



# Building Permit Application

Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

Date Received: 7/30/19

Permit No.: B19002499

Building Address: 1811 Woodstock Rd  
City: Woodstock State: MD Zip Code: 21163  
Suite/Apt. #: SDP/WP/BA #:   
Census Tract: Subdivision:   
Section: Area: Lot: 2  
Tax Map: 10 Parcel: Grid:   
Zoning: Map Coordinates: Lot Size:   
Existing Use: SFD  
Proposed Use: SFD W/TANK  
Estimated Construction Cost: \$ 4000  
Description of Work:   
INSTALL A 1000 GAL underground PROPANE TANK  
Occupant/Tenant Name: OWNER  
Was tenant space previously occupied? ☐ Yes ☐ No  
Contact Name:   
Address:   
City: State: Zip Code:   
Phone: Fax:   
Email:

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 <sup>st</sup> floor:
	2 <sup>nd</sup> floor:
Area of construction (sq. ft.):	Basement:
	<input type="checkbox"/> Finished Basement
Use group:	<input type="checkbox"/> Unfinished Basement
	<input type="checkbox"/> Crawl Space
Construction type:	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:
<input type="checkbox"/> Structural Steel	Multi-family Dwelling
<input type="checkbox"/> Masonry	No. of efficiency units:
<input type="checkbox"/> Wood Frame	No. of 1 BR units:
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
➤ Roadside Tree Project Permit	Footings:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Property Owner's Name: Keystone Custom Homes  
Address: 227 Granite Run Dr Apt 100  
City: Lancaster State: PA Zip Code: 17601  
Phone: 717-719-1362 Fax:   
Email:

Applicant's Name & Mailing Address, (If other than stated herein)  
Applicant's Name: APPLIED & APPROVED PERMITS  
Address: PO BOX 310  
City: PERRY HALL State: MD Zip Code: 21128  
Phone: 443-610-7514 Fax:   
Email: MICHELLE@APPLIEDANDAPPROVED.COM

Contractor Company: TEVIS OIL  
Contact Person: C NEVIN HAINES  
Address: 1618 N MAIN STREET  
City: HAMPSTEAD State: MD Zip Code: 21074  
License No.: 468  
Phone: 410-984-0399 Fax:   
Email:

Engineer/Architect Company: CONTRACTOR  
Responsible Design Prof.:   
Address:   
City: State: Zip Code:   
Phone:   
Email:

Utilities	LICENSES & PERMITS DIVISION
Electric: <input type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature  
MICHELLE@APPLIEDANDAPPROVED.COM  
Email Address

Print Name  
MICHELLE CLANCY  
Date 7/26/19

PERMITS  
Title/Company

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

\*\*PLEASE WRITE NEATLY & LEGIBLY\*\*

FOR OFFICE USE ONLY

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA ( Zoning )		
PSZA ( Engineering )		
Health	8/13/19	

Is Sediment Control approval required for issuance? ☐ Yes ☒ No  
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION  
Front:   
Rear:   
Side:   
Side St.:   
All minimum setbacks met? ☐ Yes ☐ No  
Is Entrance Permit Required? ☐ Yes ☐ No  
Historic District? ☐ Yes ☐ No  
Lot Coverage for New Town Zone:   
SDP/Red-line approval date:

Filing Fee	\$
Permit Fee	\$ 100
Tech Fee	\$ 10
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$ 110.00
Sub- Total Paid	\$
Balance Due	\$
Check	# 7227

ibution of Copies: White: Building Officials

Green: PSZA,Zoning

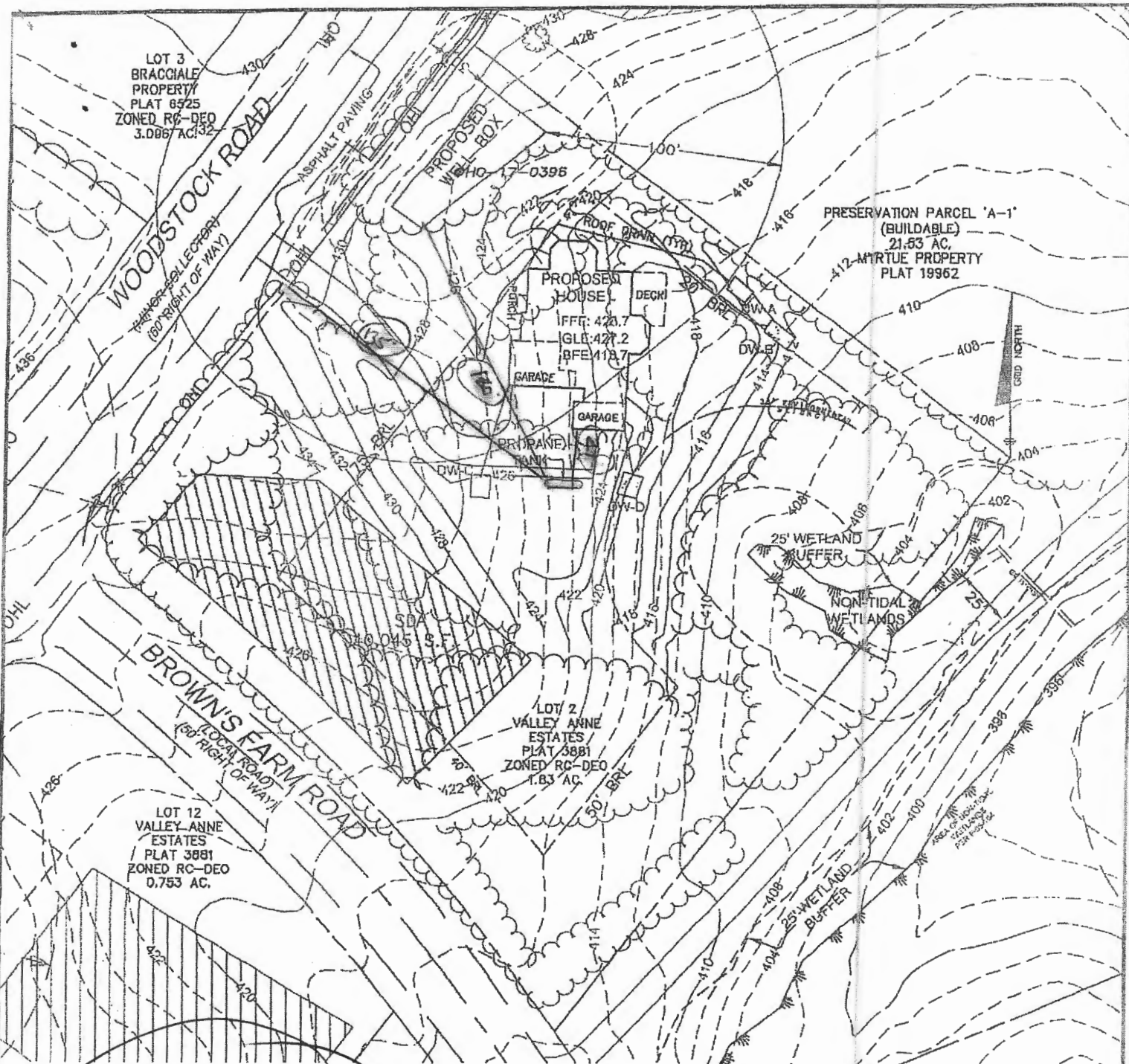
Yellow: PSZA,Engineering

Pink: Health

Gold: SHA

LOT 3  
BRACCIALE  
PROPERTY  
PLAT 8525  
ZONED RC-DEO  
3.086 AC. 32

PRESERVATION PARCEL 'A-1'  
(BUILDABLE)  
21.53 AC.  
412 MIRTUE PROPERTY  
PLAT 19962



PLAN VIEW

SCALE: 1" = 60'

Approved for UPT  
B19002499  
LH 8/13/19

BENCHMARK

ENGINEERS • LAND SURVEYORS • PLANNERS

ENGINEERING, INC.

8480 BALTIMORE NATIONAL PIKE • SUITE 315 • ELICOTT CITY, MD 21043  
PHONE: 410-465-6105 FAX: 410-465-6644

PROPANE TANK EXHIBIT  
LOT 2 VALLEY ANNE ESTATES  
1811 WOODSTOCK ROAD

THIRD ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND  
DATE: 4-2-2019



# LEGEND

- PROJECT BOUNDARY
- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED WELL BOX
- EXISTING PRIVATE SEWAGE DISPOSAL AREA
- EXISTING SLOPES 25% OR GREATER
- EXISTING TREELINE
- SOILS MAP SYMBOL
- SOILS DELINEATION LINE
- PASSING PERCOLATION TEST
- AREA OF NON-TIDAL WETLAND

## PLAN VIEW

1" = 50'

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 45577, Expiration Date: 06-08-2020.

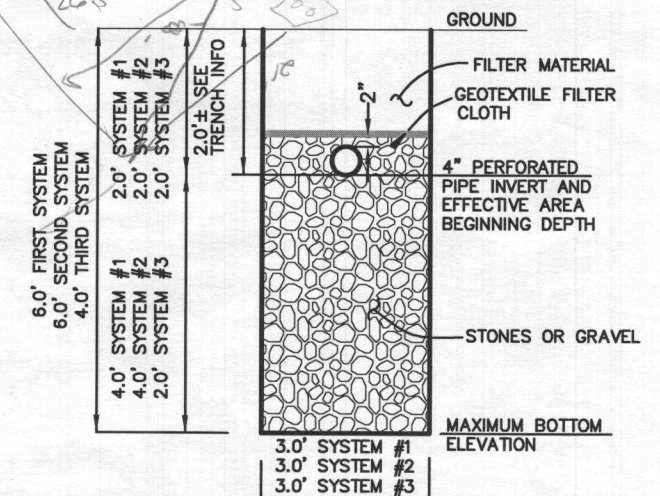


3/13/19

## ONSITE SEWAGE DISPOSAL PLAN NOTES:

- THE LOT SHOWN HEREON WAS RECORDED AS LOT 2 ON THE PLAT FOR VALLEY ANNE ESTATES, 3881. REFER TO THE PLATS FOR LOT DIMENSIONS, LOT AREAS, ALL EASEMENTS AND CONDITIONS.
- SEDIMENT AND EROSION CONTROLS WERE APPROVED BY HOWARD SOIL CONSERVATION.
- TOPOGRAPHY SHOWN IS BASED ON HOWARD COUNTY GIS, 2 FOOT CONTOURS, AND WAS FIELD CONFIRMED DECEMBER 20, 2018 WITHIN THE PROPOSED SEWAGE DISPOSAL AREA AND WETLANDS AREAS BY BENCHMARK ENGINEERING, INC.
- ALL SEDIMENT AND EROSION CONTROL FEATURES USED ON THIS SITE SHALL COMPLY WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- WELL HO-17-0396 HAS BEEN FIELD LOCATED BY BENCHMARK ENGINEERING, INC., IN FEBRUARY, 2019, AND IS ACCURATELY SHOWN ON THIS PLAN.
- THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THIS PROJECT'S BOUNDARY EXCEPT AS NOTED.
- ANY CHANGES TO A PRIVATE SEWAGE DISPOSAL AREA OR WELL BOX SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
- STORMWATER MANAGEMENT FOR THIS LOT WILL BE PROVIDED USING NON-ROOFTOP DISCONNECTION (N-2) AND DRY WELLS (M-5).
- THE SEPTIC TANK WILL BE A 2000 GALLON 2 COMPARTMENT TANK.
- ANY CHANGE TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
- THE MAXIMUM EARTH COVER OVER THE TANK IS 3 FEET. GREATER EARTH COVER WILL REQUIRE A HEAVY LOAD BEARING TANK.
- ELECTRICAL WORK FOR THIS INSTALLATION MUST BE PERFORMED BY A LICENSED ELECTRICIAN.

## LOT 2



TYPICAL TRENCH DETAIL  
NOT TO SCALE

PROJECT:	LOT 2 VALLEY ANNE ESTATES 1811 WOODSTOCK ROAD		
LOCATION:	TAX MAP: 10, GRID: 24, PARCEL: 287 ZONED: RR-DEO 1811 WOODSTOCK ROAD, WOODSTOCK, MD SIXTH ELECTION DISTRICT, HOWARD COUNTY, MD, TAX ID #03-305376		
TITLE:	ONSITE SEPTIC SEWAGE DISPOSAL SYSTEM DESIGN PLAN		
HOUSE TYPE:	MARRIOTS RIDGE - DEVONSHIRE MANOR		
DATE:	MARCH, 2019	PROJECT NO.	2939
SCALE:	AS SHOWN	DRAWING	1 OF 3

OWNER/BUILDER:  
SONSHINE MD, LP  
227 GRANITE RUN DRIVE,  
SUITE 100  
LANCASTER, PA 17601  
717-464-9060

BENCHMARK  
ENGINEERS & LAND SURVEYORS & PLANNERS  
ENGINEERING, INC.  
8480 BALTIMORE NATIONAL PIKE & SUITE 315  
ELLCOTT CITY, MARYLAND 21043  
(P) 410-465-6105 & (F) 410-465-6644  
WWW.BEI-CMLENGINEERING.COM



440

Health Department Spec Sheet information			
System	Application Rate	Effective Depth	Bottom Depth
Initial	1.2	2.0	6.0
1st Replacement	1.2	2.0	6.0
2nd Replacement	1.2	2.0	4.0

Note: 2-Chamber Septic Tank. Pump to Distribution box from Pump Tank.

435

430

425

420

415

410

405

400

395

440

435

430

425

420

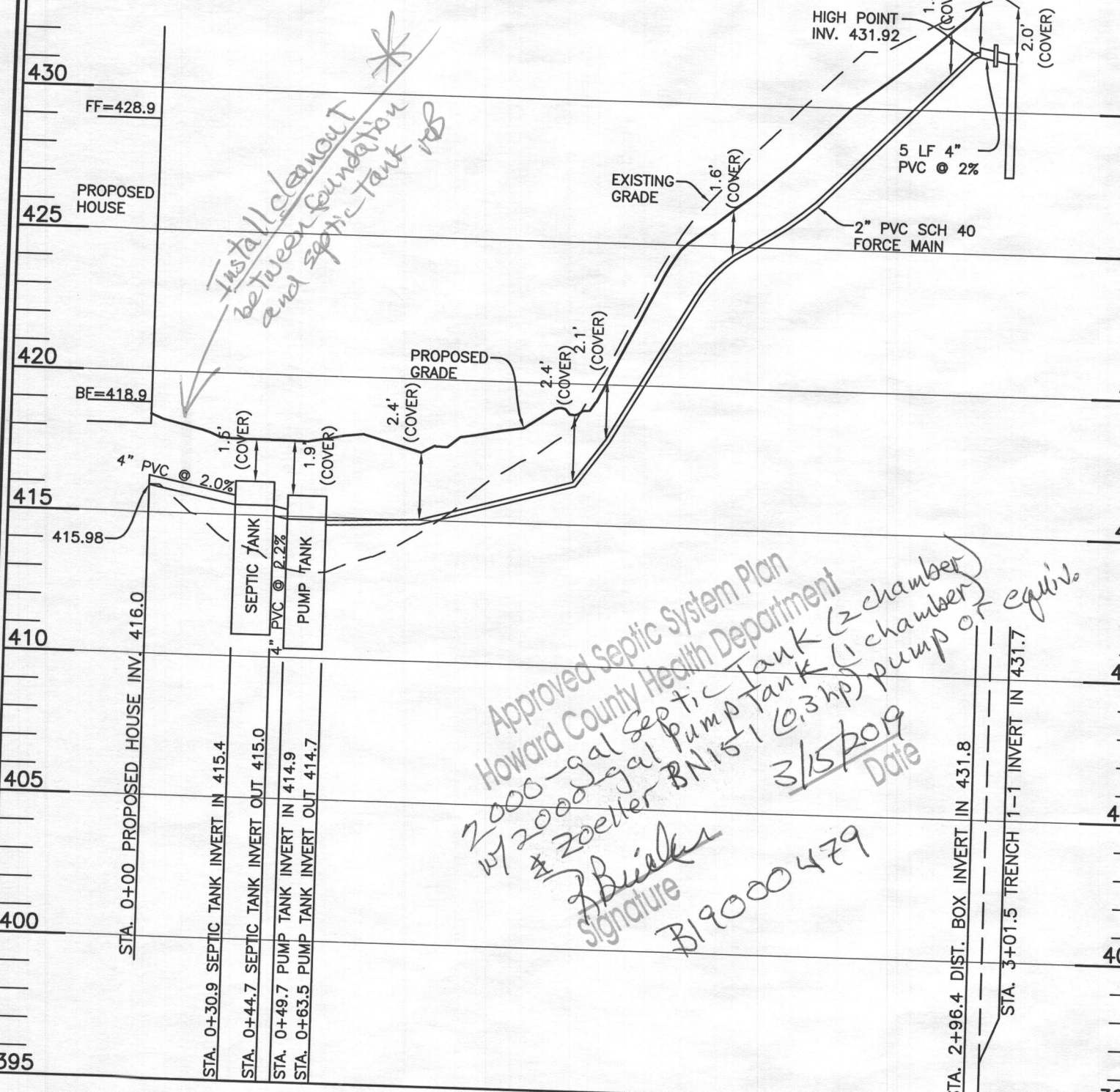
415

410

405

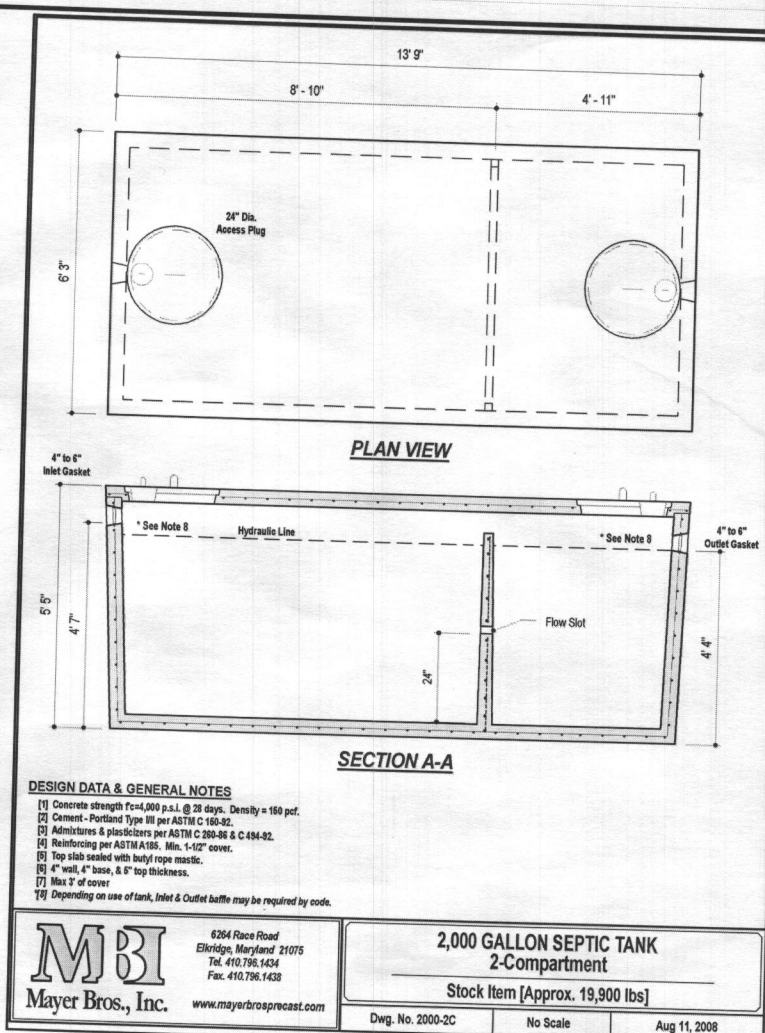
400

395



Septic Profile  
SCALE: 1"=50' HORIZ., 1"=5' VERT.

SEPTIC INVERT CHART - LOT 2			
INV @ HOUSE	416.00	INV IN PUMP TANK	414.91
GROUND @ HOUSE	419.50	INV OUT PUMP TANK	414.74
		TOP OF PUMP TANK	415.74
INV IN SEPTIC TANK	415.36	GROUND OVER PUMP TANK	417.70
INV OUT SEPTIC	415.02		
TOP OF SEPTIC TANK	416.20	INV IN DIST BOX	431.82
GROUND OVER SEPTIC TANK	417.70	INV OUT DIST BOX	431.72
		GROUND AT DIST BOX	433.94



TRENCH DATA - LOT 5					
INITIAL SYSTEM		FIRST REPLACEMENT		SECOND REPLACEMENT	
TRENCH 1-1		TRENCH 2-1		TRENCH 3-1	
LENGTH	43.5 ft	LENGTH	43.5 ft	LENGTH	65.2 ft
GROUND ELEVATION	433.8	GROUND ELEVATION	432.0	GROUND ELEVATION	429.0
INVERT ELEVATION	431.8	INVERT ELEVATION	430.0	INVERT ELEVATION	427.0
MAX BOTTOM ELEVATION	427.8	MAX BOTTOM ELEVATION	426.0	MAX BOTTOM ELEVATION	425.0
TRENCH 1-2		TRENCH 2-2		TRENCH 3-2	
LENGTH	43.5 ft	LENGTH	43.5 ft	LENGTH	65.2 ft
GROUND ELEVATION	432.1	GROUND ELEVATION	430.5	GROUND ELEVATION	427.5
INVERT ELEVATION	430.1	INVERT ELEVATION	428.5	INVERT ELEVATION	425.5
MAX BOTTOM ELEVATION	426.1	MAX BOTTOM ELEVATION	424.5	MAX BOTTOM ELEVATION	423.5

INITIAL SYSTEM - LOT 2		
Number of Bedrooms	5	
Application Rate	1.2	gpd/sf
Effective Area Beginning Depth	2.0	ft
Bottom Max Depth	6.0	ft
Design Flow	750	gpd
Drainage Field square footage	625	sf
Sidewall Reduction Credit	0.42	
Trench width	3	ft
Effective Area Depth	4	ft
Trench Spacing	11	ft
Linear Length of trench Required	87	lf

1st REPLACEMENT SYSTEM		
Number of Bedrooms	5	
Application Rate	1.2	gpd/sf
Effective Area Beginning Depth	2.0	ft
Bottom Max Depth	6.0	ft
Design Flow	750	gpd
Drainage Field square footage	625	sf
Sidewall Reduction Credit	0.42	
Trench width	3	ft
Effective Area Depth	4	ft
Trench Spacing	11	ft
Linear Length of trench Required	87	lf

2nd REPLACEMENT SYSTEM		
Number of Bedrooms	5	
Application Rate	1.2	gpd/sf
Effective Area Beginning Depth	2.0	ft
Bottom Max Depth	4.0	ft
Design Flow	750	gpd
Drainage Field square footage	625	sf
Sidewall Reduction Credit	0.63	
Trench width	3	ft
Effective Area Depth	2	ft
Trench Spacing	10	ft
Linear Length of trench Required	130	lf

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 45577, Expiration Date: 06-08-2020.

3/12/19

SIGNATURE AND SEAL ARE FOR SEPTIC PROFILE AND CALCULATIONS ONLY, TANK AND DETAILS WERE NOT DESIGNED OR REVIEWED BY THE ENGINEER.

BENCHMARK  
ENGINEERS & LAND SURVEYORS & PLANNERS  
ENGINEERING, INC.  
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THIS PLAN IS FOR SEPTIC DESIGN ONLY

OWNER/BUILDER:  
SONSHINE MD, LP  
227 GRANITE RUN DRIVE,  
SUITE 100  
LANCASTER, PA 17601  
717-464-9060

SEE MANUFACTURERS SPECIFICATIONS FOR DETAILS. WWW.MAYERPRECAST.COM EQUIVALENT FROM OTHER MANUFACTURERS CAN BE SUBSTITUTED.

PROJECT: LOT 2 VALLEY ANNE ESTATES  
1811 WOODSTOCK ROAD

LOCATION: TAX MAP: 10, GRID: 24, PARCEL: 287 ZONED: RR-DEO  
1811 WOODSTOCK ROAD, WOODSTOCK, MD  
SIXTH ELECTION DISTRICT, HOWARD COUNTY, MD, TAX ID #03-305376

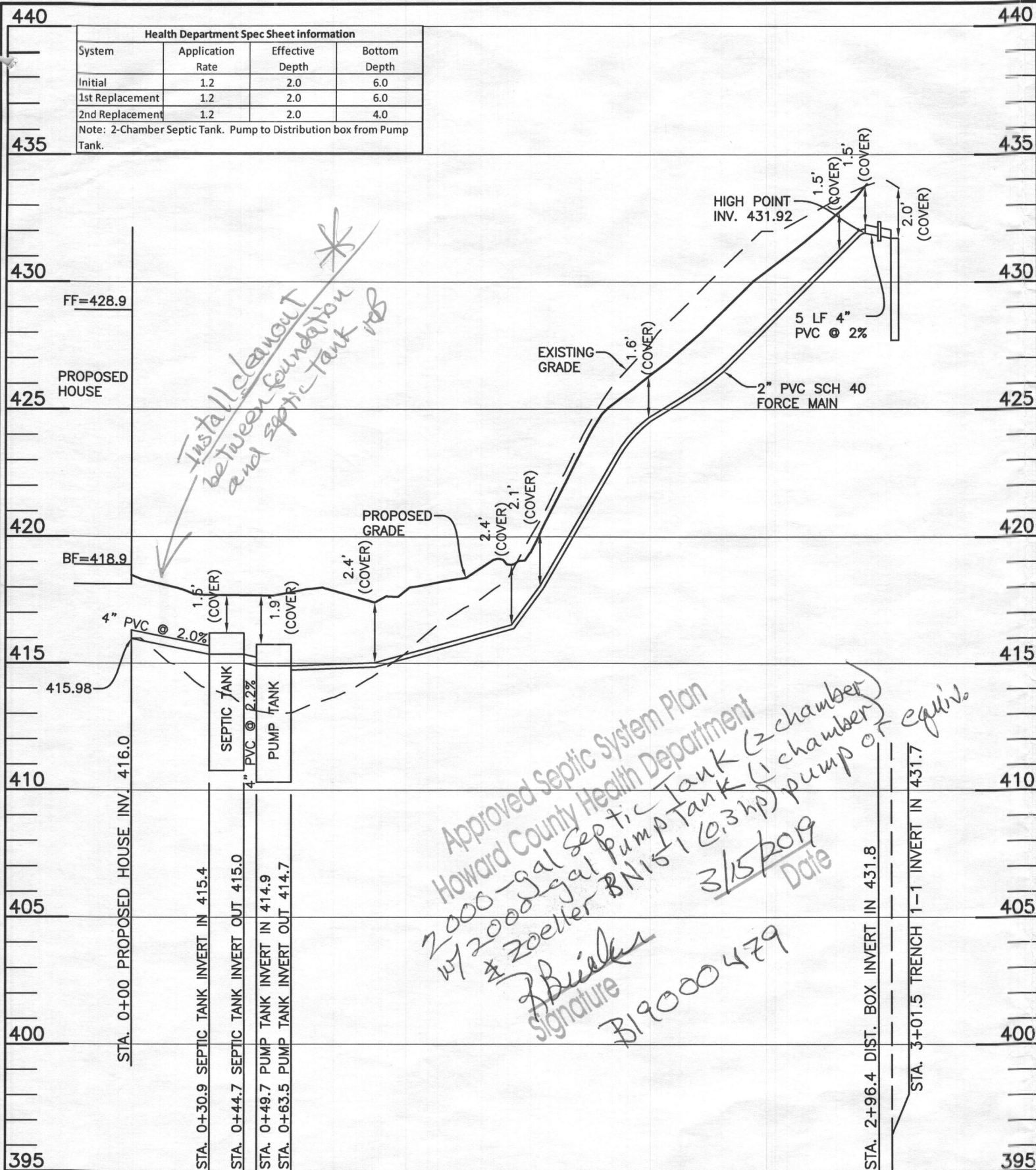
TITLE: ONSITE SEPTIC DESIGN SYSTEM PLAN

HOUSE TYPE: MARRIOTS RIDGE - DEVONSHIRE MANOR

DATE: JANUARY, 2019 PROJECT NO. 2939

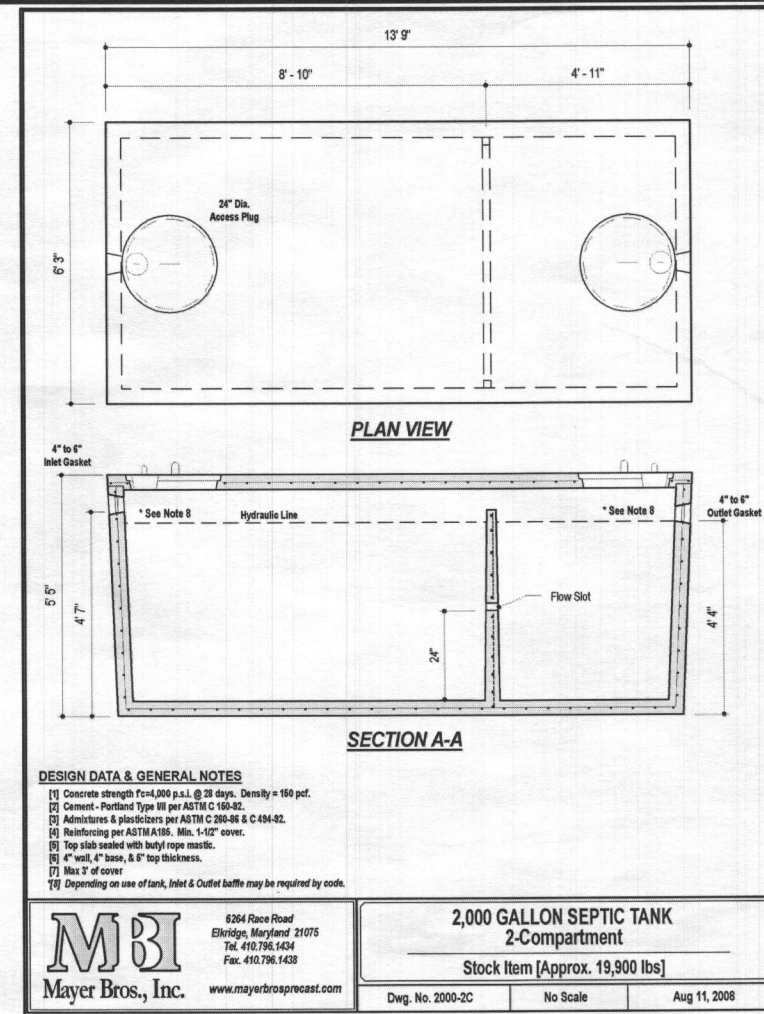
SCALE: AS SHOWN DRAWING 2 OF 3





Septic Profile  
SCALE: 1"=50' HORIZ., 1"=5' VERT.

SEPTIC INVERT CHART - LOT 2			
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GROUND @ HOUSE	419.50	INV OUT PUMP TANK	414.74
		TOP OF PUMP TANK	415.74
INV IN SEPTIC TANK	415.36	GROUND OVER PUMP TANK	417.70
INV OUT SEPTIC	415.02		
TOP OF SEPTIC TANK	416.20	INV IN DIST BOX	431.82
GROUND OVER SEPTIC TANK	417.70	INV OUT DIST BOX	431.72
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TRENCH DATA - LOT 5					
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GROUND ELEVATION	433.8	GROUND ELEVATION	432.0	GROUND ELEVATION	429.0
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MAX BOTTOM ELEVATION	427.8	MAX BOTTOM ELEVATION	426.0	MAX BOTTOM ELEVATION	425.0
TRENCH 1-2		TRENCH 2-2		TRENCH 3-2	
LENGTH	43.5 ft	LENGTH	43.5 ft	LENGTH	65.2 ft
GROUND ELEVATION	432.1	GROUND ELEVATION	430.5	GROUND ELEVATION	427.5
INVERT ELEVATION	430.1	INVERT ELEVATION	428.5	INVERT ELEVATION	425.5
MAX BOTTOM ELEVATION	426.1	MAX BOTTOM ELEVATION	424.5	MAX BOTTOM ELEVATION	423.5

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THIS PLAN IS  
FOR SEPTIC  
DESIGN ONLY

OWNER/BUILDER:  
SONSHINE MD, LP  
227 GRANITE RUN DRIVE,  
SUITE 100  
LANCASTER, PA 17601  
717-464-9060

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SUBSTITUTED.

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LOCATION:	TAX MAP: 10, GRID: 24, PARCEL: 287 ZONED: RR-DEO 1811 WOODSTOCK ROAD, WOODSTOCK, MD SIXTH ELECTION DISTRICT, HOWARD COUNTY, MD, TAX ID #03-305376		
TITLE:	ONSITE SEPTIC DESIGN SYSTEM PLAN		
HOUSE TYPE:	MARRIOTS RIDGE - DEVONSHIRE MANOR		
DATE:	JANUARY, 2019	PROJECT NO.	2939
SCALE:	AS SHOWN	DRAWING	2 OF 3



Diameter of Force Main and Manifold =	2 " Sch. 40 PVC pipe
Length of Force Main =	168 feet
Sch 40 gallons/100 feet =	17.4 Table 4.2
Volume of Main =	29.2 gallons
Minimum Dose must be greater than 1/6 of the design flow	125 gallons
Minimum Dose must be greater than the volume of the main	29 gallons
Use minimum dose of	125 gallons okay
Doses per Day =	6.0

Pump chamber must be able to hold one dose and one days design flow

Use 2,000 gallon pump tank

## Sizing the Pump

Design Head:	Design Head = Static Head + Friction Head		
	Static Head = highest elevation of main - pump off elevation		
	Highest component of system =	431.92	Main HP
	Pump off elevation =	413.00	
	Static Head =	18.92	feet
	Friction Head = Head loss due to pipe friction		
	2.0" pipe =	228	feet
	45° bends	5 loss for bend	20 feet per Table C
	Friction loss per table 4.4 =		1.1 (ft/100 ft)
	Equivalent Length =	248	Friction loss = 2.73 feet
	Total Friction Head =	2.73	
	Design Head = 21.65 feet		

Performance =	25.00 gpm
Head of Water =	21.65 feet of head

Pump Flow Rate =	25.10 gallons/minute	per rating curve	4.98 Minutes
		TDH analysis	21.50 ft
		Between design and curve?	Yes

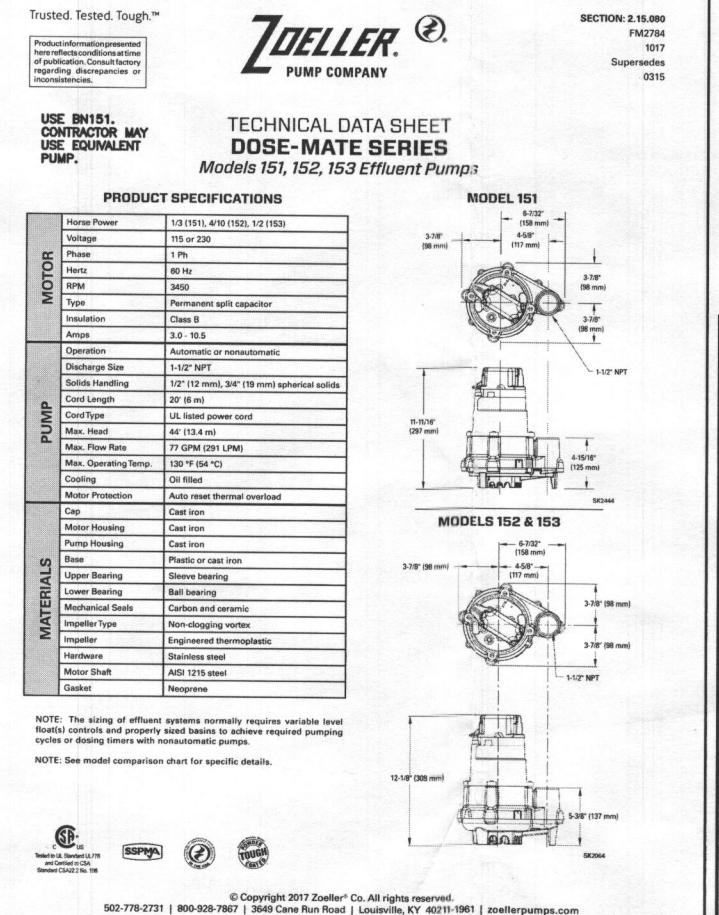
Ground over Tank =	417.70	Cover	2.8 ft
Top of Tank =	415.74		
Invert of Tank =	410.65		
3" Riser =	0.50 feet		
Pump Height=	1.10 feet		

Dose =	16.71	cf
Area of Pit =	73.05	sf

Pump on dist. =	0.23
Pump on Elev. =	412.73

Distance between Pump on and Highwater Alarm =	0.5 feet
Highwater Alarm Elevation =	413.23

Dist. for a dose above alarm =	1.37	
Minimum Inlet Elev. =	414.60	
Bank Inlet =	414.90	Okay
Dist. Alarm to Inlet =	1.67	Okay



MODEL	151			152		153	
Feet	Gal	Liters	Gal	Liters	Gal	Liters	
5	1.5	50	189	69	261	77	291
10	3.0	45	170	61	231	70	265
15	4.6	38	144	53	201	61	231
20	6.1	29	110	44	167	52	197
25	7.6	16	61	34	129	42	159
30	9.1	--	--	23	87	33	125
35	10.7	--	--	--	--	22	85
40	12.2	--	--	--	--	11	42
Shut-off Head	30 ft. (9.1m)		38 ft. (11.6m)		44 ft. (13.4m)		

Model	MODEL COMPARISON										
	Seal	Mode	Volts	Ph	Amps	HP	H <sub>z</sub>	Lbs	Kg	Simplex	Duplex
N151	Single	Non	115	1	6.0	1/3	60	32	15	1	2 or 3
E151	Single	Non	230	1	3.0	1/3	60	32	15	1	2 or 3
BN151	Single	Auto	115	1	6.0	1/3	60	33	15	*	2 or 3
BE151	Single	Auto	230	1	3.0	1/3	60	33	15	*	2 or 3
N152	Single	Non	115	1	8.5	4/10	60	37	17	1	2 or 3
E152	Single	Non	230	1	4.3	4/10	60	37	17	1	2 or 3
BN152	Single	Auto	115	1	8.5	4/10	60	39	18	*	2 or 3
BE152	Single	Auto	230	1	4.3	4/10	60	39	18	*	2 or 3
N153	Single	Non	115	1	10.5	1/2	60	37	17		
BN153	Single	Auto	115	1	10.5	1/2	60	39	18	*	2 or 3
E153	Single	Non	230	1	5.3	1/2	60	37	17	1	2 or 3
BE153	Single	Non	230	1	5.3	1/2	60	39	18	*	2 or 3

\*BN and BE models include a 20' (6 m) piggyback variable level pump switch. Additional cord lengths are available in 25' (8 m) and 35' (11 m). 50' (15 m) cords are available for 230 V units only.

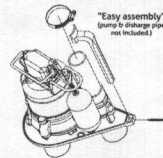
NOTE: Model 151 has a plastic base. Models 152 & 153 have a cast iron base.

1. For automatic, use single piggyback variable level float switch or double piggyback variable level float switch. Refer to FM0477.
2. See FM1228 for correct model of simplex control panel.
3. See FM0712 for correct model of duplex control panel.

**OPTIONAL PUMP STAND P/N 10-2421**

- Reduces potential clogging by debris
- Replaces rocks or bricks under the pump
- Made of durable, noncorrosive ABS
- Raises pump 2" (5 cm) off bottom of basin
- Provides the ability to raise intake by adding sections of 1½" (DN40 or DN50) PVC piping
- Attaches securely to pump
- Accommodates pump, dewatering and effluent applications

**NOTE:** Make sure float is free from obstruction.



**CAUTION** All installation of controls, protection devices and wiring should be done by a qualified licensed electrician. All electrical and safety codes should be followed including the most recent National Electrical Code (NEC) and the Occupational Safety and Health Act (OSHA).

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502-778-2731 | 800-928-7867 | 3649 Cane Run Road | Louisville, KY 40211-1961 | [zoellerpumps.com](http://zoellerpumps.com)

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GROUND @ HOUSE	419.50	INV OUT PUMP TANK	414.74
		TOP OF PUMP TANK	415.74
INV IN SEPTIC TANK	415.36	GROUND OVER PUMP TANK	417.70
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GROUND OVER SEPTIC TANK	417.70	INV OUT DIST BOX	431.72
		<b>GROUND AT DIST BOX</b>	<b>433.94</b>

SEE MANUFACTURES  
SPECIFICATIONS FOR DETAILS.  
[WWW.MAYERPRECAST.COM](http://WWW.MAYERPRECAST.COM)  
EQUIVALENT FROM OTHER  
MANUFACTURERS CAN BE  
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OWNER/BUILDER:  
SONSHINE MD, LP  
227 GRANITE RUN DRIVE,  
SUITE 100  
LANCASTER, PA 17601  
717-464-9060

SIGNATURE AND SEAL ARE  
FOR SEPTIC PROFILE AND  
CALCULATIONS ONLY, TANK  
AND DETAILS WERE NOT  
DESIGNED OR REVIEWED BY  
THE ENGINEER:

PROJECT: LOT 2 VALLEY ANNE ESTATES  
1811 WOODSTOCK ROAD

LOCATION: TAX MAP: 10, GRID: 24, PARCEL: 287 ZONED: RR-DEO  
1811 WOODSTOCK ROAD, WOODSTOCK, MD  
SIXTH ELECTION DISTRICT, HOWARD COUNTY, MD, TAX ID #03-305376

TITLE: **ONSITE SEPTIC DESIGN SYSTEM PLAN**

HOUSE TYPE: **MARRIOTS RIDGE - DEVONSHIRE MANOR**

DATE: JANUARY, 2019

SCALE: AS SHOWN

## BENCHMARK

ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS

ENGINEERING, INC.

8480 BALTIMORE NATIONAL PIKE ▲ SUITE 315  
ELLICOTT CITY, MARYLAND 21043  
(P) 410-465-6105 ▲ (F) 410-465-6644

WWW.BEI-CMENGINEERING.COM

ANNE ESTATES  
STOCK ROAD

PARCEL: 287 ZONED: RR-DEO  
K ROAD, WOODSTOCK, MD  
ARD COUNTY, MD, TAX ID #03-305376

## C DESIGN SYSTEM PLAN

## E - DEVONSHIRE MANOR

PROJECT NO. 2939

DRAWING 3 OF 3

K

KEYSTONE

office 717.464.9060  
fax 717.735.2034  
email info@keystoneCustomHome.com  
web KeystoneCustomHome.com  
address 227 Granite Run Drive, Suite 100  
Lancaster PA, 417601

March 28, 2019

Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Ellicott City, MD 21043  
Attn: Mr. Dan Swinder

RE: Building Permit #B19000479 / 1811 Woodstock Road

Dear Mr. Swinder:

Per your phone call on 3/18/19, please accept the attached documents for your review and record regarding the referenced permit. Responses are as follows:

- 1) The design engineer for the framing does not customarily stamp the plans; however, we submit the attached stamped calculations for each structural member shown on these plans.
- 2) Correct wind speed has been noted on the cross section on S1.0.
- 3) Spot elevations and parking have been delineated on the plot plan.

If you should have any questions or require additional information, please feel free to contact me at any time.

Sincerely,



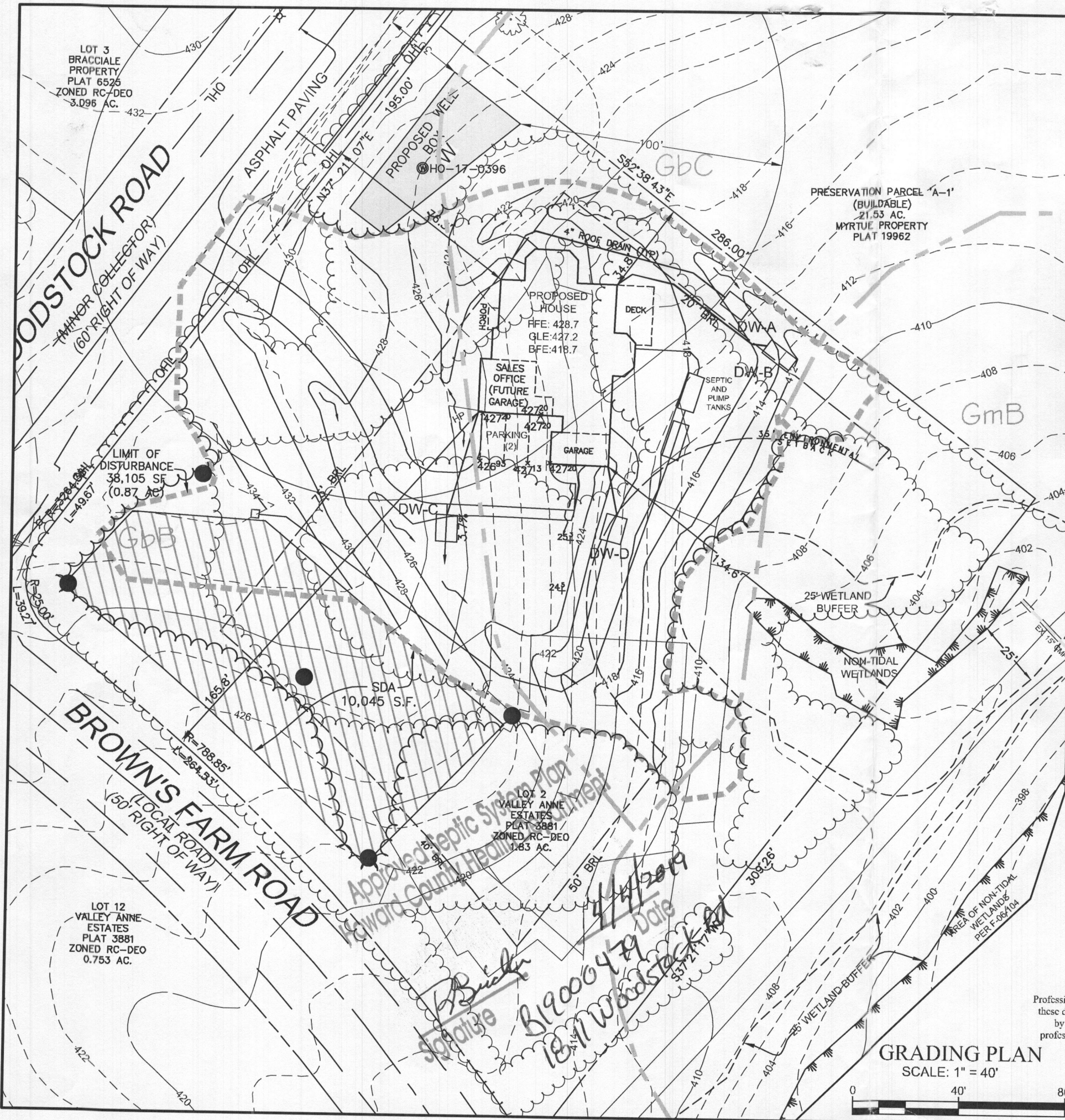
Gregg T. Reinsmith  
Permit Manager  
Keystone Custom Homes  
717-682-3320

Enclosures:

- 2 copies of revised Sheet # S1.0
- 2 copies of MD engineer stamped joist calculations
- 4 copies of revised plot plan

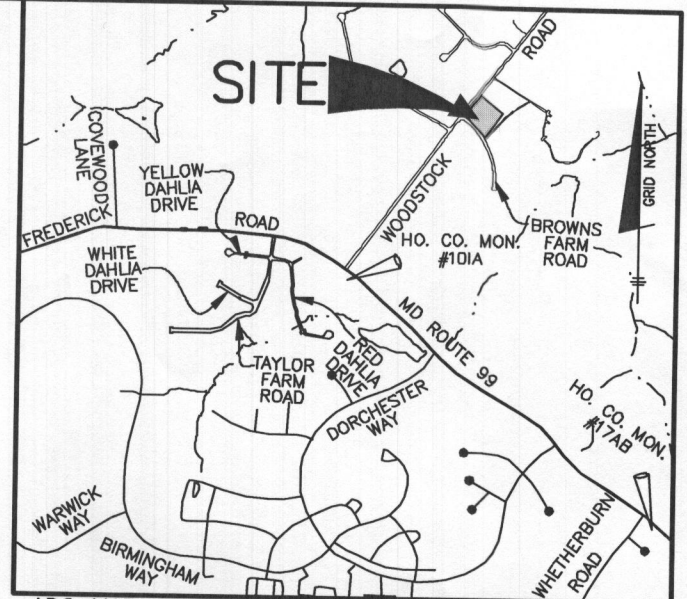
CC: PIZ  
DED  
Heath





**LEGEND**

- PROJECT BOUNDARY
- EXISTING CONTOURS
- PROPOSED WELL BOX
- PROPOSED PRIVATE SEWAGE DISPOSAL AREA
- EXISTING SLOPES 15% - 25%
- EXISTING SLOPES 25% OR GREATER
- EXISTING TREELINE
- PROPOSED TREELINE
- SOILS MAP SYMBOL
- SOILS DELINEATION LINE
- PASSING PERC TEST
- AREA OF NON-TIDAL WETLAND
- PROPOSED CONTOURS
- LIMIT OF DISTURBANCE



**GENERAL NOTES**

1. THE LOT SHOWN HEREON COMPLIES WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
2. THIS AREA DESIGNATES A PRIVATE SEWAGE EASEMENT OF AT LEAST 10,000 S.F. AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWER IS AVAILABLE. THIS EASEMENT SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWER SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWAGE EASEMENT. RECORDATION OF A MODIFIED SEWAGE EASEMENT PLAT SHALL NOT BE REQUIRED.
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4. TO THE BEST OF OUR KNOWLEDGE, ALL WELLS AND SEPTIC SYSTEMS LOCATED WITHIN 100' OF THE PROPERTY BOUNDARIES AND 200' DOWN GRADIENT OF ANY WELL AND/OR SEPTIC HAVE BEEN SHOWN.
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8. FOREST STAND DELINEATION HAS BEEN PERFORMED BY ECO-SCIENCE PROFESSIONALS, DECEMBER 2018, AND IS PROVIDED AS PART OF THIS SIMPLIFIED ENVIRONMENTAL CONCEPT PLAN SUBMISSION. BASED ON THE REPORT, THERE IS NO REGULATED FOREST ON THE SITE, AS THE MAJORITY OF THE EXISTING GROWTH CONSISTS OF INVASIVE SPECIES. THERE ARE NO SPECIMEN TREES ON THE SITE.
9. THIS PROJECT IS EXEMPT FROM FOREST CONSERVATION ACT REQUIREMENTS PER SECTION 16.1202 b(2)(i) SINCE NO CLEARING OF REGULATED FOREST IS PROPOSED. A DECLARATION OF INTENT WILL BE PROVIDED WITH THE BUILDING OR GRADING PERMIT APPLICATION.
10. SEDIMENT AND EROSION CONTROL PER GP-19-55.

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 28376 Expiration Date: 1-1-21.

**GRADING PLAN**  
SCALE: 1" = 40'

CONTRACT PURCHASER/ BUILDER:		<div>BENCHMARK ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS</div> ENGINEERING, INC. 8480 BALTIMORE NATIONAL PIKE ▲ SUITE 315 ELLICOTT CITY, MARYLAND 21043 (P) 410-465-6105 ▲ (F) 410-465-6644  WWW.BEI-CIVILENGINEERING.COM	
PROJECT:		LOT 2 VALLEY ANNE ESTATES 1811 WOODSTOCK ROAD	
LOCATION:		TAX MAP 10, GRID 24 PARCEL 287 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND	
TITLE:		BUILDING PERMIT PLAN GRADING PLAN	
DATE:	MARCH, 2019	PROJECT NO.	2939
SCALE:	AS SHOWN	DRAWING	1 OF 2



1-5

**COMPLETE THIS FORM WHEN DROPPING OFF ANY  
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY  
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 3/21/19

To: Howard County Licensing & Permits  
(Person's Name and Division)

From: Benchmark Engineering (410) 465-6105  
(Your Name, Company Name and Telephone Number)

Subject: Project name Lot 2 Valley Anne Estates  
Project site address 1811 Woodstock Rd, MD 21163  
Permit # B19000479 SDP # \_\_\_\_\_  
Other information pertinent to this project GP-19-055

**RECEIVED**  
MAR 26 2019  
PLAN REVIEW DIVISION

✓ Please check the attachments below that you are submitting with this transmittal:

- ☐ Letter of response to address plan review comment letter
- ✓ ☒ Revised plans and/or revised details: When submitting for a complete re-review, duplicate sets shall be submitted.
- ☐ Letter Summarizing Changes
- ☐ Energy conservation calculations
- ☐ Copies of \_\_\_\_\_ (be specific).
- ☒ Health Department Request ☐ DPZ/ DED Request ☐ Applicant's Request
- ✓ ☒ Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # \_\_\_\_\_
- ✓ ☒ Other Revised plot plan to show septic design

**Contact Person Information: (Required)**

Alice Miller  
Please Print Name

Telephone No: 410-465-6105

E-Mail Address: amiller@ben-civil-engineering.com

**PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.**

Received by MP

**RECEIVED**  
Revision MAR 21 2019  
LICENSES & PERMITS  
DIVISION

cc: P+Z (DED),  
Heather



# Building Permit Application

Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

Date Received: FEB 25 PM 2:06

Permit No.: B19000479

Building Address: 1811 Woodstock Road  
City: Woodstock State: MD Zip Code: 21163  
Suite/Apt. #: SDP/WP/BA #:  
Subdivision: Valley Anne Estates  
Lot: 2 Tax Map: 10, Grid 24 Parcel: 287

Existing Use: vacant unimproved lot  
Proposed Use: SFD  
Estimated Construction Cost: \$ 548,730

Description of Work: Construct a new 2-story single family dwelling w/attached 2-car garage and partial finished basement. Elevated exterior deck over paved patio. Use Classification R-3; Construction Type VB. Building will be used as a model home with sales office in (future) garage by Keystone Custom Homes.

Occupant/Tenant Name:  
Was tenant space previously occupied? ☐ Yes ☐ No  
Contact Name:  
Address:  
City: State: Zip Code:  
Phone: Fax:  
Email:

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1st floor: 59' 80'
	2nd floor: 54' 50'
Area of construction (sq. ft.):	Basement: 59' 80'
	<input checked="" type="checkbox"/> Finished Basement (partial 1,093sf)
Use group:	<input checked="" type="checkbox"/> Unfinished Basement (partial 879sf)
	<input type="checkbox"/> Crawl Space
Construction type:	<input type="checkbox"/> Slab on Grade
<input checked="" type="checkbox"/> Reinforced Concrete (foundation only)	No. of Bedrooms: 5
<input type="checkbox"/> Structural Steel	Multi-family Dwelling
<input type="checkbox"/> Masonry	No. of efficiency units:
<input checked="" type="checkbox"/> Wood Frame	No. of 1 BR units:
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
➤ Roadside Tree Project Permit	Footings:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Property Owner's Name: Sonshine MD, LP  
Address: 227 Granite Run Drive, Suite 100  
City: Lancaster State: PA Zip Code: 17601  
Phone: 717-464-9060 Fax:  
Email: billb@keystonecustomhomes.com

Applicant's Name & Mailing Address, (If other than stated herein)  
Applicant's Name: Keystone Custom Homes  
Address: 227 Granite Run Drive, Suite 100  
City: Lancaster State: PA Zip Code: 17601  
Phone: 717-719-1362 Fax: 717-459-7446  
Email: greinsmith@keystonecustomhomes.com

Contractor Company: Keystone Custom Homes  
Contact Person: Gregg Reinsmith  
Address: 227 Granite Run Drive, Suite 100  
City: Lancaster State: PA Zip Code: 17601  
License No.: MHBR# 2937  
Phone: 717-719-1362 Fax: 717-459-7446  
Email: greinsmith@keystonecustomhomes.com

Engineer/Architect Company: Paul B. Elser, P.E.  
Responsible Design Prof.: Paul Elser  
Address: 227 Granite Run Drive, Suite 100  
City: Lancaster State: PA Zip Code: 17601  
Phone: 717-719-1370 Fax:  
Email: pels@keystonecustomhomes.com

Utilities	
Electric:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input checked="" type="checkbox"/> Electric (A/C) <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane Gas (furnace)	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number:	01-19-55
Building Shell Permit Number:	G19000043

I, THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Gregg Reinsmith  
reinsmith@keystonecustomhomes.com  
mail Address:  
Permit Manager / Keystone Custom Homes  
Title/Company:  
Date: FEB 25 2019

RECEIVED

LICENSES & PERMITS  
Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY  
PLEASE WRITE NEATLY & LEGIBLY\*\*  
FOR OFFICE USE ONLY

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	3/14/19	RBuck (3/19)
Is Sediment Control approval required for issuance? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
<input type="checkbox"/> CONTINGENCY CONSTRUCTION START		

DPZ SETBACK INFORMATION
Front: 75
Rear: 30
Side: 10
Side St.: 30
All minimum setbacks met? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ 100
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ 50
Add'l per Fee	\$
Total Fees	\$ 150
Sub- Total Paid	\$
Balance Due	\$
Check	# 8309

Number of Copies: White: Building Officials Green: PSZA, Zoning

Yellow: PSZA, Engineering

Pink: Health

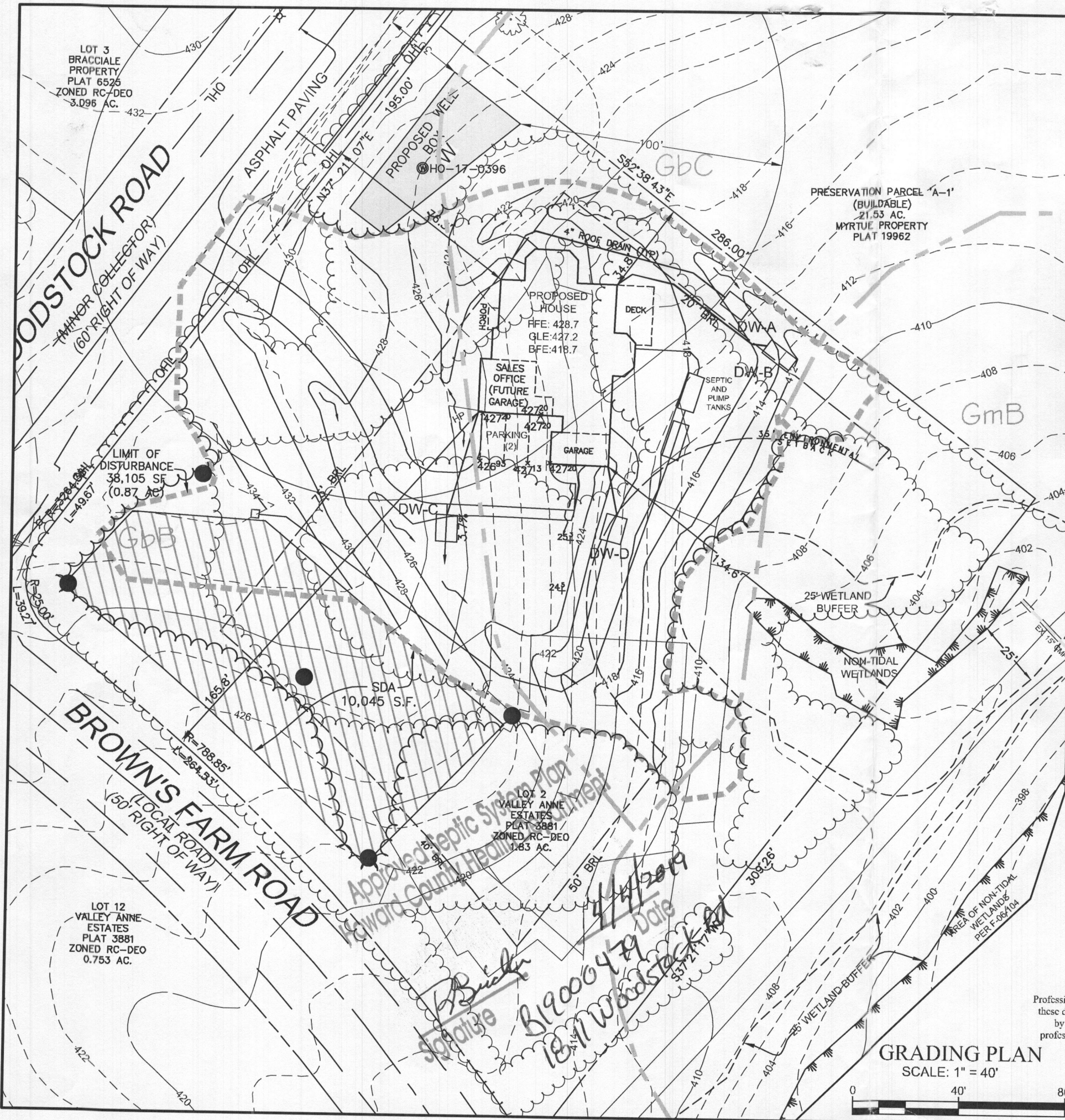
Gold: SHA

Locations\Updated Forms\Building Permit Application 03.29.2018.docx

(simplified ECP approved)

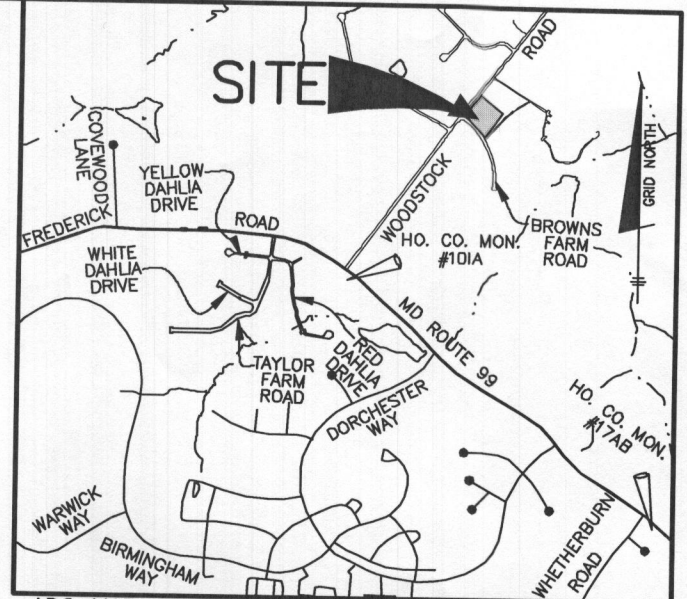
no





**LEGEND**

- PROJECT BOUNDARY
- EXISTING CONTOURS
- PROPOSED WELL BOX
- PROPOSED PRIVATE SEWAGE DISPOSAL AREA
- EXISTING SLOPES 15% - 25%
- EXISTING SLOPES 25% OR GREATER
- EXISTING TREELINE
- PROPOSED TREELINE
- SOILS MAP SYMBOL
- SOILS DELINEATION LINE
- PASSING PERC TEST
- AREA OF NON-TIDAL WETLAND
- PROPOSED CONTOURS
- LIMIT OF DISTURBANCE



ADC MAP 12  
GRID F8  
**VICINITY MAP**  
SCALE: 1" = 2000'

**GENERAL NOTES**

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Expiration Date: 1-1-21.

**GRADING PLAN**  
SCALE: 1" = 40'

CONTRACT PURCHASER/ BUILDER:		<b>BENCHMARK</b> ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS <b>ENGINEERING, INC.</b> 8480 BALTIMORE NATIONAL PIKE ▲ SUITE 315 ELLICOTT CITY, MARYLAND 21043 (P) 410-465-6105 ▲ (F) 410-465-6644 WWW.BEI-CIVILENGINEERING.COM	
PROJECT:		LOT 2 VALLEY ANNE ESTATES 1811 WOODSTOCK ROAD	
LOCATION:		TAX MAP 10, GRID 24 PARCEL 287 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND	
TITLE:		BUILDING PERMIT PLAN GRADING PLAN	
DATE:	MARCH, 2019	PROJECT NO.	2939
SCALE:	AS SHOWN	DRAWING	1 OF 2



B19000479

BUYERS SIGNATURE	
X	
X	

© COPYRIGHT 2015

SHEET NO.

CS1.0

PLAN ID:

ads 10

STANDARD			
1ST FLOOR:	1972	BASEMENT:	1972
2ND FLOOR:	1933	FIN. BSMNT:	N/A
TOTAL	3905	GARAGE:	476
		PORCH:	26

JOB AS BUILT			
1ST FLOOR:	2336	BASEMENT:	1972
2ND FLOOR:	1933	FIN. BSMNT:	1093
TOTAL	4269	GARAGE:	735
		PORCH:	26



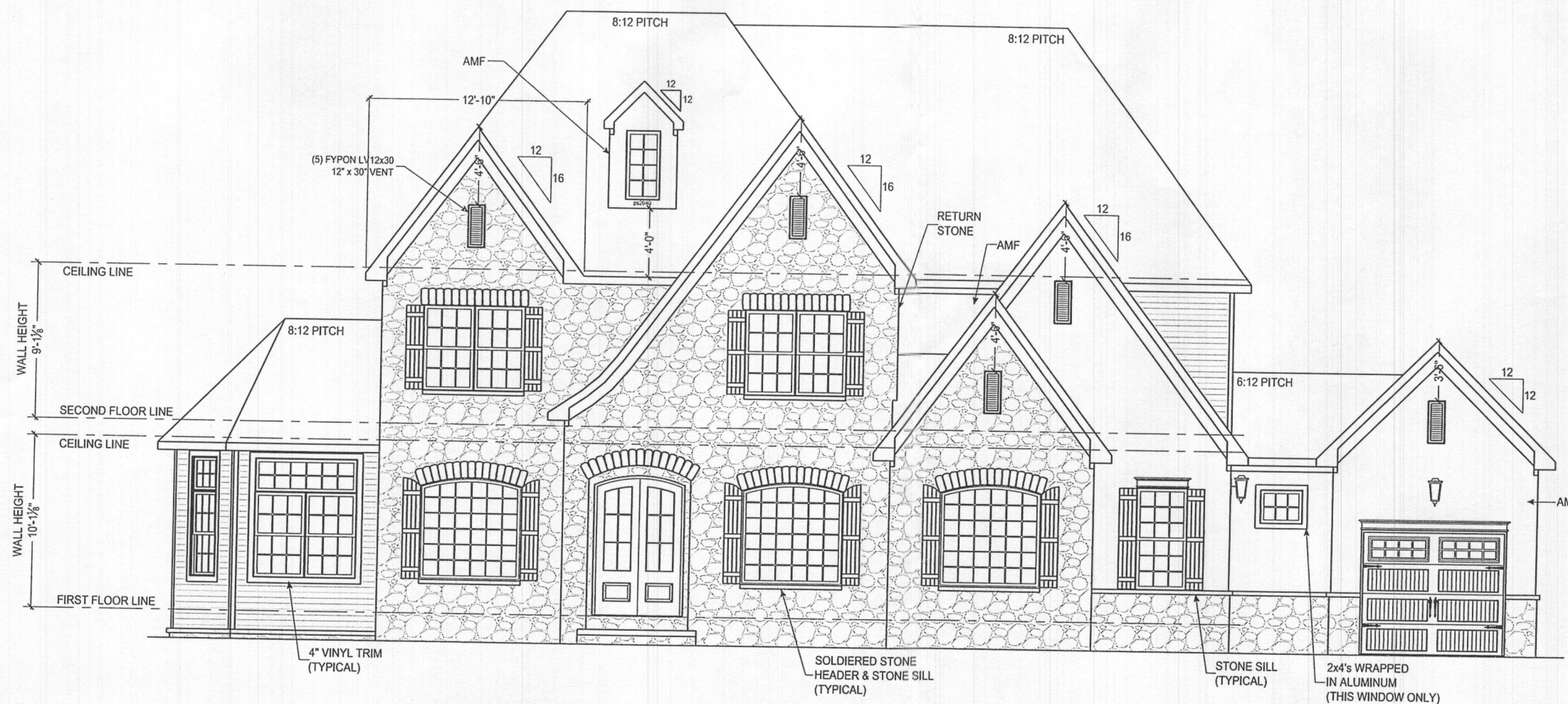
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**KEYSTONE**  
CUSTOM HOMES

227 GRANITE RUN DRIVE, SUITE 100, LANCASTER, PA 17601  
PHONE: (717) 464-9060 • FAX: (717) 735-2034 • KeystoneCustomHomes.com



"Professional Certification, I hereby certify that these documents were prepared or approved by me, and that I am a fully licensed professional engineer under the Laws of the State of Maryland. License No. 35478, Expiration Date: 06-18-2020".



# FRONT ELEVATION

SCALE: 1/8" = 1'-0"

FRONT ELEVATION

ZH0MR2  
MODEL HOME

SHEET DESCRIPTION:

MODEL:

UPDATED:

FEB 25 2019

SCALE:

AS NOTED

DRAWN BY:

E.WEAVER

SHEET NO.

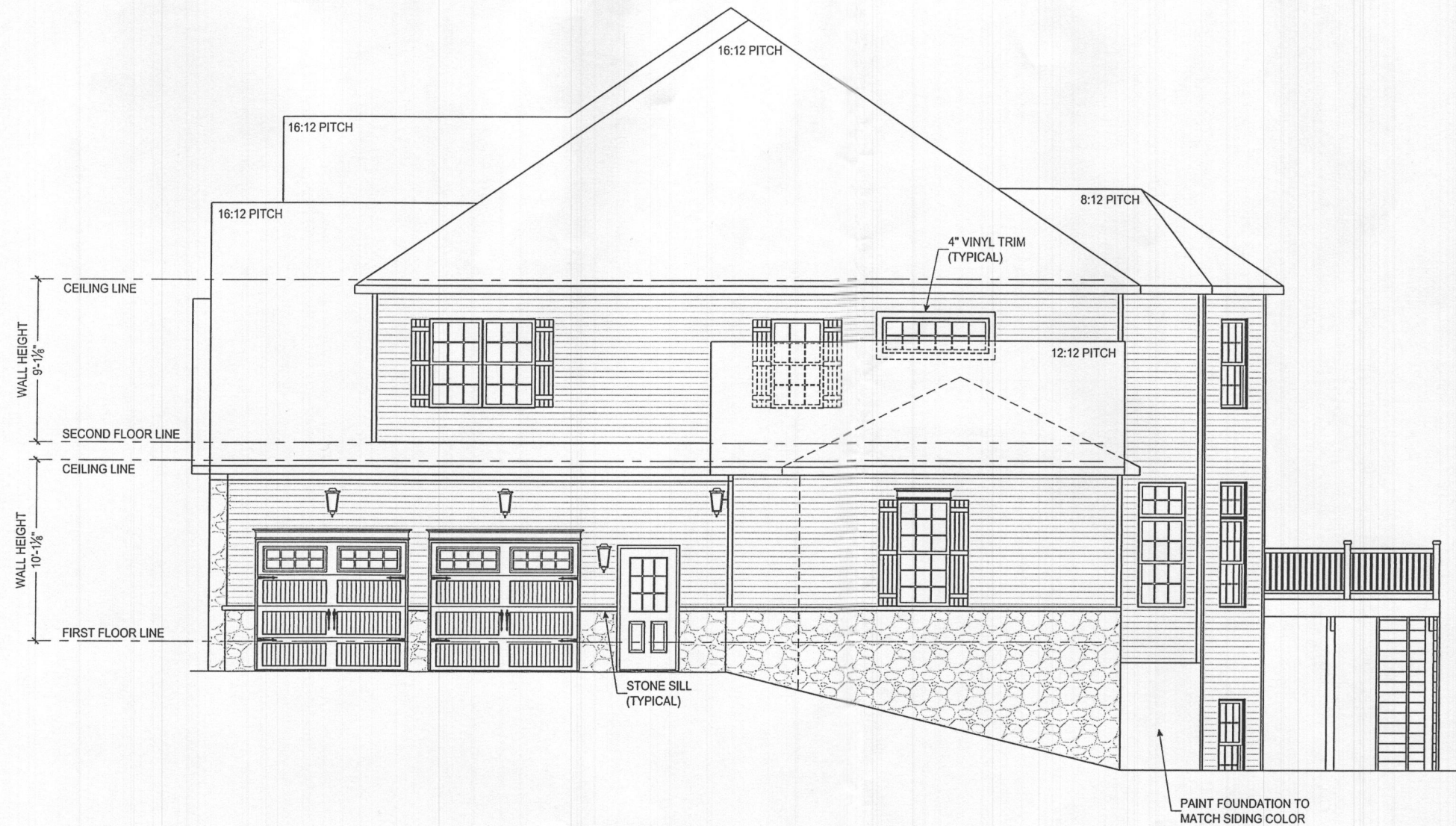
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PLAN ID:

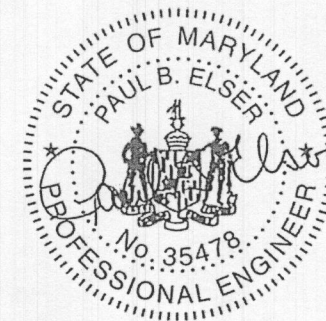
ads 10

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**LIVING SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



"Professional Certification, I hereby certify that these documents were prepared or approved by me, and that I am a fully licensed professional engineer under the Laws of the State of Maryland. License No. 35478, Expiration Date: 06-18-2020".

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**KEYSTONE**  
CUSTOM HOMES

227 GRANITE RUN DRIVE, SUITE 100, LANCASTER, PA 17601  
PHONE: (717) 494-9080 • FAX: (717) 735-2034 • KeystoneCustomHome.com

LIVING SIDE ELEVATION  
**ZH0MR2**  
MODEL HOME

SHEET DESCRIPTION:  
MODEL:

UPDATED:  
FEB 25 2019

SCALE:  
AS NOTED

DRAWN BY:  
E.WEAVER

SHEET NO.  
**A1.1**  
PLAN ID:  
ads 10

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**REAR ELEVATION**  
SCALE: 1/8" = 1'-0"

REAR ELEVATION  
ZH0MR2  
MODEL HOME

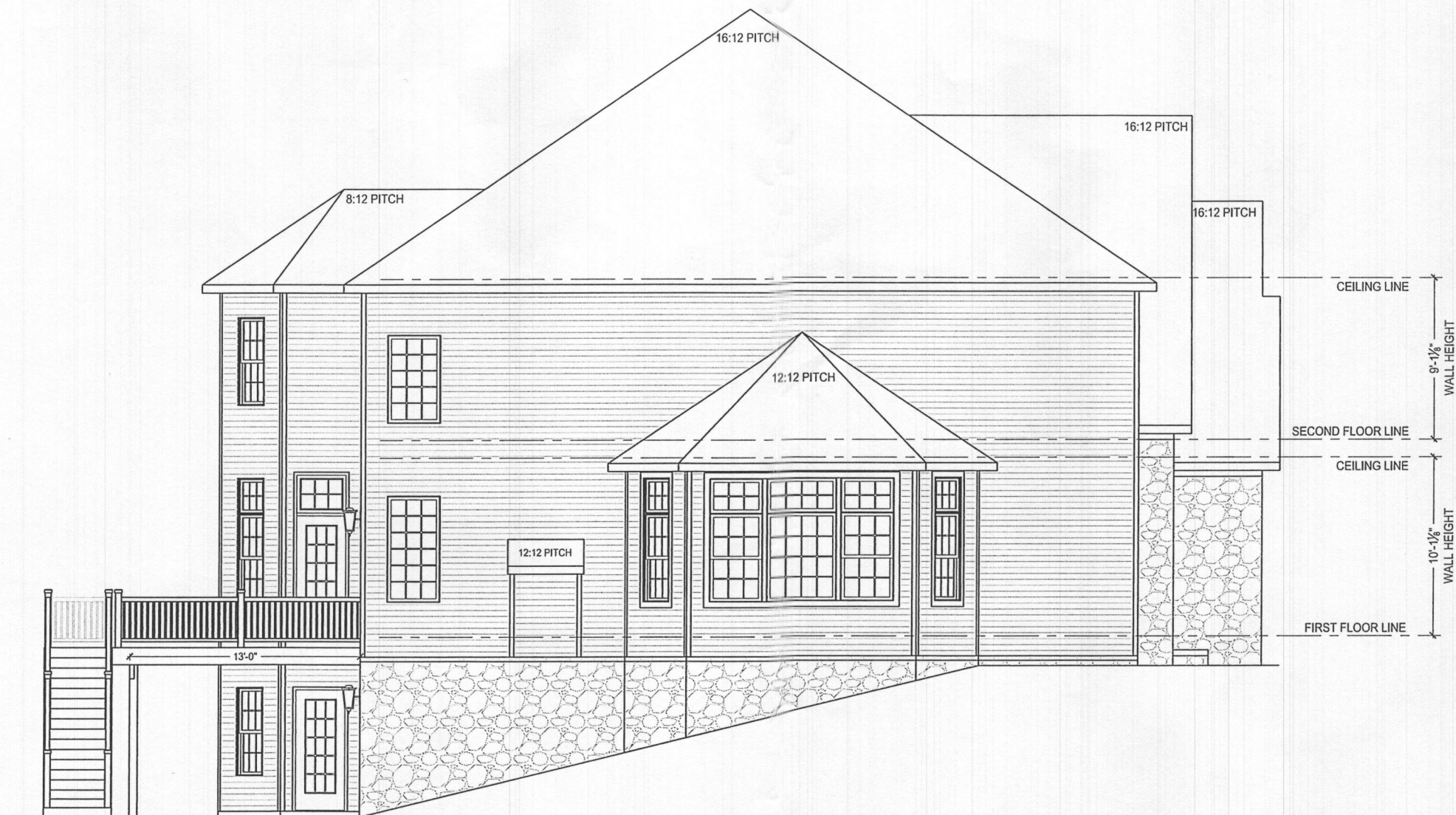
SHEET DESCRIPTION:

UPDATED:  
FEB 25 2019  
SCALE:  
AS NOTED  
DRAWN BY:  
E.WEAVER

SHEET NO.  
**A1.2**  
PLAN ID:  
ads 10

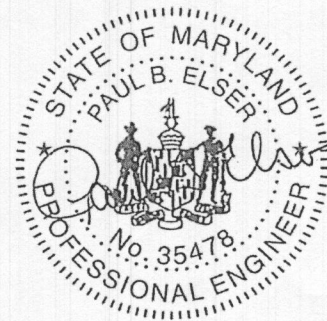
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**GARAGE SIDE ELEVATION**

SCALE: 1/8" = 1'-0"



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GARAGE SIDE ELEVATION

ZH0MR2  
MODEL HOME

SHEET DESCRIPTION:

MODEL:

UPDATED:

FEB 25 2019

SCALE:

AS NOTED

DRAWN BY:

E.WEAVER

SHEET NO.

**A1.3**

PLAN ID:

**ads 10**

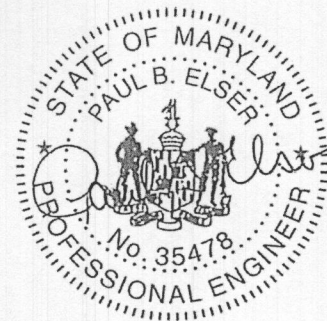
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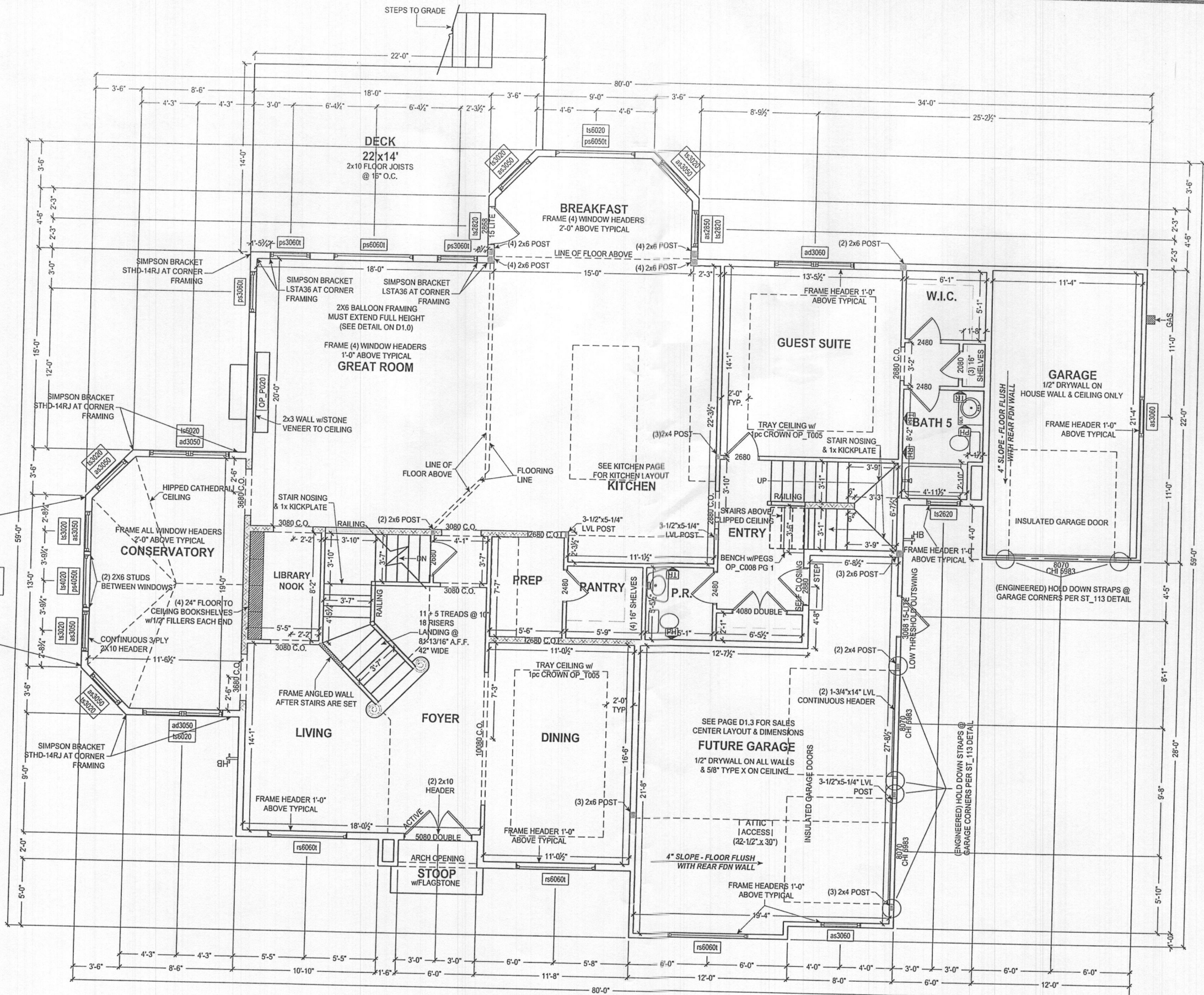


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SHEET DESCRIPTION:  
MODEL:  
FIRST FLOOR PLAN  
ZH0MR2  
MODEL HOME

UPDATED:  
FEB 25 2019  
SCALE:  
AS NOTED  
DRAWN BY:  
E.WEAVER

SHEET NO.  
P1.0  
PLAN ID:  
ads 10



**FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

ALL EXTERIOR WALLS ARE 100% CONT. STRUCTURAL SHEATHING (METHOD #3, PER ST\_112)

GYPSUM BOARD, TWO SIDES (METHOD #5, PER ST_111)	2 x 6 INTERIOR WALL	INTERIOR HALF WALL	FRAMING POST

RESIDENTIAL SPRINKLER SYSTEM TO BE INSTALLED IN ACCORDANCE WITH THE 2015 IRC. THIRD PARTY AGENCY TO PROVIDE DRAWINGS AND INSTALL SYSTEM.

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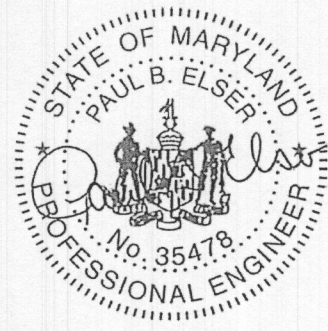


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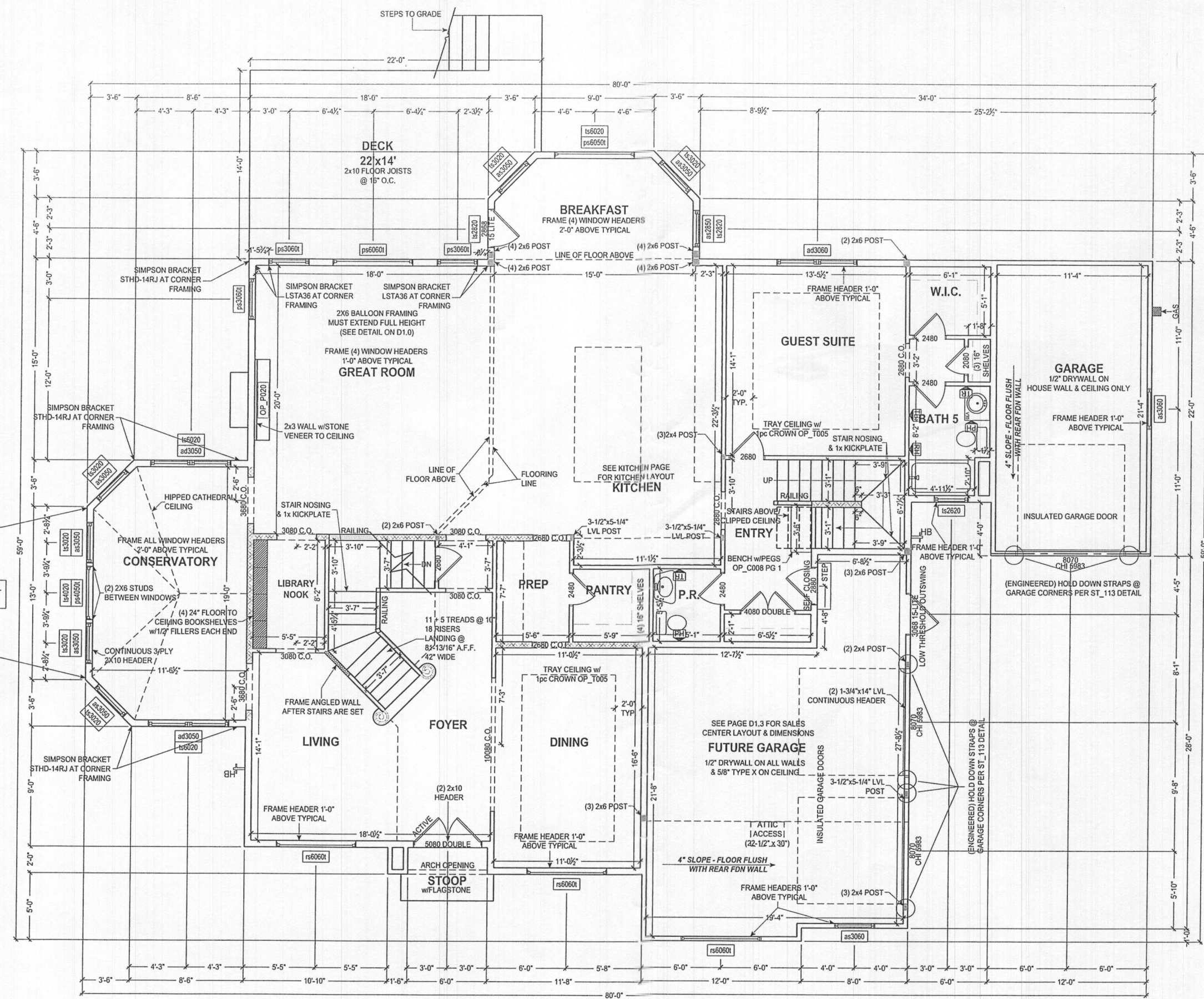
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FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"

ALL EXTERIOR WALLS ARE 100% CONT. STRUCTURAL SHEATHING (METHOD #3, PER ST\_112)

GYPSUM BOARD, TWO SIDES (METHOD #5, PER ST_111)	2 x 6 INTERIOR WALL	INTERIOR HALF WALL	FRAMING POST

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FIRST FLOOR PLAN

MODEL:

ZHoMR2  
MODEL HOME

SHEET DESCRIPTION:

UPDATED:

FEB 25 2019

SCALE:

AS NOTED

DRAWN BY:

E.WEAVER

SHEET NO.

P1.0

PLAN ID:

ads10

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FIRST FLOOR PLAN

MODEL: ZHoMR2  
MODEL HOME

UPDATED: FEB 25 2019

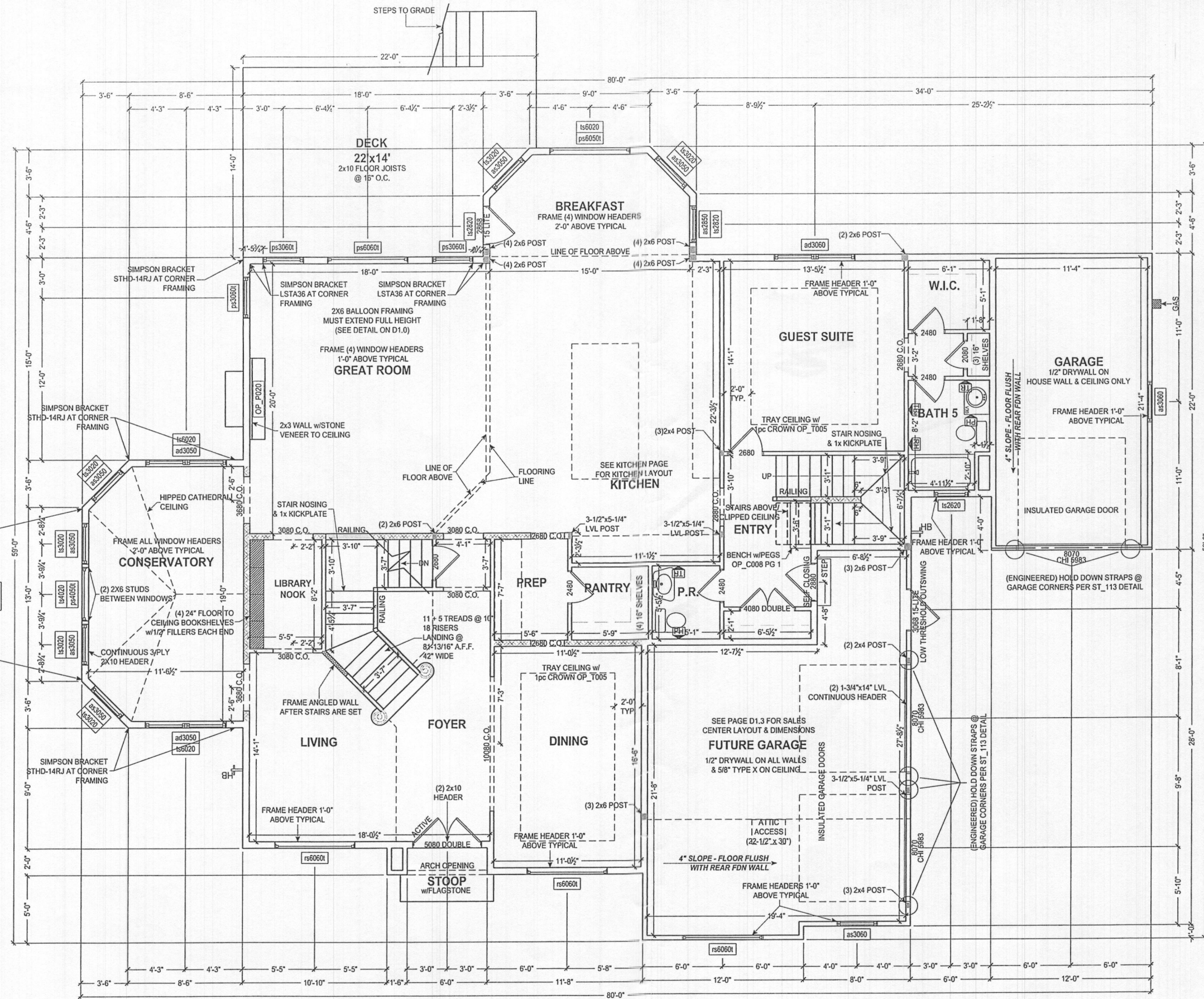
SCALE: AS NOTED

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SHEET NO. P1.0

PLAN ID: ads10

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**FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

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ALL EXTERIOR WALLS ARE 100% CONT. STRUCTURAL SHEATHING (METHOD #3, PER ST\_112)

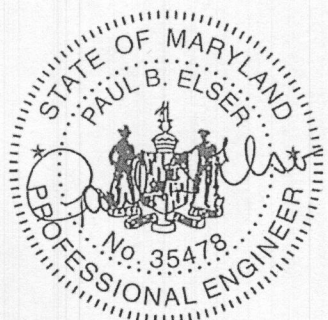
GYPSUM BOARD, TWO SIDES (METHOD #5, PER ST_111)	2 x 6 INTERIOR WALL	INTERIOR HALF WALL	FRAMING POST



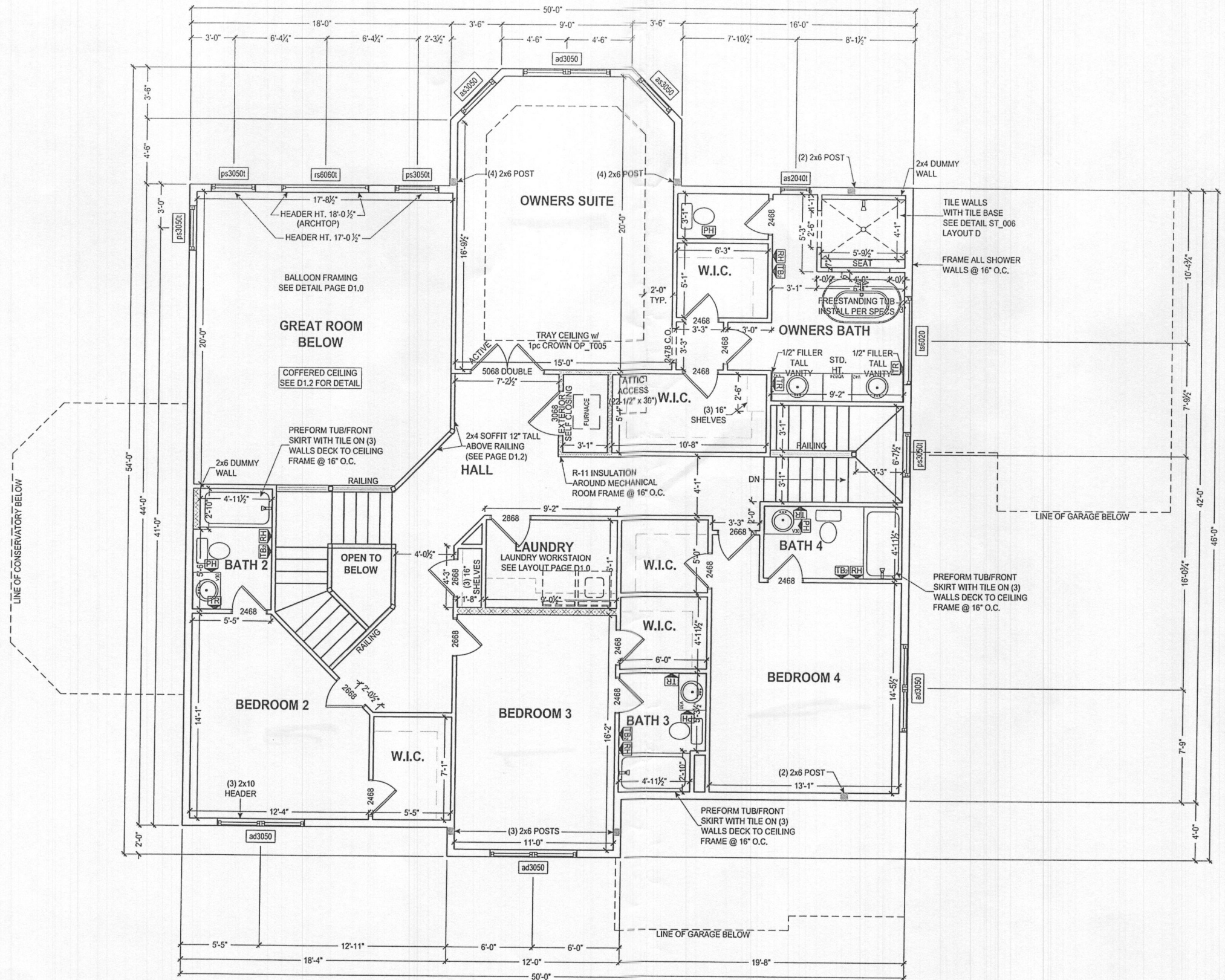
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**SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

ALL EXTERIOR WALLS ARE 100% CONT. STRUCTURAL SHEATHING (METHOD #3, PER ST\_112)

GYPSUM BOARD, TWO SIDES (METHOD #5, PER ST_111)	2 x 6 INTERIOR WALL	INTERIOR HALF WALL	FRAMING POST

SHEET DESCRIPTION:	SECOND FLOOR PLAN
	ZHoMR2 MODEL HOME
MODEL:	
UPDATED:	FEB 25 2019
SCALE:	AS NOTED
DRAWN BY:	E.WEAVER
SHEET NO.	P1.1
PLAN ID:	ads 10

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SHEET DESCRIPTION:

SECOND FLOOR PLAN

MODEL:

ZHOMR2  
MODEL HOME

UPDATED:

FEB 25 2019

SCALE:

AS NOTED

DRAWN BY:

E.WEAVER

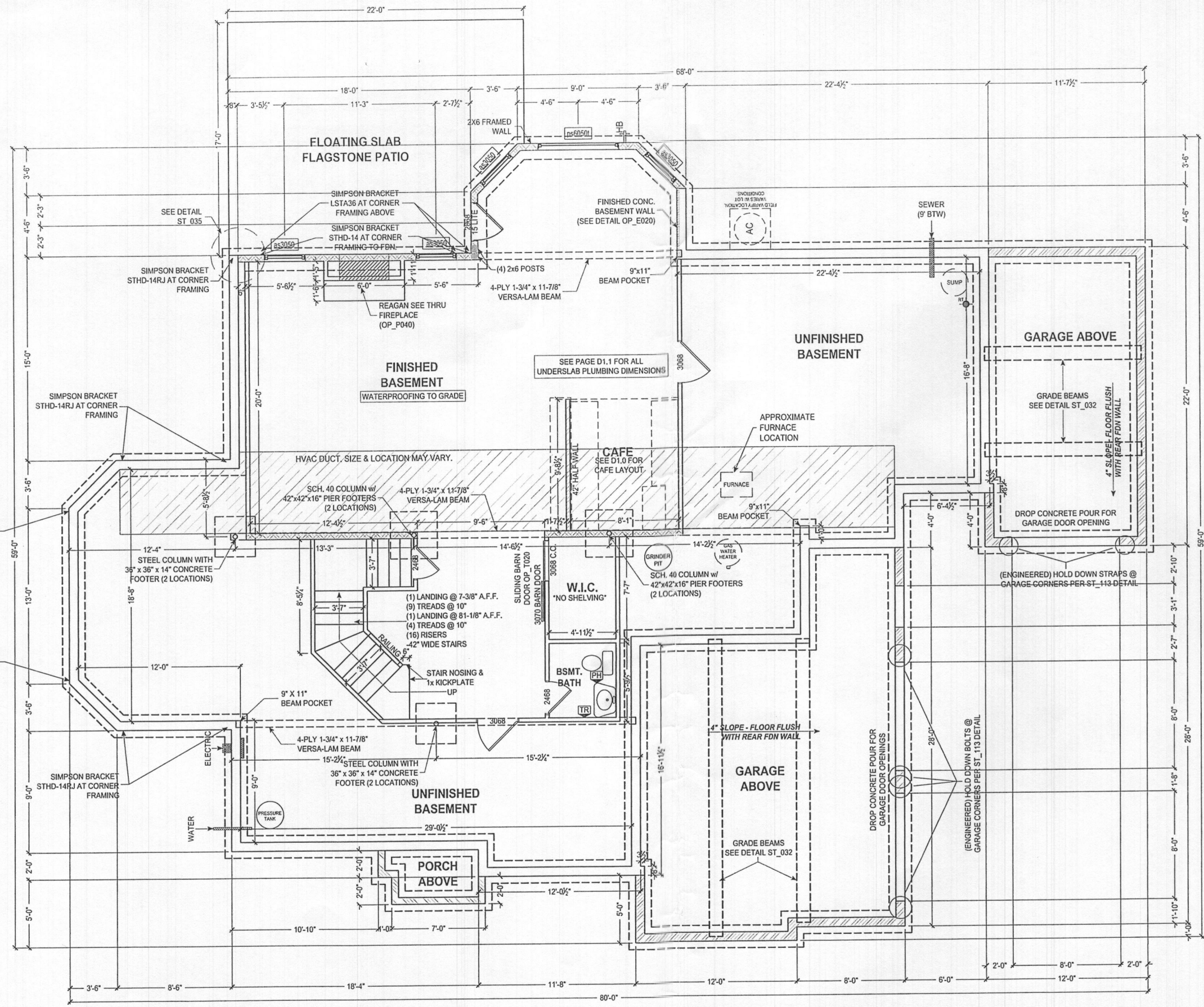
SHEET NO.

P1.1

PLAN ID:

ads 10

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- = 6" THICK POURED CONCRETE WALLS  
CHECK P.O. FOR WALL HEIGHT OF FRONT PORCH WALLS
- = 8" THICK POURED CONCRETE WALLS  
8'-0" HIGH MAIN HOUSE WALLS STANDARD
- = 8" THICK POURED CONCRETE WALLS  
CHECK P.O. FOR WALL HEIGHT OF CRAWL SPACE AND GARAGE WALLS

FOUNDATION PLAN  
SCALE: 1/8" = 1'-0"

NOTE TO HOMEOWNER(S):  
LOCATIONS SHOWN FOR HVAC, PLUMBING, AND OTHER MECHANICAL ITEMS WILL BE USED IF POSSIBLE. ACTUAL PLACEMENT OF FURNACE, WATER HEATER, SUMP PIT, ETC. MAY VARY DUE TO INDIVIDUAL SITE REQUIREMENTS.