



PROBLEM
ADDRESS

Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

DILP 2019 MAY 31 PM 12:02

Date Received: _____

Permit No.: **B19001811**

Building Address: **1031 Stepping Place**
City: **Sykesville** State: **MD** Zip Code: **21784**
Suite/Apt. #: _____ SDP/WP/BA #: **GP-19-66**

Census Tract: _____ Subdivision: **Walker Meadows**
Section: _____ Area: _____ Lot: **10**
Tax Map: _____ Parcel: _____ Grid: _____
Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: **Vacant lot**
Proposed Use: **Single family home** **Model Home**
Estimated Construction Cost: \$ **1230,000**
Description of Work: **New 2 story "Stratford Hall" 1 1/2" x 2 car side garage, 1 car side attached garage, covered porch, and finished lower level (Rec room + Bath room)**
Occupant or Tenant: _____

Was tenant space previously occupied? ☐ Yes ☐ No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height: _____	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories: _____	Depth _____ Width _____
Gross area, sq. ft./floor: _____	1 st floor: 54 x 68
Area of construction (sq. ft.): _____	2 nd floor: 48 x 54
Use group: _____	Basement: 54 x 68
Construction type:	<input checked="" type="checkbox"/> Finished Basement
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Unfinished Basement
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Crawl Space
<input type="checkbox"/> Masonry	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Wood Frame	No. of Bedrooms: 4
<input type="checkbox"/> State Certified Modular	Multi-family Dwelling
<input checked="" type="checkbox"/> Roadside Tree Project Permit	No. of efficiency units: _____
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	No. of 1 BR units: _____
Roadside Tree Project Permit # _____	No. of 2 BR units: _____
	No. of 3 BR units: _____
	Other Structure: _____
	Dimensions: _____
	Footings: _____
	Roof: _____
	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Property Owner's Name: **NVR Inc**
Address: **9720 Patuxent Woods Drive**
City: **Columbia** State: **MD** Zip Code: **21046**
Phone: **410-379-5956** Fax: _____
Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: **Decatur Building Services**
Address: **PO Box 552**
City: **Woodbine** State: **MD** Zip Code: **21797**
Phone: **443-309-7792** Fax: _____
Email: **Jim @ Decatur building services . com**

Contractor Company: **NV Homes**
Contact Person: **Clint Cagle**
Address: **9720 Patuxent Woods Drive**
City: **Columbia** State: **MD** Zip Code: **21046**
License No.: **56**
Phone: **410-379-5956** Fax: _____
Email: **CCagle @ NVR Inc . com**

Engineer/Architect Company: _____
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Utilities
Water Supply
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Sewage Disposal
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Heating System
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane Gas
<input type="checkbox"/> Other:
Sprinkler System:
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Grading Permit Number: _____
Building Shell Permit Number: _____

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: **Jim Kernwin**
Email Address: **Jim @ Decatur building services . com**

AGENT **NV Homes**
Title/Company

Print Name: **Jim Kernwin**

Date: **5/31/2019**

RECEIVED

MAY 31 2019

**LICENSES & PERMITS
DIVISION**

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY

-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	7/11/19	[Signature]

Is Sediment Control approval required for issuance? ☒ Yes ☐ No
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front: _____
Rear: _____
Side: _____
Side St.: _____
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone: _____
SDP/Red-line approval date: _____

Filing Fee	\$ 100
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ 50
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# 27126

Distribution of Copies: White: Building Officials

Green: PSZA, Zoning

Yellow: PSZA, Engineering

Pink: Health

Gold: SHA

Maura J. Rossman, M.D., Health Officer

MEMORANDUM

TO: **Clint Cagle, NVR, Inc.**

FROM: **Robert Bricker, REHS/RS, L.E.H.S.**
Well & Septic Program

RE: **1031 Stepping Place**, Potential Basement Bedroom

DATE: June 14, 2019

I have reviewed the floor plans in support of Building Permit **B19001811** for a new home at **1031 Stepping Place** and noted that there is a full bathroom in the partially finished basement. Please note that this makes it very likely for one or more rooms to be considered bedrooms upon redesign of the finished basement area or conversion of the unfinished basement area to living space.

For reference, the following is the bedroom definition in Howard County Code Section 3.801(b):

- (1) Except as provided in paragraph (2) of this subsection, a bedroom is any space in the conditioned area of a dwelling unit or accessory structure that:
 - (i) Is 90 square feet or greater in size;
 - (ii) May be used as a private sleeping area; and
 - (iii) Has at least one window and one interior door.
- (2) If a home office, library, or similar room is proposed, it may not be a bedroom if there is no closet; and
 - (i) The room contains permanently built-in bookcases around the perimeter of the room, desks, and other features that encumber the room;
 - (ii) A minimum 4 foot-wide opening, without doors, into another room;
 - (iii) A half wall (4 foot maximum height) between the room and another room; or
 - (iv) The room is a first floor room or basement area that does not have direct access to full bathrooms or "roughed in" plumbing that would provide direct access to future full bathroom facilities.

The Health Department strongly recommends sizing the onsite sewage disposal system at least one bedroom larger than the existing **four (4)** bedroom design to accommodate a future finished basement. If you choose to only size for the existing design, any future building permit for a finished basement may be placed on hold until the system is upgraded to accommodate the proposed number of bedrooms. This memo will be retained in the Health Department file for future reference.



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received:

7/31/19

Permit No.:

B19002514

Building Address: 1031 STEPPING PLACE
City: SYKESVILLE State: MD Zip Code: 21784
Suite/Apt. # SDP/WP/BA #:
Census Tract: Subdivision:
Section: Area: Lot: 10
Tax Map: Parcel: Grid:
Zoning: Map Coordinates: Lot Size:

Existing Use: SFD
Proposed Use: SFD W/PROPANE TANK
Estimated Construction Cost: \$ 4,000
Description of Work:
INSTALL 1000 GAL UNDERGROUND PROPANE TANK

Occupant/Tenant Name: OWNER
Was tenant space previously occupied? ☐ Yes ☐ No
Contact Name:
Address:
City: State: Zip Code:
Phone: Fax:
Email:

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor:
	2 nd floor:
Area of construction (sq. ft.):	Basement:
	<input type="checkbox"/> Finished Basement
Use group:	<input type="checkbox"/> Unfinished Basement
	<input type="checkbox"/> Crawl Space
Construction type:	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:
<input type="checkbox"/> Structural Steel	Multi-family Dwelling
<input type="checkbox"/> Masonry	No. of efficiency units:
<input type="checkbox"/> Wood Frame	No. of 1 BR units:
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
➤ Roadside Tree Project Permit	Footings:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Property Owner's Name: ESC WALKER MEADOWS
Address: 1355 BEVERLY ROAD
City: MCLEAN State: VA Zip Code: 22101
Phone: Fax:
Email:

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: MICHELLE CLANCY
Address: PO BOX 310
City: PERRY HALL State: MD Zip Code: 21128
Phone: 443-610-7514 Fax:
Email: MICHELLE@APPLIEDANDAPPROVED.COM

Contractor Company: TECH AIR
Contact Person: DENNIS FEAGA
Address: 1560 A-D CATON CENTER DRIVE
City: BALTIMORE State: MD Zip Code: 21227
License No. : 81215
Phone: 410-984-5681 Fax:
Email:

Engineer/Architect Company: CONTRACTOR
Responsible Design Prof.:
Address:
City: State: Zip Code:
Phone: Fax:
Email:

Utilities
Electric: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Sewage Disposal
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Heating System
<input type="checkbox"/> Electric <input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas
<input type="checkbox"/> Other:
Sprinkler System:
<input type="checkbox"/> Yes <input type="checkbox"/> No
Grading Permit Number:
Building Shell Permit Number:

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Applicant's Signature

MICHELLE@APPLIEDANDAPPROVED.COM
Email Address

PERMITS

Title/Company

MICHELLE CLANCY
Print Name

Date

7/31/19

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY

-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	8/1/19	[Signature]

Is Sediment Control approval required for issuance? ☐ Yes ☐ No
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
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Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ 110
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$ 110
Check	#

Distribution of Copies: White: Building Officials

Green: PSZA,Zoning

Yellow: PSZA,Engineering

Pink: Health

Gold: SHA

**COMPLETE THIS FORM WHEN DROPPING OFF ANY
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 7/8/2019

To: Robert Bricker
(Person's Name and Division)

From: Tim Kerwin (443) 309-7792
(Your Name, Company Name and Telephone Number)

Subject: Project name Walkers Meadow
Project site address 1031 Stepping Place
Permit # B19001811 SDP # _____
Other information pertinent to this project _____

RECEIVED
JUL 09 2019
PLAN REVIEW DIVISION

✓ Please check the attachments below that you are submitting with this transmittal:

- ____ Letter of response to address plan review comment letter
- ____ Revised plans and/or revised details: When submitting for a complete re-review, **duplicate sets shall be submitted.**
- ____ Letter Summarizing Changes
- ____ Energy conservation calculations
- ☒ Copies of REVISED LOT PLAN (be specific). New site plan showing new septic tank and trench location
- ☒ Health Department Request _____ DPZ/ DED Request _____ Applicant's Request _____
- ____ Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # _____
- ____ Other _____

Contact Person Information: (Required)

Please Print Name

Telephone No:

E-Mail Address:

PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

Received by AKH

REVISED SEPTIC TANK
+ TRENCHES (PER HEALTH)

Health Dept

[illegible]

BASE SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	2157 SF
2ND FLOOR (BASE SF)	2133 SF
	4290 SF
FIRST FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	2157 SF
1ST FLOOR SUITE (ADD. SF)	352 SF
1ST FLOOR TWO CAR SIDE ATTACHED GARAGE (ADD. SF)	111 SF
1ST FLOOR ELEV. 'B' OR 'L' (ADD. SF)	31 SF
1ST FLOOR ONE CAR GARAGE (DEDUCT SF)	6 SF
SECOND FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
2ND FLOOR (BASE SF)	2133 SF
2ND FLOOR ELEV. 'B' OR 'L' (ADD. SF)	63 SF
GARAGE SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
TWO CAR GARAGE ELEV. 'A' OR 'K' OR 'R'	507 SF
TWO CAR GARAGE ELEV. 'B' OR 'L'	506 SF
TWO CAR SIDE ATTACHED GARAGE (ADD. SF)	448 SF
ONE CAR SIDE ATTACHED GARAGE (ADD. SF)	314 SF
BASEMENT SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
FINISHED BASEMENT	1457 SF
FINISHED BASEMENT AREA #2 (ADD. SF)	424 SF
FINISHED BASEMENT AREA #2 ELEV. 'B' OR 'L' (ADD. SF)	40 SF
FINISHED BASEMENT TWO CAR SIDE ATTACHED GARAGE (DEDUCT SF)	7 SF
FINISHED BASEMENT ONE CAR GARAGE (DEDUCT SF)	6 SF
UNFINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
UNFINISHED BASEMENT (BASE SF)	2181 SF
UNFINISHED STORAGE TWO CAR SIDE ATTACHED GARAGE (ADD. SF)	111 SF
UNFINISHED BASEMENT ELEV. 'B' OR 'L' (ADD. SF)	40 SF
UNFINISHED BASEMENT ONE CAR SIDE ATTACHED GARAGE (DEDUCT SF)	6 SF

CS-1

1031 Stepping Place
Lot 10
Walker Meadows

STRATFORD HALL

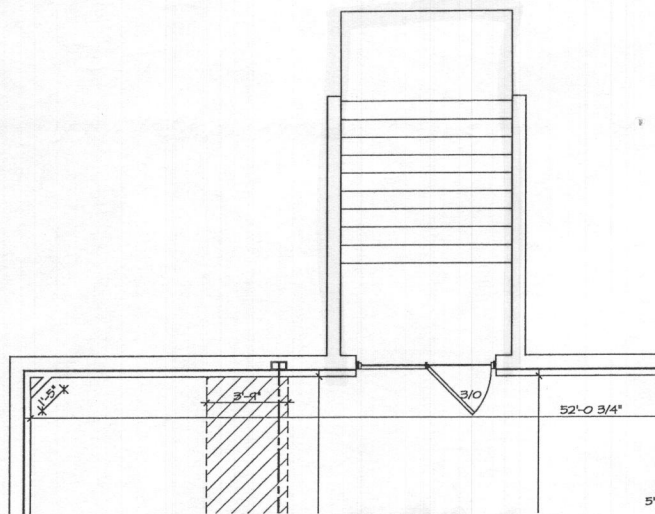
Health Dept

B190001811

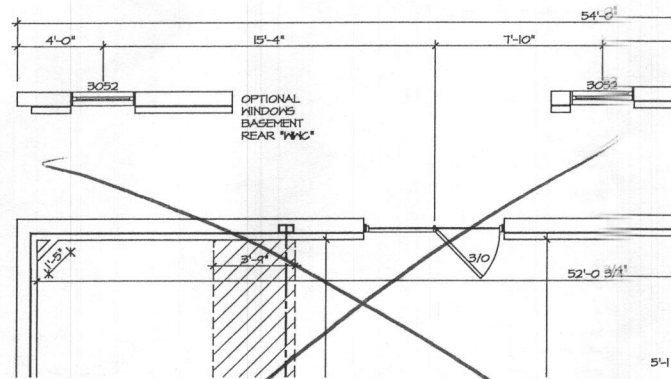


NVR, Inc.
Architectural Services
Architects
5285 Westview Drive, Suite 100
Frederick, MD 21703

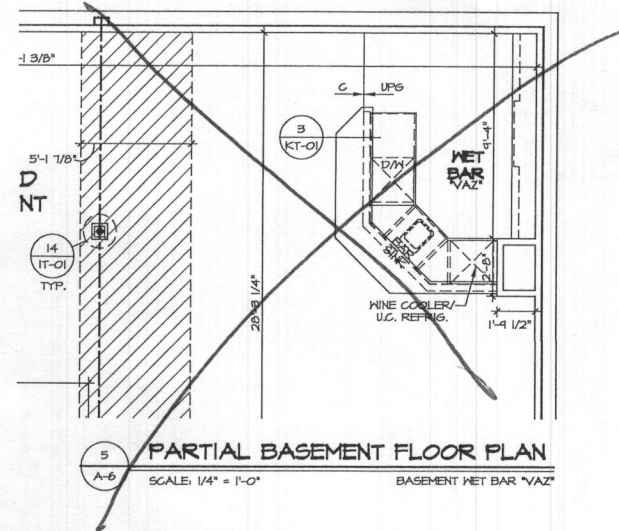
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SPEC SHEET	STD. DWGS.	ELEV. "A"	ELEV. "B"	ELEV. "K"	ELEV. "L"	ELEV. "R"	SIDE ELEVATIONS	REAR ELEVATIONS	OPTIONAL COVERED PORCH	OPTIONAL FIRST FLOOR SUITE	OPTIONAL GARAGE GCC, GAA, GAB	STD. DWGS.	ELEV. "A"	ELEV. "B"	ELEV. "K"	ELEV. "L"	ELEV. "R"	SIDE ELEVATIONS	REAR ELEVATIONS	OPTIONAL COVERED PORCH	OPTIONAL FIRST FLOOR SUITE	OPTIONAL GARAGE GCC, GAA, GAB	AD-1	AD-1b	FD-1	FD-2	FD-2b	FD-3	GB-1	JT-1	JT-3	JT-3b	RF-1	RF-1b	ET-1	ET-1b	ET-1c	ET-1d	ET-1e	ET-1f	ET-1g	ET-1h	ET-1i	ET-1j	ET-1k	ET-1l	ET-1m	ET-1n	ET-1o	ET-1p	ET-1q	ET-1r	ET-1s	ET-1t	ET-1u	ET-1v	ET-1w	ET-1x	ET-1y	ET-1z	STANDARD DETAILS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																	
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3 PARTIAL BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



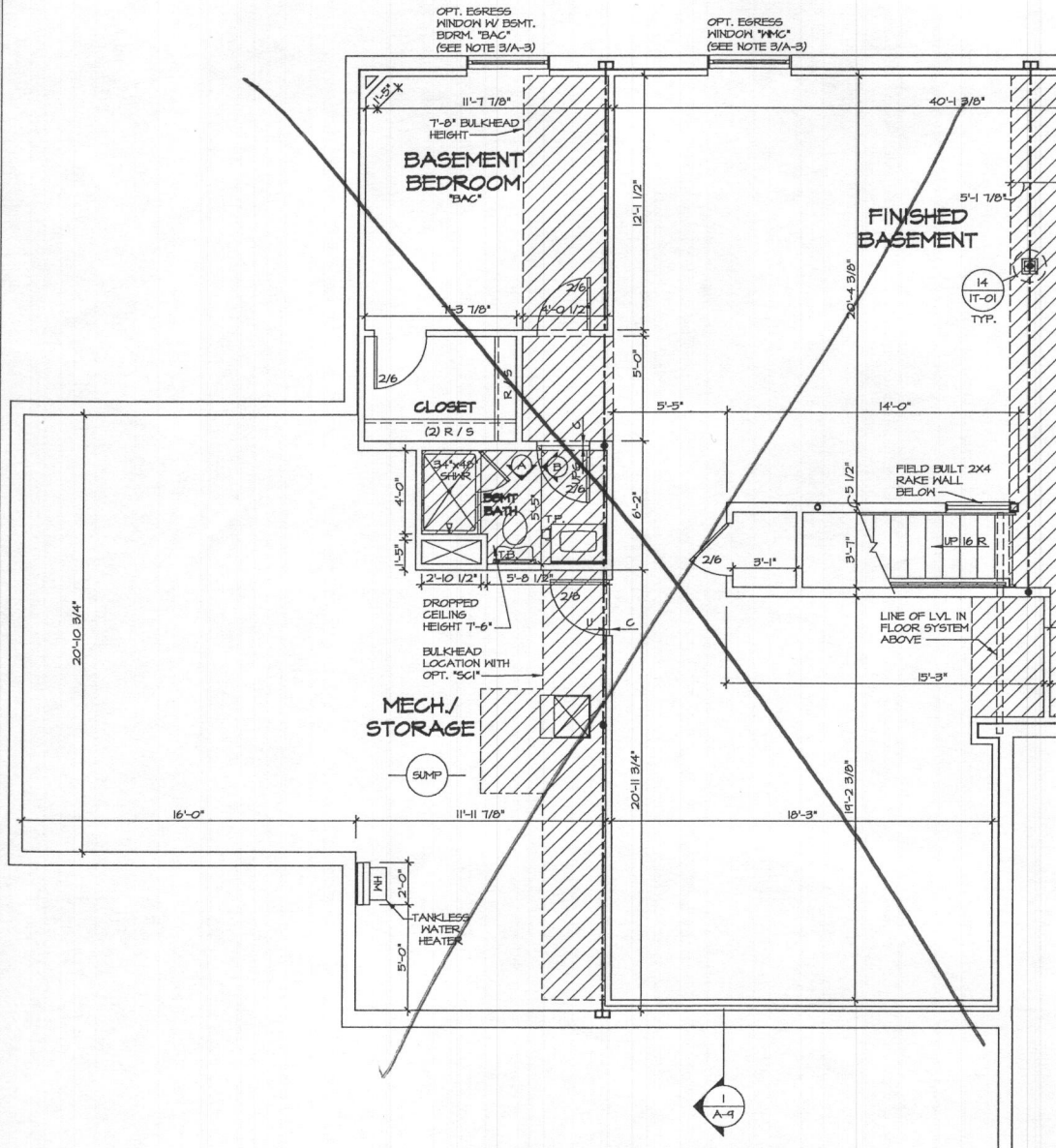
4 PARTIAL BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



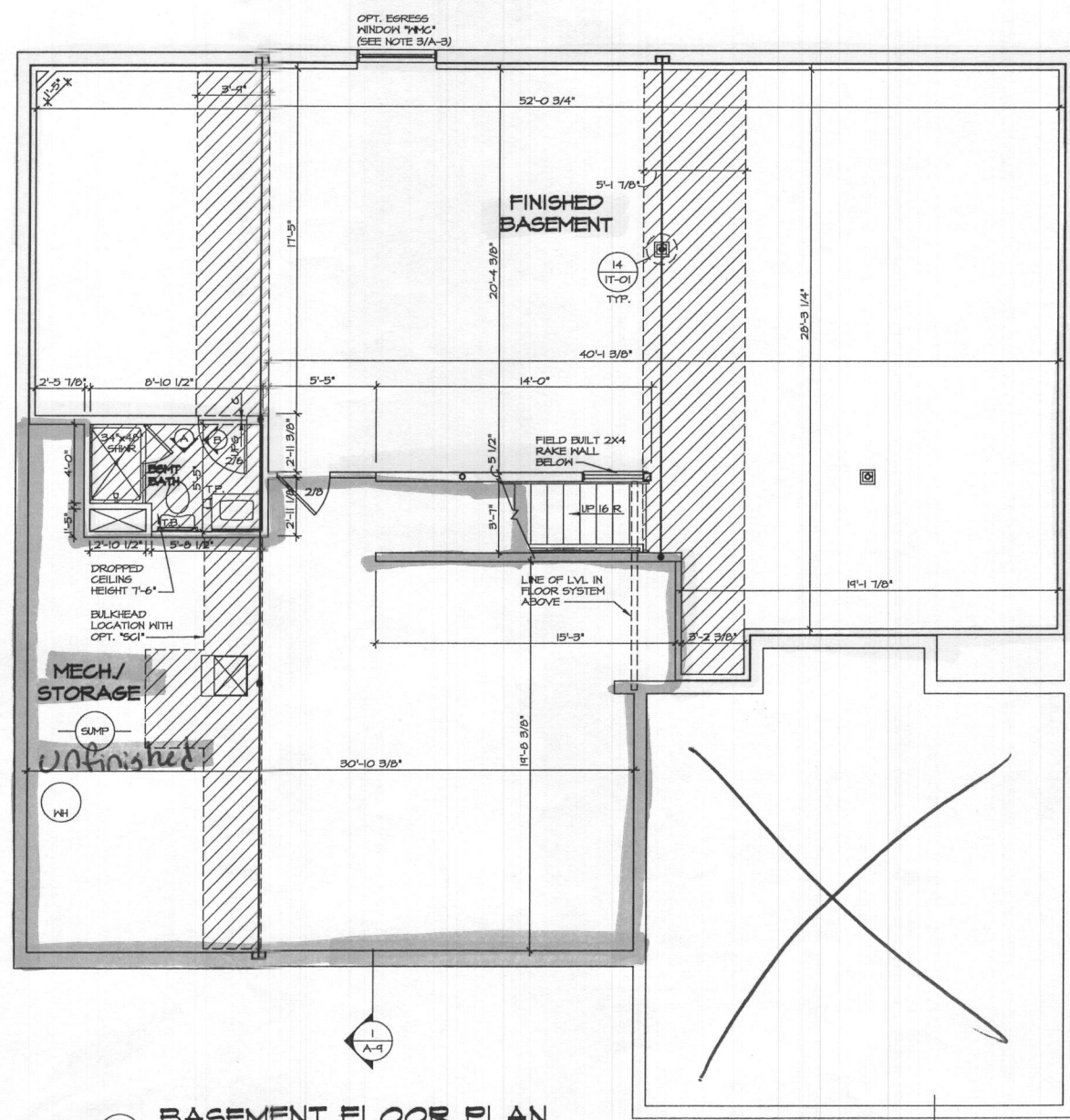
5 PARTIAL BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTES:
1. GENERAL NOTES (N-1)
2. SCHEDULES (N-2)
3. LVL NAILING SCHEDULE (N-1)
4. SEE GENERAL NOTES (N-1) FOR ADDITIONAL INFORMATION.

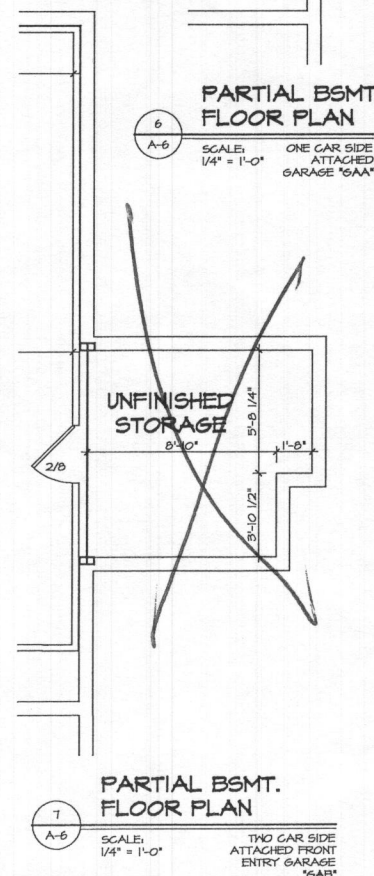
LEGEND
— BEARING WALL
— NON BEARING WALL
⊙ INDICATES BEARING FROM POINT-LOAD ABOVE
J JACKS
B BEAM/HEADER
F PAD FOOTING
C STEEL COLUMN
X PORTAL FRAME
X JOIST/TRUSS
L LVL
X ENGINEERING PAGE NUMBER
SEE FG DETAILS FOR FRAMING CONNECTORS



2 PARTIAL BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



6 PARTIAL BSMT. FLOOR PLAN
SCALE: 1/4" = 1'-0"

REV. NO.	DATE	REMARKS
1	11/17/11	BRN - TANKLESS WATER HEATER PROPOSED DWS 1414
2	01/24/11	TH - STANDARD SUMP LOCATION (PAR #4994)
3	5/17/11	MSS - ADDED EGRESS WINDOW IN OPT. BATH (BATH SEE PAR # 46000)
4	5/29/11	ATK - ADDED EGRESS WINDOW IN OPT. BATH (BATH SEE PAR # 46000)
5	5/29/11	ATK - ADDED EGRESS WINDOW IN OPT. BATH (BATH SEE PAR # 46000)
6	6/12/11	ATK - ADDED EGRESS WINDOW IN OPT. BATH (BATH SEE PAR # 46000)
7	6/29/11	MSS - ADDED EGRESS WINDOW IN OPT. BATH (BATH SEE PAR # 46000)
8	7/2/11	LAB - CHANGED ROOM NAME 'CLOSET' TO 'CLOSET - ROUGH DRAFT'
9	7/2/11	LAB - CHANGED ROOM NAME 'CLOSET' TO 'CLOSET - ROUGH DRAFT'

NVR, Inc., owner, expressly reserves the common law copyright and other property rights in these plans. These plans are not to be reproduced, copied, or used in any manner without the express written consent of NVR, Inc.

MODEL STRAITFORD HALL	SET NO. 11900	VERSION 01	DRAWN BY BIM	DATE: 5/7/2016	OPTION FBA MAC
DRAWING TITLE BASEMENT FLOOR PLAN PARTIALS					
OPTION DESCRIPTION FULL BASEMENT FINISHED BASEMENT					
SHEET NO. A-6					28

PART. FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

1ST FLOOR BEDROOM "BAR"
FOUNDATION GRAVEL "FGA"

3

A-7

PART. FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

1ST FLOOR BEDROOM "BAR"
FOUNDATION BASEMENT "FBA"

PART. FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

FOUNDATION GRAVEL "FGA"
STUDY "MAS"

PARTIAL FIRST FLOOR PLAN

5
A-7

SCALE: 1/4" = 1'-0"

SHOWN W/ ELEVATION A "ELA"
LIBRARY "MAT"

CLOSET
R/5

OPENING

1'-6"

6 PARTIAL FIRST FLOOR PLAN
A-T SCALE: 1/4" = 1'-0" INTERIOR DOUBLE DOOR

FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
ELEVATION A "ELA"
FOUNDATION

7
A-7

PARTIAL FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

KITCHEN CABINET HOOD (B) "KF

PART. FIRST FLOOR PLAN












SCALE: 1/4" = 1'-0" FOUNDATION CRAWL "FC"
TANKLESS WATER HEATER "HW", "IH"

NOTES:

1. GENERAL NOTES (N-1)
2. SCHEDULES (N-2)
3. LVL NAILING SCHEDULE (N-1)
4. SEE GENERAL NOTES (N-1) FOR ADDITIONAL INFORMATION.

NOTE: ALL WINDOW HEADER HEIGHTS ARE 8'-0 1/2" UNLESS OTHERWISE NOTED

LEGEND

	BEARING WALL
	NON BEARING WALL
	INDICATES BEARING FROM POINT-LOAD ABOVE
	JACKS
	BEAM/HEADER
	PAD FOOTING
	STEEL COLUMN
	PORTAL FRAME
	JOIST/TRUSS
	LVL
	ENGINEERING PAGE NUMBER

SEE PG. DETAILS FOR FRAMING CONNECTORS

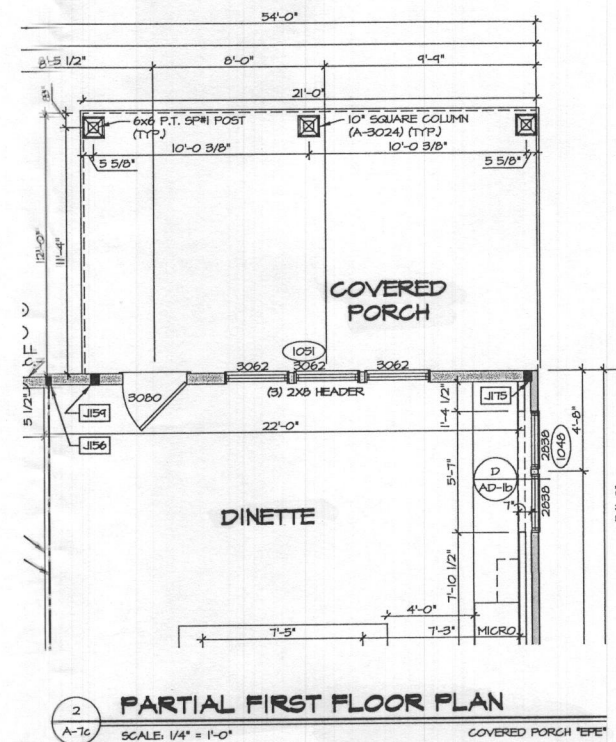
REV.	NO.	DATE	REMARKS
	10	22/10/11	ATK - ADDED NOTE ABOVE CEILING HEIGHT PER PAR 50912
	9	6/11/11	ATK - REVISED BALCONY ABOVE GARAGE ENTRY DOOR (PAR 10 46460)
	8	7/12/11	GAB - REVISED RECESSED LIGHT AT BACK STAIRS TO FIT FUTURE PER PAR 1063
	4	7/12/11	GAB - CORRECTED FRONT TO BACK DIM. OF FIRST FLOOR BATH - ROUGH ADIT
	5	7/12/11	JAB - ADDED FRONT TO BACK DIMENSION AT PANTRY - ROUGH ADIT
	6	7/12/11	JAB - ADDED ENGINEERING * TO BACK OPENING (POTENTIAL 194) - ROUGH ADIT
	7	7/12/11	JAB - ADDED DETAIL "1/11" - H - ROUGH ADIT
	8	11/11/11	BROU - TANKLESS WATER HEATER PROPOSED PER 194

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Architectural Services
Architects
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Boulder, CO 80501
(303) 440-1234

SHEET NO.	MODEL	SET NO. 14900
A-7	STRATFORD HALL	VERSION 01
	DRAWING TITLE	DRAWN BY BIM
	FIRST FLOOR PLAN	DATE: 5/7/2016
	OPTION DESCRIPTION	OPTION














NOTES:

1. GENERAL NOTES (N-1)
2. SCHEDULES (N-2)
3. LVL NAILING SCHEDULE (N-1)
4. SEE GENERAL NOTES (N-1) FOR ADDITIONAL INFORMATION.


NOTE: ALL WINDOW HEADER HEIGHTS ARE 8'-0 1/2" UNLESS OTHERWISE NOTED

LEGEND

	BEARING WALL
	NON BEARING WALL
	INDICATES BEARING FROM POINT-LOAD ABOVE
	JACKS
	BEAM/HEADER
	PAD FOOTING
	STEEL COLUMN
	PORTAL FRAME
	JOIST/TRUSS
	LVL
	ENGINEERING PAGE NUMBER

SEE PG. DETAILS FOR FRAMING CONNECTORS

SHEET NO.	MODEL	SET NO. 11800	REV. NO.	DATE	REMARKS
		VERSION 0	1	0/24/17	TM - STANDARD DETAILS 3.0
A-7c	DRAWING TITLE	DESIGNED BY MSS	2	4/19/17	ATK - PARAM524R ADDED POST AT COVERED PORCH FOR RAILING SUPPORT
			3	5/29/17	M56 - RELOCATED ATTIC ACCESS IN 1ST FLR. SUITE, ADDED NOTE (PAR 146651)
			4	6/12/17	M56 - MOVED ATT. ACC. FROM 1ST. FLR. SUITE TO 2ND FLR. LAUN. (PAR 146571)
			5	6/1/17	SPN - REVISED PLACEMENT OF TYP. COLUMNS PER DTL. (DET-14)
OPTION	DESCRIPTION				
	SUITE FIRST FLOOR	MSS			
	COVERED PORCH	EPE			



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C:\NVR\Solves\STRATFORD HALL 11900 01 1063\Sheets\Master Set\First Floor Plan\31.1 A-7c PLN1_R.dwg 03/20/18 - 10:43 am

LEGEND

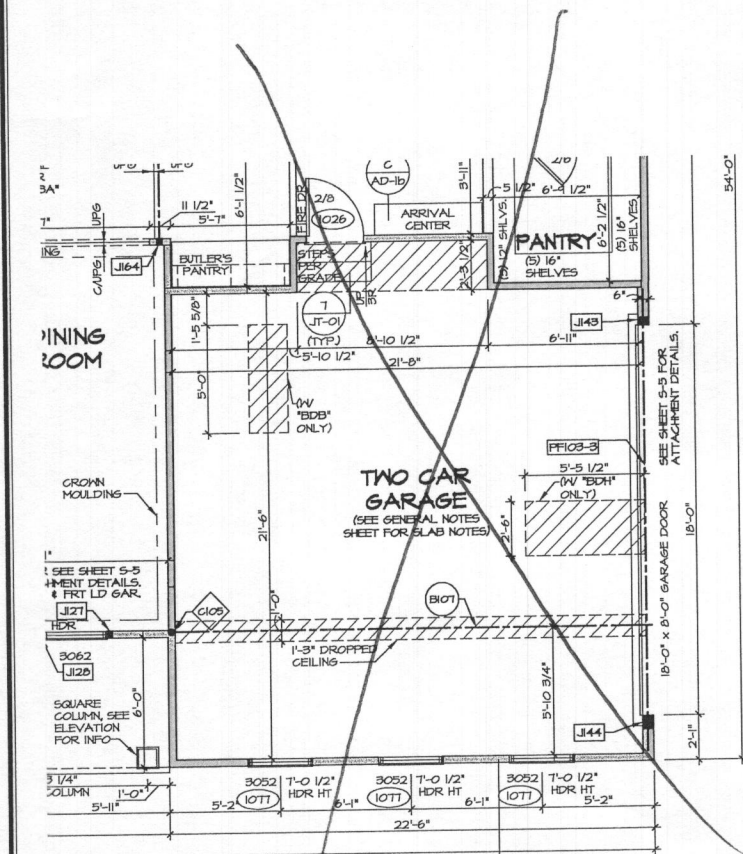
- BEARING WALL
- NON BEARING WALL
- INDICATES BEARING FROM POINT-LOAD ABOVE JACKS
- BEAM/HEADER
- PAD FOOTING
- STEEL COLUMN
- PORTAL FRAME
- JOIST/TRUSS
- LVL
- ENGINEERING PAGE NUMBER

SEE FC DETAILS FOR FRAMING CONNECTORS

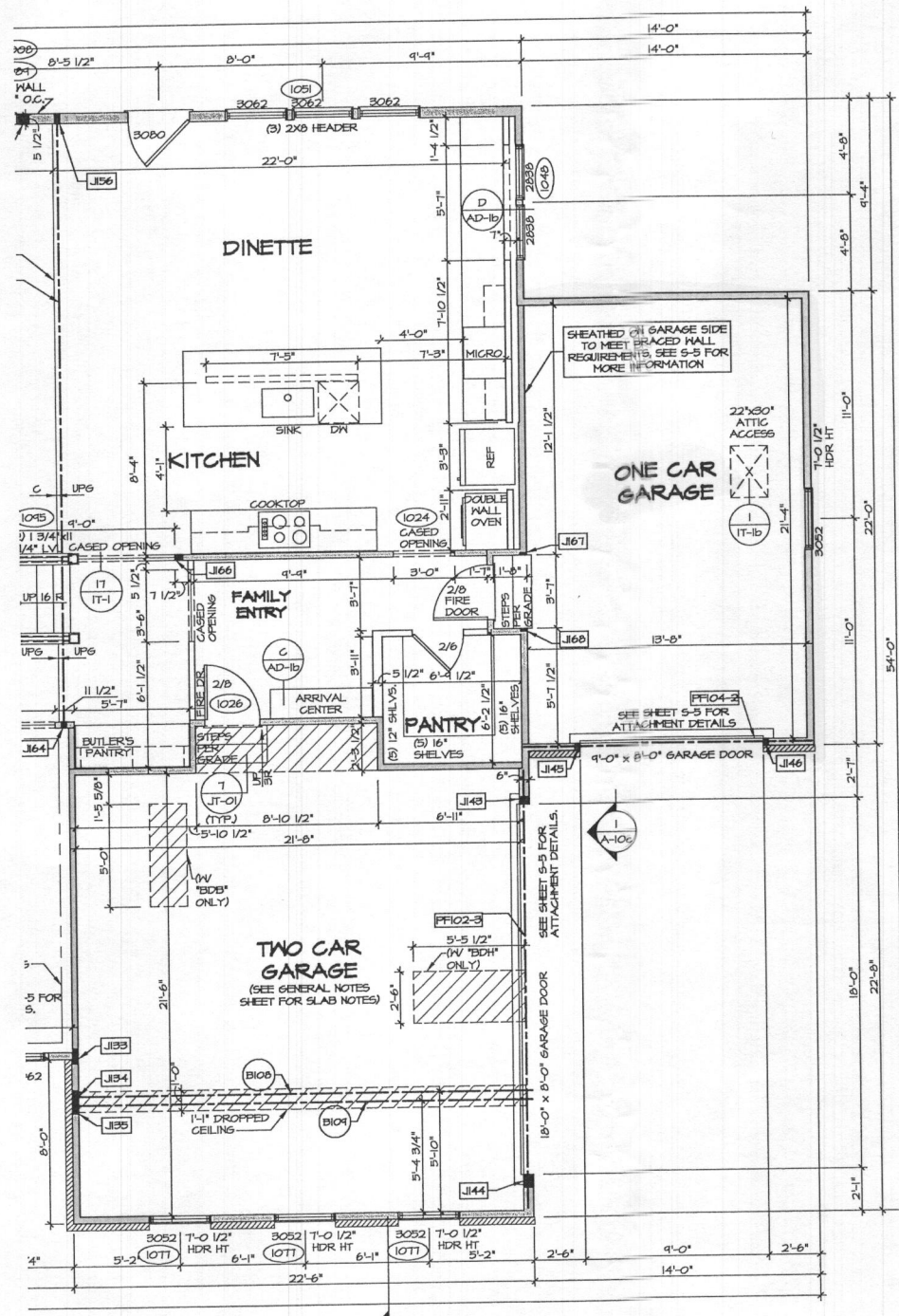
NOTES:

- GENERAL NOTES (N-1)
- SCHEDULES (N-2)
- LVL. NAILING SCHEDULE (N-1)
- SEE GENERAL NOTES (N-1) FOR ADDITIONAL INFORMATION.

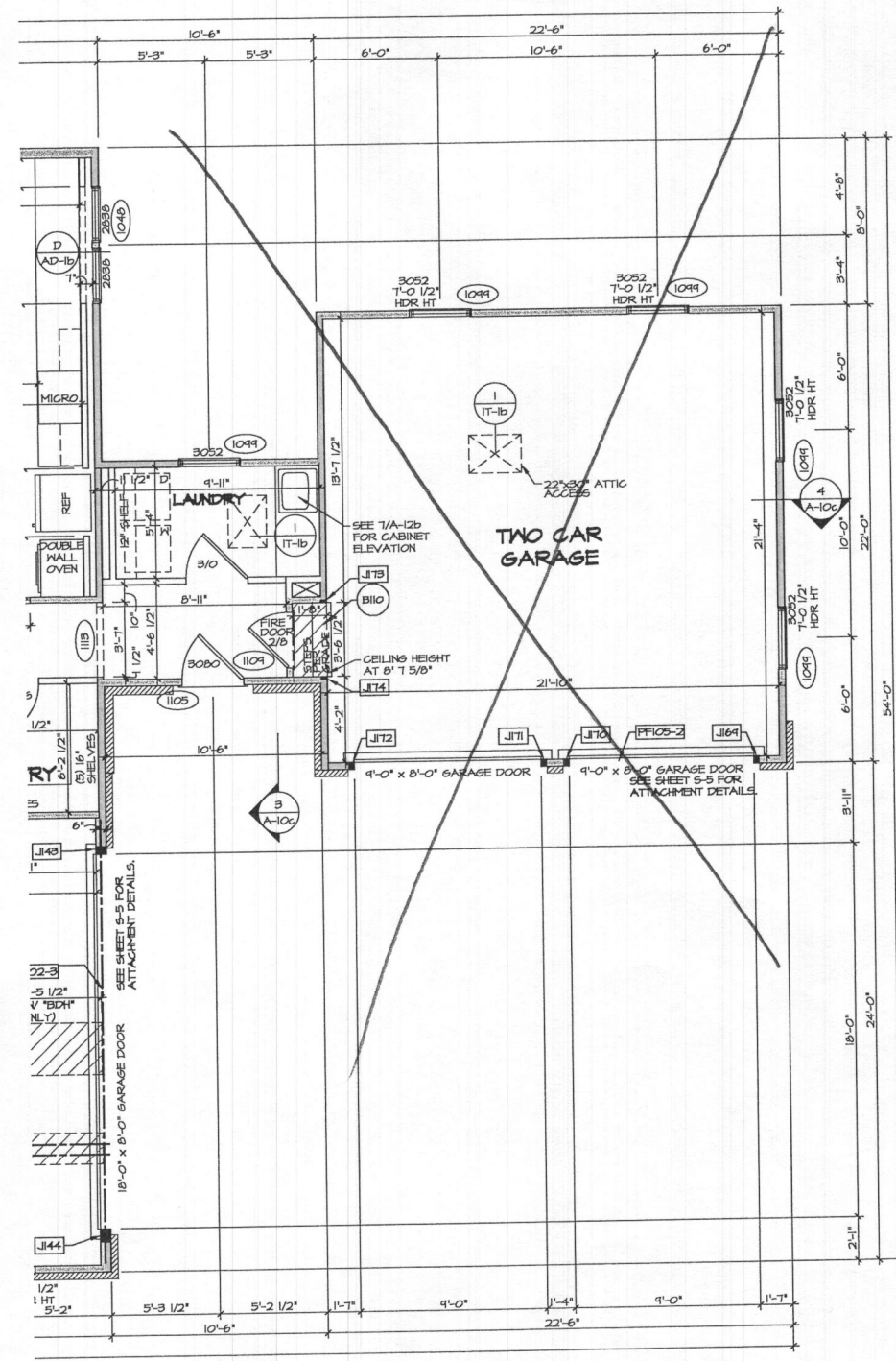
NOTE: ALL WINDOW HEADER HEIGHTS ARE 8'-0 1/2" UNLESS OTHERWISE NOTED



1 PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
SHOWN W/ ELEVATION A "ELA"
TWO CAR SIDE ENTRY GARAGE "GCC"



2 PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
SHOWN W/ ELEVATION A "ELA"
TWO CAR SIDE ENTRY GARAGE "GCC"
ONE CAR SIDE ATTACHED GARAGE FRONT ENTRY "GAB"



3 PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
SHOWN W/ ELEVATION A "ELA"
TWO CAR SIDE ENTRY GARAGE "GCC"
TWO CAR SIDE ATTACHED GARAGE FRONT ENTRY "GAB"

SHEET NO.	DATE	REV. NO.	DESCRIPTION
A-7d	01/24/11	1	REVISED BALANCE ABOVE GARAGE ENTRY DOOR (PAR ID 46458)
A-7d	01/24/11	2	ATK - REVISED DETAIL 1/11/11 - ROUGH AUDIT
A-7d	01/24/11	3	JAB - REVISED DETAIL 1/11/11 - ROUGH AUDIT
A-7d	01/24/11	4	JAB - REVISED DETAIL 1/11/11 - ROUGH AUDIT
A-7d	01/24/11	5	JAB - REVISED DETAIL 1/11/11 - ROUGH AUDIT
A-7d	01/24/11	6	JAB - REVISED DETAIL 1/11/11 - ROUGH AUDIT
A-7d	01/24/11	7	JAB - REVISED DETAIL 1/11/11 - ROUGH AUDIT
A-7d	01/24/11	8	JAB - REVISED DETAIL 1/11/11 - ROUGH AUDIT

REMARKS

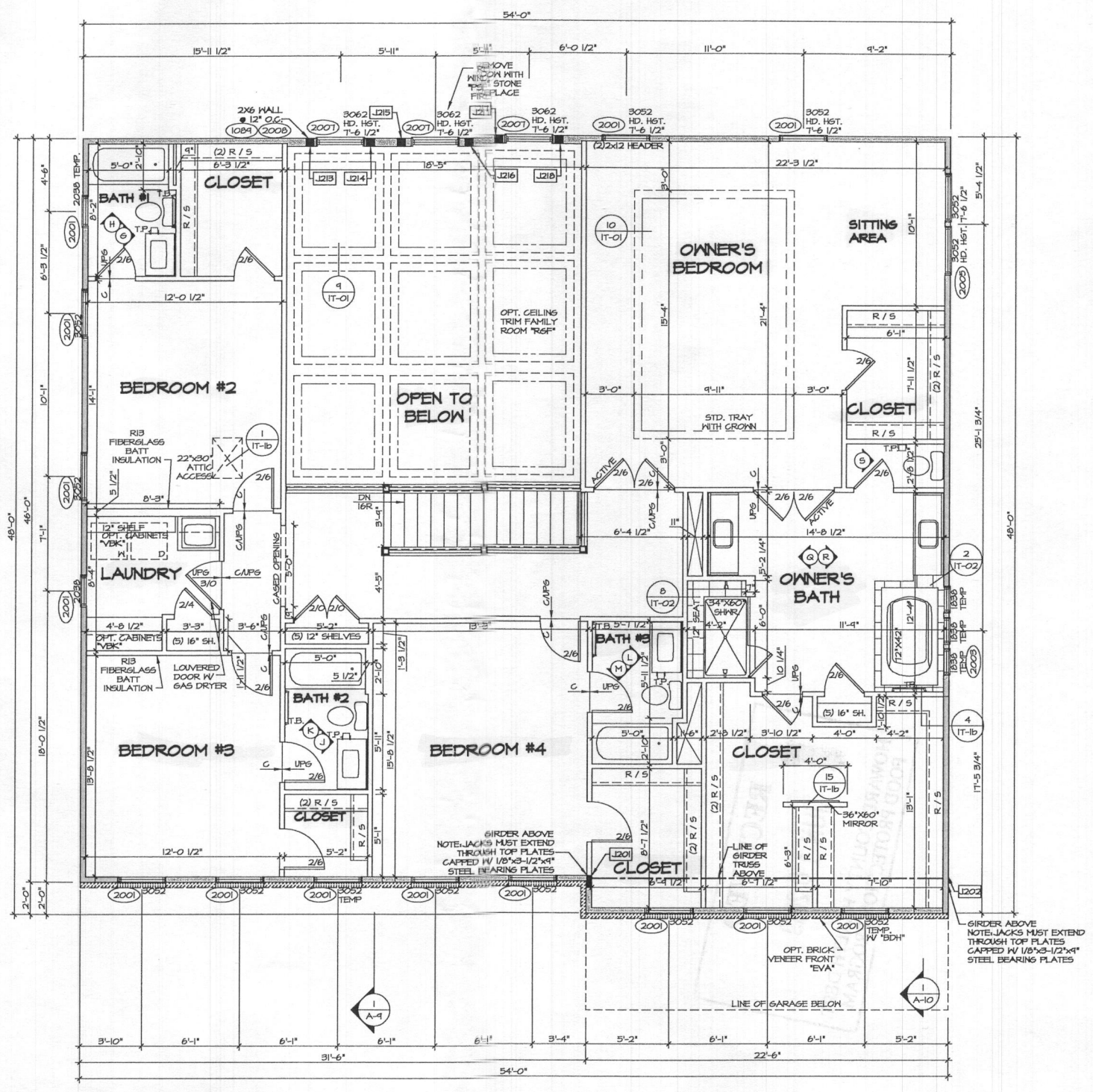
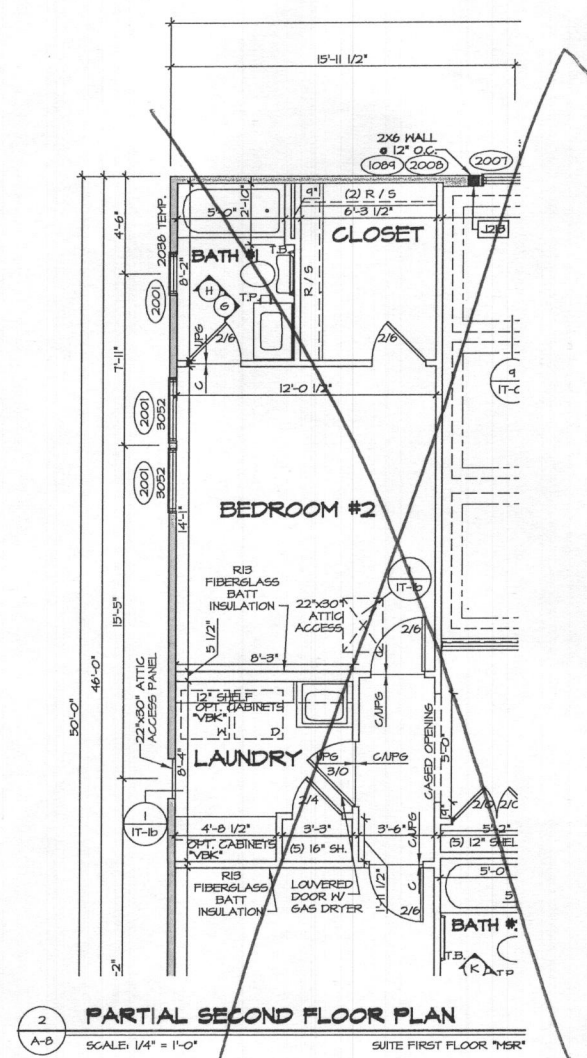
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STRATFORD HALL
DRAWING TITLE
FIRST FLOOR PLAN PARTIALS

OPTION DESCRIPTION
TWO CAR SIDE ENTRY GARAGE
ONE CAR SIDE ATTACHED FRONT ENTRY GARAGE
TWO CAR SIDE ATTACHED FRONT ENTRY GARAGE

31.2

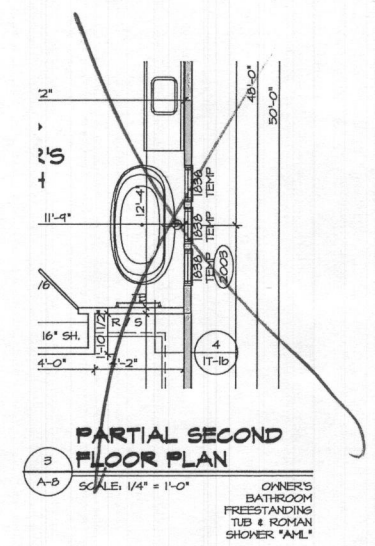


NOTES:
1. GENERAL NOTES (N-1)
2. SCHEDULES (N-2)
3. LVL NAILING SCHEDULE (N-1)
4. SEE GENERAL NOTES (N-1) FOR ADDITIONAL INFORMATION.

LEGEND

[Symbol]	BEARING WALL
[Symbol]	NON BEARING WALL
[Symbol]	INDICATES BEARING FROM POINT-LOAD ABOVE
[Symbol]	JACKS
[Symbol]	BEAM/HEADER
[Symbol]	PAD FOOTING
[Symbol]	STEEL COLUMN
[Symbol]	PORTAL FRAME
[Symbol]	JOIST/TRUSS
[Symbol]	LVL
[Symbol]	ENGINEERING PAGE NUMBER

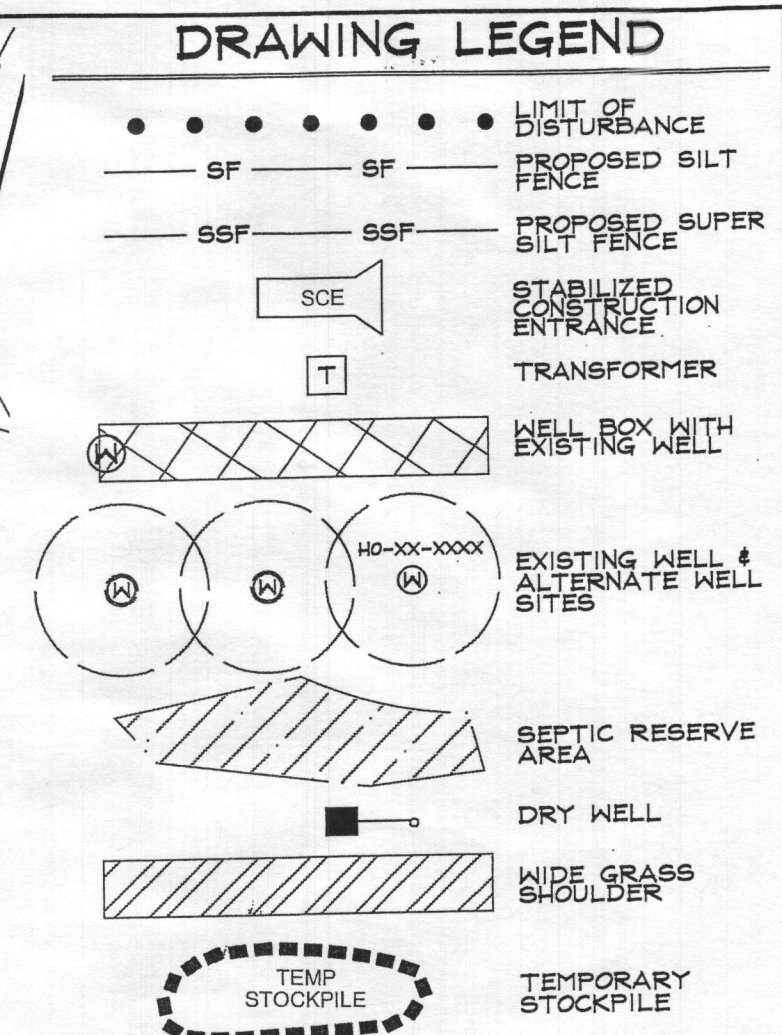
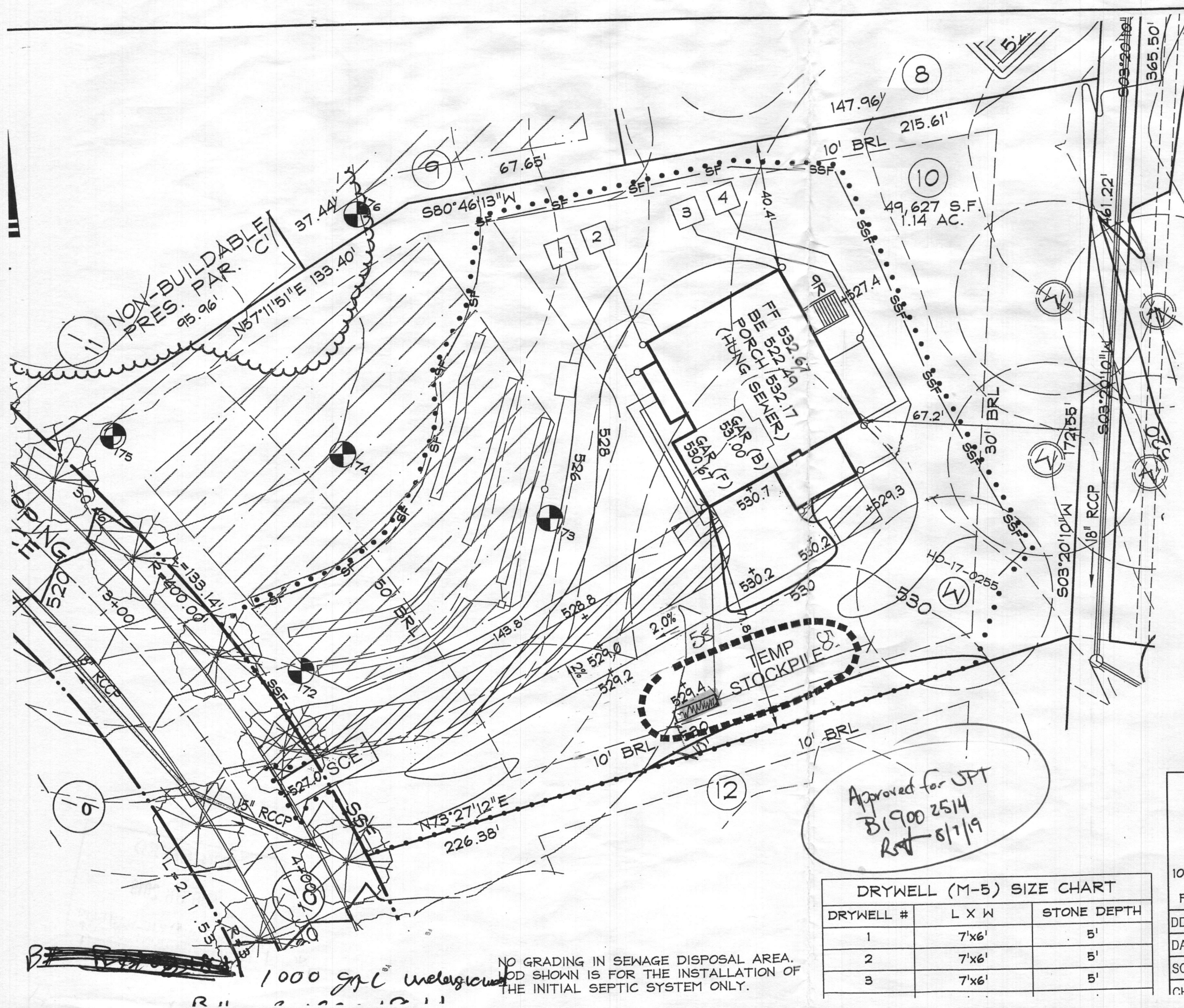
SEE FC DETAILS FOR FRAMING CONNECTORS



SHEET NO. A-8	MODEL STRATFORD HALL	SET NO. 11900 VERSION 01	DATE 9/7/2016
	DRAWING TITLE SECOND FLOOR PLAN	DRAWN BY BIM	OPTION
OPTION DESCRIPTION		32.1	

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REMARKS
01/24/17 1M - STANDARD DETAILS 3.0
06/27/17 1M66 - ADDED ACCESS PANEL IN LAIN. TO REACH "MSR" ATTIC (PAR 146971)
07/03/17 1M66 - ADDED CEILING TRIM OPTION
10/20/17 1M66 - ADDED T.B. REMOVED T.R.'S FROM OWNER'S BATH (PAR 146994)



LOT 10
BUILDING PERMIT PLOT PLAN

WALKER
MEADOWS

LOT 10

1031 STEPPING PLACE

PLAT #24974-24979

DDC JOB#: 12064.3

DATE:	05-17-2019
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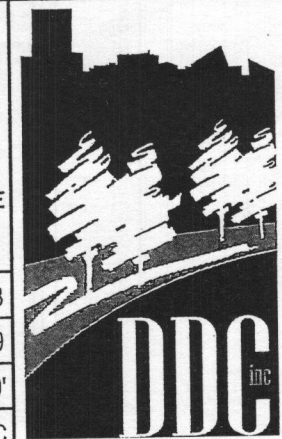
SCALE: 1" = 30'

CHK BY:	PGC
---------	-----

DRYWELL #	L X W	STONE DEPTH
1	7'x6'	5'
2	7'x6'	5'
3	7'x6'	5'

Planners
Surveyors
Engineers
Landscape Architects

192 East Main Street
Westminster, MD 21157
410.386.0560
410.386.0564 (Fax)
DDC@DDCinc.us



Approved for JPT
B1900 2514
Rat 8/1/19

1000 gpl undigested

NO GRADING IN SEWAGE DISPOSAL AREA.
LOD SHOWN IS FOR THE INSTALLATION OF
THE INITIAL SEPTIC SYSTEM ONLY.

DRAWING LEGEND

- • • • • LIMIT OF DISTURBANCE
- SF — SF — PROPOSED SILT FENCE
- SSF — SSF — PROPOSED SUPER SILT FENCE
- SCE STABILIZED CONSTRUCTION ENTRANCE
- T TRANSFORMER
- W WELL BOX WITH EXISTING WELL
- HO-XX-XXXX EXISTING WELL & ALTERNATE WELL SITES
- SEPTIC RESERVE AREA
- DRY WELL
- WIDE GRASS SHOULDER
- TEMP STOCKPILE
- TEMPORARY STOCKPILE

REVISED
 Date: 7/8/19
 Comments: B19001811
 REVISED SEPTIC TANK
 + TRENCHES
 LOT 10
 BUILDING PERMIT PLOT PLAN

Approved Septic System Plan
 Howard County Health Department
 1st bedroom SFD
 approved as illustrated

R. Bickler 7/11/2019
 Signature Date

DRYWELL (M-5) SIZE CHART		
DRYWELL #	L X W	STONE DEPTH
1	7'x6'	5'
2	7'x6'	5'
3	7'x6'	5'
4	7'x6'	5'

NO GRADING IN SEWAGE DISPOSAL AREA.
 LOD SHOWN IS FOR THE INSTALLATION OF
 THE INITIAL SEPTIC SYSTEM ONLY.

THE FRONT DOOR FOR LOT 10 FACES SOUTHWEST

LOT 10
 1031 STEPPING PLACE
 PLAT #24974-24979
 DDC JOB#: 12064.3
 DATE: 05-17-2019
 SCALE: 1" = 30'
 CHK. BY: PGC
 DRN. BY: LJC

DDC
 Development Design Consultants

Planners
 Surveyors
 Engineers
 Landscape Architects

192 East Main Street
 Westminster, MD 21157
 410.386.0560
 410.386.0564 (Fax)
 DDC@DDCinc.us
 www.DDCinc.us

