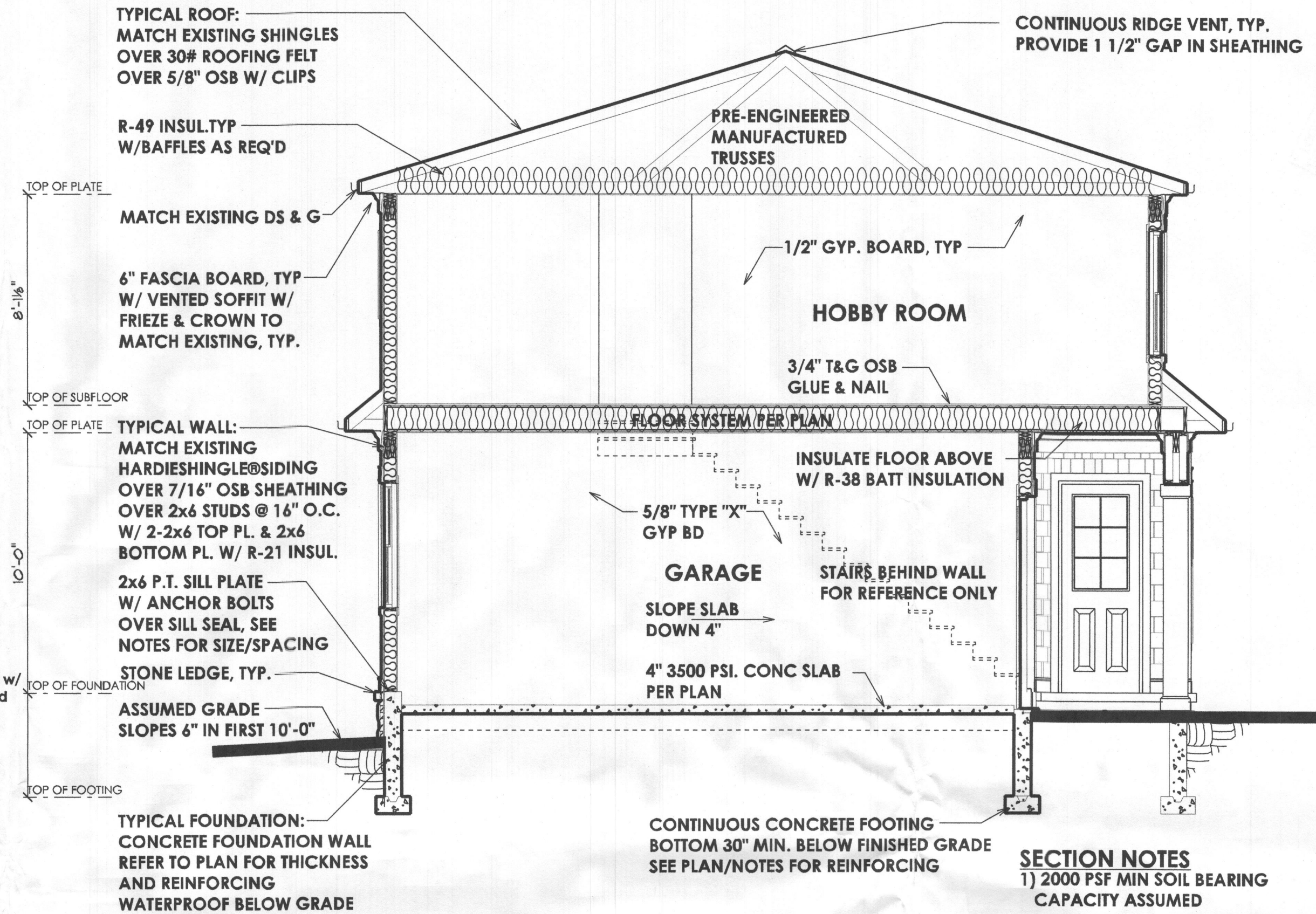
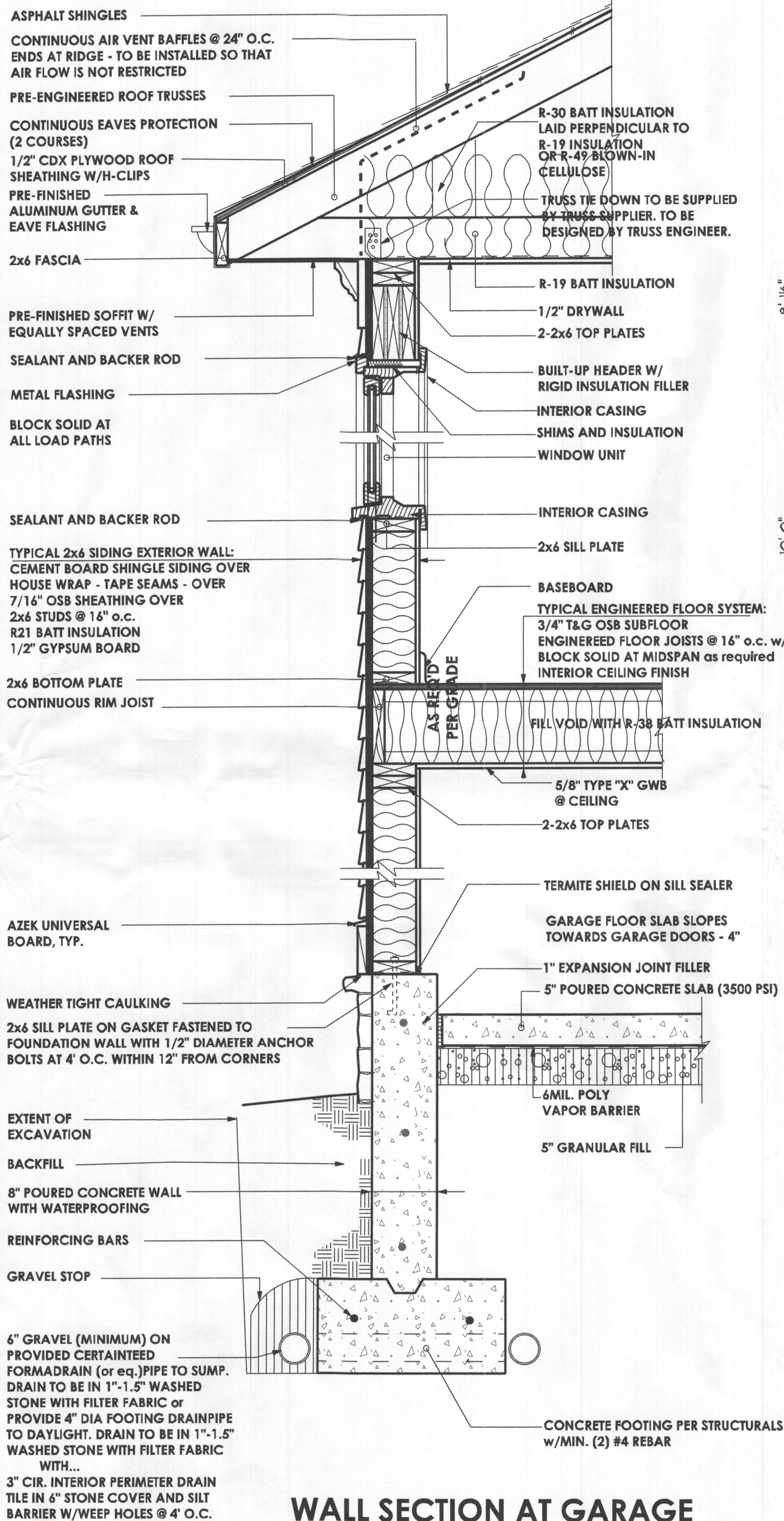
## ROOF PLAN

# 4.01

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SECTIONS  
**5.01**

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