Howard County Health Department

Bureau of Environmental Health
8930 Stanford Boulevard, Columbia, MD 21045
Main: 410-313-2640 | Fax: 410-313-2648
TDD 410-313-2323 | Toll Free 1-866-313-6300
www.hchealth.org
Facebook: www.facebook.com/hocohealth
Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

APPLICATION

FOR PERCOLATION TESTING AND SITE EVALUATION

A804081

03-305376

PROPERTY LOCATION

SUBDIVISION/ PROPERTY NAME: Lot 2, Valley Anne Estates

PROPERTY ADDRESS: 1811 Woodstock Road (STREET) Woodstock (TOWN) 21163 (ZIP)

TAX ACCOUNT # 03-305376 TAX MAP 10 GRID 24 PARCEL 287 LOT NO. 2 PROPOSED LOT SIZE (ACRES) 1.83

ZONING CATEGORY RC-DEO TIER IV

PROPERTY OWNER(S) Richard Myrtue + Wife

DAYTIME PHONE _____ CELL _____ EMAIL _____

MAILING ADDRESS: 2526 Pelican Dr (STREET) Oak Island (CITY, STATE) NC 28465 (ZIP)

APPLICANT Jeff Rutt, Keystone Homes RELATIONSHIP TO OWNER: Contract purchaser

DAYTIME PHONE 717 464 9060 CELL _____ EMAIL jeff@keystonecustomhome.com

MAILING ADDRESS: 227 Granite Run Dr. Suite 100 (STREET) Lancaster Pa (CITY, STATE) 17601 (ZIP)

I HEREBY APPLY FOR THE NECESSARY TESTING/ EVALUATION PRIOR TO ISSUANCE OF SEWAGE DISPOSAL SYSTEM PERMIT(S):

PROPERTY:

- [ ] SUBDIVISION: NUMBER OF LOTS INCLUDING RESIDUE _____
  SUBDIVISION CLASSIFICATION (PER DEPT. OF PLANNING AND ZONING) [ ] MAJOR [ ] MINOR
- [x] CONSTRUCT NEW OSDS ON UNDEVELOPED LOT
- [ ] REPAIR OR REPLACE FAILING OSDS
- [ ] UPGRADE EXISTING OSDS

BUILDING:

- [x] RESIDENTIAL WITH _____ EXISTING OR PROPOSED BEDROOMS IN THE COMPLETED STRUCTURE
- [ ] COMMERCIAL (PROVIDE DETAIL OF TYPE OF USE AND NUMBERS OF EMPLOYEES/ CUSTOMERS ON ACCOMPANYING PLAN)

IS THE PROPERTY WITHIN 2500 FEET OF ANY RESERVOIR?

- [ ] YES
- [ ] NO

AS APPLICANT, I UNDERSTAND THE FOLLOWING:

- [ ] THIS APPLICATION IS VALID FOR TWO(2) YEARS FROM DATE OF FEE PAYMENT AND APPROVAL IS BASED UPON HEALTH OFFICER SIGNATURE OF A PERC CERTIFICATION PLAN PRIOR TO EXPIRATION OF THIS PERMIT.
- [ ] THE APPLICATION FEE IS NON-REFUNDABLE
- [ ] THIS APPLICATION MUST BE ACCOMPANIED BY ALL APPLICABLE FEES AND A SUITABLE SITE PLAN IN ORDER TO BE PROCESSED
- [ ] THIS IS A PUBLIC DOCUMENT

I declare and affirm that to the best of my knowledge, the information contained herein is correct. I declare that I am the owner of the property or duly authorized to make this application on behalf of the owner. I agree to comply with all applicable state and county regulations.

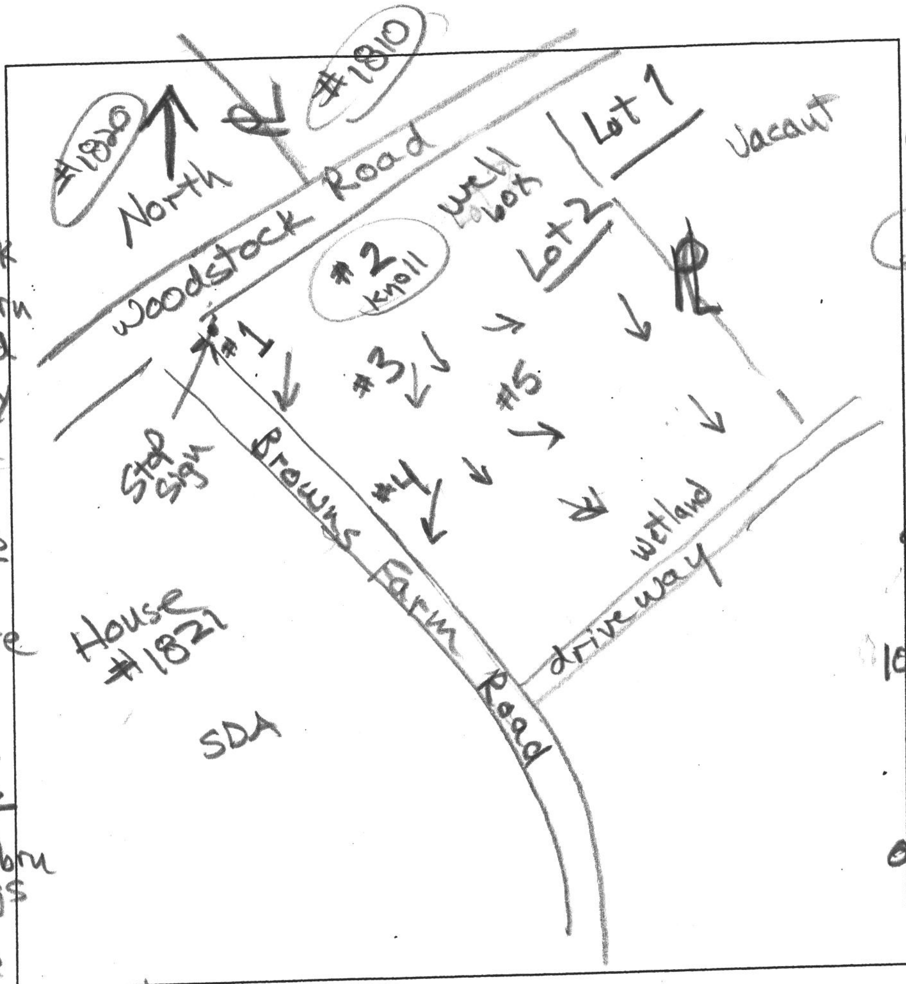
By signature of this application, I hereby grant Howard County Health Department officials the right to enter onto the property for the purpose of inspecting the property as directly related to the requested permit/ service.

SIGNATURE OF APPLICANT _____ DATE 11/28/18

RECEIVED NOV 29 2018 HOWARD COUNTY HEALTH DEPT. FOOD PROTECTION PROGRAM

JW 10/29/15

A/P 564081



Profile 4

- dk brn sl 1vfsbk to brn sl 1fsbk
- 1' red-brn, dk brn, lt. brn & yel-red sl, thick platy, many v.f. mica
- 2' yellow, brn & red-yel ls, few mica, thin platy
- 3.2' red-yel, white & brn ls, thin platy, no mica
- 5.8' red-yel ls, thick platy, common dk. brn (Mn) coatings
- 9' dk brn fl ls, platy, m3p (yel-red)
- Water 30-35% rock

Profile 5

- brn L, 3fsbk, ss, common f. mica
- 0.5' red-brn vchls, 1fsbk, 30%-40% rock
- 1'

Profile 1 (left column continued)

- red-yel ls & dk brn sl, thick platy
- 1.9' yel-brn & dk brn ls, thick platy
- 4' brn, yellow & yel-red fl ls
- 5' s.g. 25%-35% rock
- brn, yellow & red-yel ls, thin platy
- 7.5' brn fl ls, 40%-50% rock
- 8' Rock

Profile 3

- brn L, 2fsbk, many f. roots
- 0.5' red-yel ls & brn sl, 1fsbk
- 2.2' lt. brn, dk brn & red-yel ls, many f. mica, thick platy, f3p (yellow)
- 7' brn, dk. brn & white ls, thin platy
- 9.5' yellow & lt. brn ls, platy saprolite
- 10' R

Profile 2

- dk brn to brn L, 2vfsbk, ss
- 0.5' brn & yel-red L, 3msbk
- 1.8' brn & dk brn sl, 1msbk
- 2.5' red-yel ls & brn & red-brn ls, many f. mica
- 5' brn & yel-red ls, thick platy
- 12'

Profile 1

- grey brn L, 3vfsbk, ss
- brn & red-brn sl, 1fsbk, ss
- 1.1' brn & yel-red sl, thick platy
- 1.7' yellow, lt. brn & red-yel ls, thick platy
- 5' yel-red & brn ls, thick platy, f3p streaks (white & pale yellow)
- 12'

DATE	TEST #	DEPTH	START	BREAK 1" DROP	STOP 2" DROP	TIME OF 2ND INCH	P/F/H
12/20/18	4	6'/9'	10:12	10:14	10:17	3	P
12/20	5	4'/8'	10:34	10:35:30	10:37:40	2.2	P
12/20/18	3	4'/10'	10:56	10:58	11:03	5	P
12/20/18	2	4.7'/12'	11:26	11:28	11:31	3	P
12/20/18	1	3.3'/12'	11:49	11:52	11:57	5	P

f. = fine (Mn) = Manganese lt. = light, dk = dark

REMARKS v.f. = very fine SS = slightly sticky brn = brown

SANITARIAN R. Bricker BACKHOE Willie OTHERS Alice Miller

TEST HOLES USED IN SDA ______ AVG. PERC TIME ______ SQ. FT/BR ______

TRENCH WIDTH ______ INLET DEPTH ______ MAX. BOT DEPTH ______ EFFECTIVE S/W ______

HOWARD COUNTY
HEALTH DEPARTMENT

Bureau of Environmental Health
8930 Stanford Blvd | Columbia, MD 21045
410.313.2640 - Voice/Relay
410.313.2648 - Fax
1.866.313.6300 - Toll Free

Maura J. Rossman, M.D., Health Officer

December 26, 2018

TO: Jeff Rutt, Keystone Homes, Applicant
Jeff@KeystoneCustomHome.com

RE: 1811 Woodstock Road, Percolation test results and data

Dear Mr Rutt,

Percolation tests were conducted, as scheduled, at 1811 Woodstock Road (Valley Anne Estates, Lot 2) on December 20, 2018. These tests were conducted to establish a sewage disposal area (SDA) in the northwest quadrant of the property in support of an anticipated building permit proposal to construct a residence. Pits were dug at 5 staked locations as planned. Soil profiles were described at each location and tests for percolation rate conducted at each of the 5 soil profiles PASS.

Locations of the percolation tests that 'PASS' are used to define the soils that are suitable for inclusion in a SDA that is proposed on the Percolation Certification Plan. The results and suitable areas for wastewater discharge may be certified by the Approving Authority's signature on the Percolation Certification Plan.

Potential well locations are also approved on the Percolation Certification Plan. After the Percolation Certification Plan is signed by the Director of the Bureau of Environmental Health, a well permit may be issued to establish a drinking water well on the property.

The construction and yield of the well must be approved for approval of a subsequent building permit. Review and approval of an Onsite Sewage Disposal System Design Plan is also required for the Health Department to approve construction of a new residence.

If you have questions related to these comments, you may reply to me via email, rbricker@howardcountymd.gov , or call my desk, 410-313-2691.

Respectfully,

Robert Bricker

Robert Bricker, CPSS, REHS/RS, L.E.H.S.
Environmental Sanitarian II
Well and Septic Program

Enclosures: Percolation Test Application and Field Worksheet
Copy: Alice Miller, Benchmark Engineering, Inc.
file

Bricker, Robert

From: Bricker, Robert
Sent: Friday, December 14, 2018 11:15 AM
To: 'Jeff@KeystoneCustomHome.com'
Subject: perc test_Valley Anne Estates-Lot 2

Good morning Jeff.
I have reviewed the Percolation Test Application for Valley Anne Estates Lot 2 on Woodstock Road in Howard County, MD, and I have determined that I may schedule the proposed percolation tests. Be advised that the percolation test locations will have to be staked prior to the day of testing. Excavation equipment is needed that has capability to dig to 12 feet depth. Also, water will be needed for the tests.
Currently, I have the following days available in December: 20th, 27th and 28th .

ROBERT BRICKER, REHS/R.S., L.E.H.S.
ENVIRONMENTAL SANITARIAN II
BUREAU OF ENVIRONMENTAL HEALTH, WELL AND SEPTIC PROGRAM
8930 STANFORD BLVD., COLUMBIA, MD 21045

Phone: Desk, 410-313-2691; Program, 410-313-1771; Bureau, 410-313-1774
Fax: 410-313-2648

E-mail: rbricker@howardcountymd.gov

CONFIDENTIALITY NOTICE

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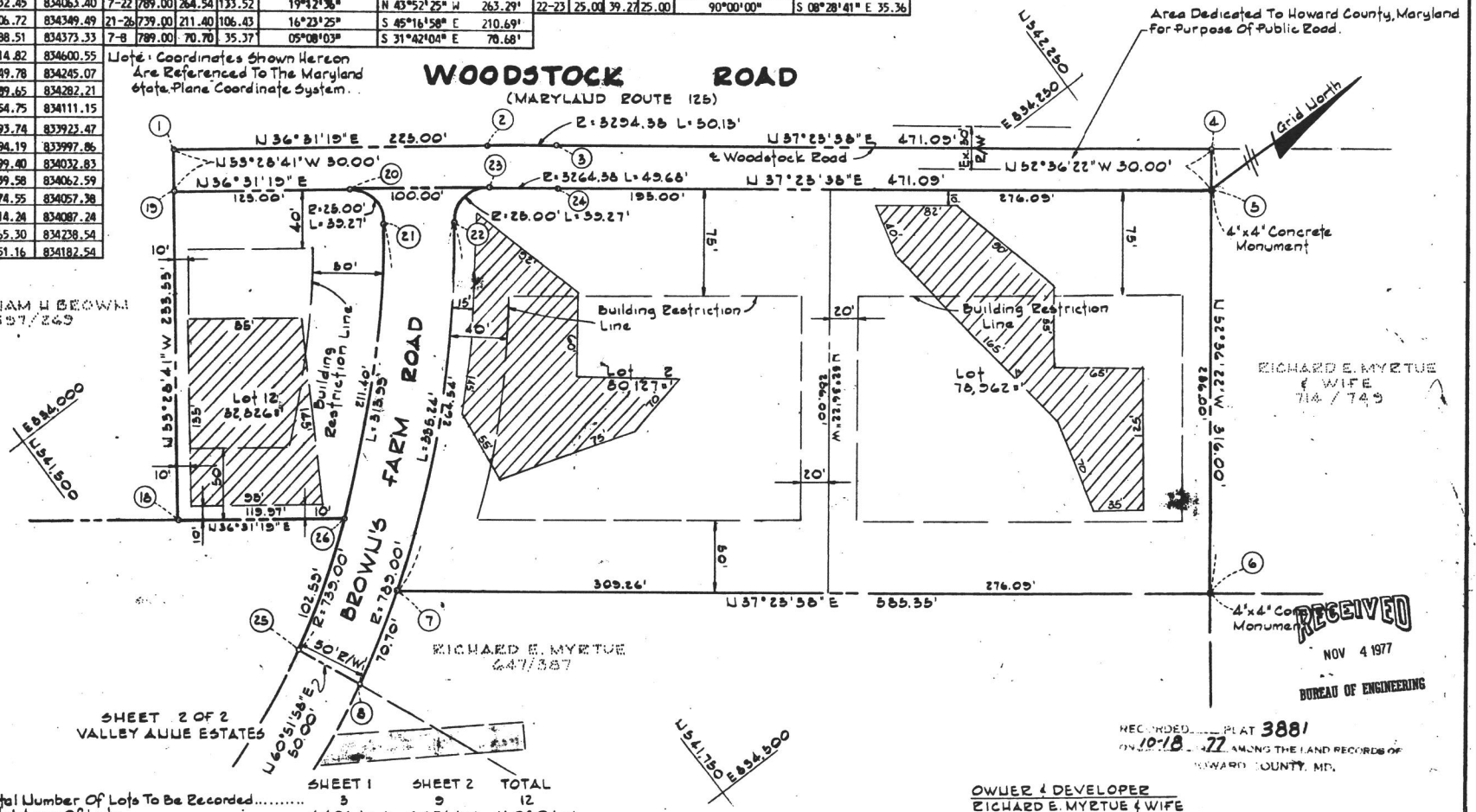
COORDINATES			CURVE DATA												
NO.	NORTH	EAST	NO-NO	RADIUS	LENGTH	TANGENT	Δ	CHORD BEARING & DIST.	NO-NO	RAD.	LENG.	TANG.		CHORD BEARING & DIST
1	541711.59	833899.36	2-3	329.438	50.13	25.07	00°52'19"	N 36°57'28" E 50.13'	25-26	739.00	102.59	51.38	07°57'14"	N 33°06'39" W 102.51
2	541892.41	834033.27	23-24	326.438	49.68	24.84	00°52'19"	N 36°57'28" E 49.68'	20-21	25.00	39.27	25.00	90°00'00"	N 81°31'19" E 35.36
3	541932.45	834063.40	7-22	789.00	264.54	133.52	19°12'36"	N 43°52'25" W 263.29'	22-23	25.00	39.27	25.00	90°00'00"	S 08°28'41" E 35.36
4	542306.72	834349.49	21-26	739.00	211.40	106.43	16°23'25"	S 45°16'58" E 210.69'						
5	542288.51	834373.33	7-8	789.00	70.70	35.37	05°08'03"	S 31°42'04" E 70.68'						
6	542114.82	834600.55												
7	541649.78	834245.07												
8	541589.65	834282.21												
18	541554.75	834111.15												
19	541693.74	833923.47												
20	541794.19	833997.86												
21	541799.40	834032.83												
22	541839.58	834062.59												
23	541874.55	834057.38												
24	541914.24	834087.24												
25	541565.30	834238.54												
26	541651.16	834182.54												

Note: Coordinates Shown Hereon Are Referenced To The Maryland State Plane Coordinate System.



SHEET 2 OF 2
VALLEY ANNE ESTATES

	SHEET 1	SHEET 2	TOTAL
Total Number Of Lots To Be Recorded	3	9	12
Total Area Of Lots	4.406 Ac.±	6.674 Ac.±	11.080 Ac.±
Total Area Of Roadways To Be Recorded Including Widening Strips	0.921 Ac.±	0.560 Ac.±	1.481 Ac.±
Total Area Of Subdivision To Be Recorded	5.327 Ac.±	7.235 Ac.±	12.562 Ac.±

RECORDED PLAT 3881
ON 10-18 77 AMONG THE LAND RECORDS OF HOWARD COUNTY, MD.

OWNER & DEVELOPER
RICHARD E. MYRTUE & WIFE
1795 Woodstock Road
Woodstock, Maryland 21163

APPROVED: For private water and private sewerage systems. Howard County Health Department.
County Health Officer — Date 10-18-77

APPROVED: Howard County Office of Planning and Zoning
Director — Date 10-18-77

APPROVED: For storm drainage systems. public road, Howard County Department of Public Works.
Director — Date

OWNER'S CERTIFICATE

WE, RICHARD E. MYRTUE AND PAULINE F. MYRTUE, HIS WIFE, OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON, HEREBY ADOPT THIS PLAN OF SUBDIVISION, AND IN CONSIDERATION OF THE APPROVAL OF THIS FINAL PLAT BY THE OFFICE OF PLANNING AND ZONING, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND GRANT UNTO HOWARD COUNTY, MARYLAND, ITS SUCCESSORS AND ASSIGNS, (1) THE RIGHT TO LAY CONSTRUCT AND MAINTAIN SEWERS, DRAINS, WATER PIPES AND OTHER MUNICIPAL UTILITIES AND SERVICES IN AND UNDER ALL ROADS AND STREET RIGHT OF WAYS AND THE SPECIFIC EASEMENT AREAS SHOWN HEREON; (2) DEDICATE TO PUBLIC USE THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS AND OPEN SPACE WHERE APPLICABLE, AND FOR ONE DOLLAR ($1.00) CONSIDERATION, HEREBY GRANT THE RIGHT AND OPTION TO HOWARD COUNTY TO ACQUIRE THE FEE SIMPLE TITLE TO THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS AND OPEN SPACE WHERE APPLICABLE; (3) THAT NO BUILDING OR SIMILAR STRUCTURE OF ANY KIND SHALL BE ERECTED ON OR OVER THE SAID EASEMENTS AND RIGHT OF WAYS; AND (4) IT IS FURTHER AGREED THAT MAINTENANCE OF ALL WATERWAYS, DRAINAGE EASEMENTS AND/OR FLOOD-PLAINS SHOWN HEREON ARE THE RESPONSIBILITY OF THE PROPERTY OWNER, ITS SUCCESSOR AND ASSIGNS.

WITNESS MY/OUR HANDS THIS 30TH DAY OF DECEMBER 1976.

RICHARD E. MYRTUE — PAULINE F. MYRTUE

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE FINAL PLAT SHOWN HEREON IS CORRECT. THAT IT IS A SUBDIVISION OF PART OF THE LANDS CONVEYED BY WILLIAM HOWARD BROWN, JR. AND HENRIETTA D. BROWN, HIS WIFE TO RICHARD E. MYRTUE AND PAULINE F. MYRTUE, HIS WIFE, BY DEED DATED AUGUST 2, 1973 AND RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER C.M.P. 647 AT FOLIO 387 AND THAT ALL MONUMENTS ARE IN PLACE AS SHOWN, IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND, AS AMENDED.

DATE — WILLIAM G. RASCH II — REG. NO. 4575

SHEET 1 OF 2

VALLEY ANNE ESTATES

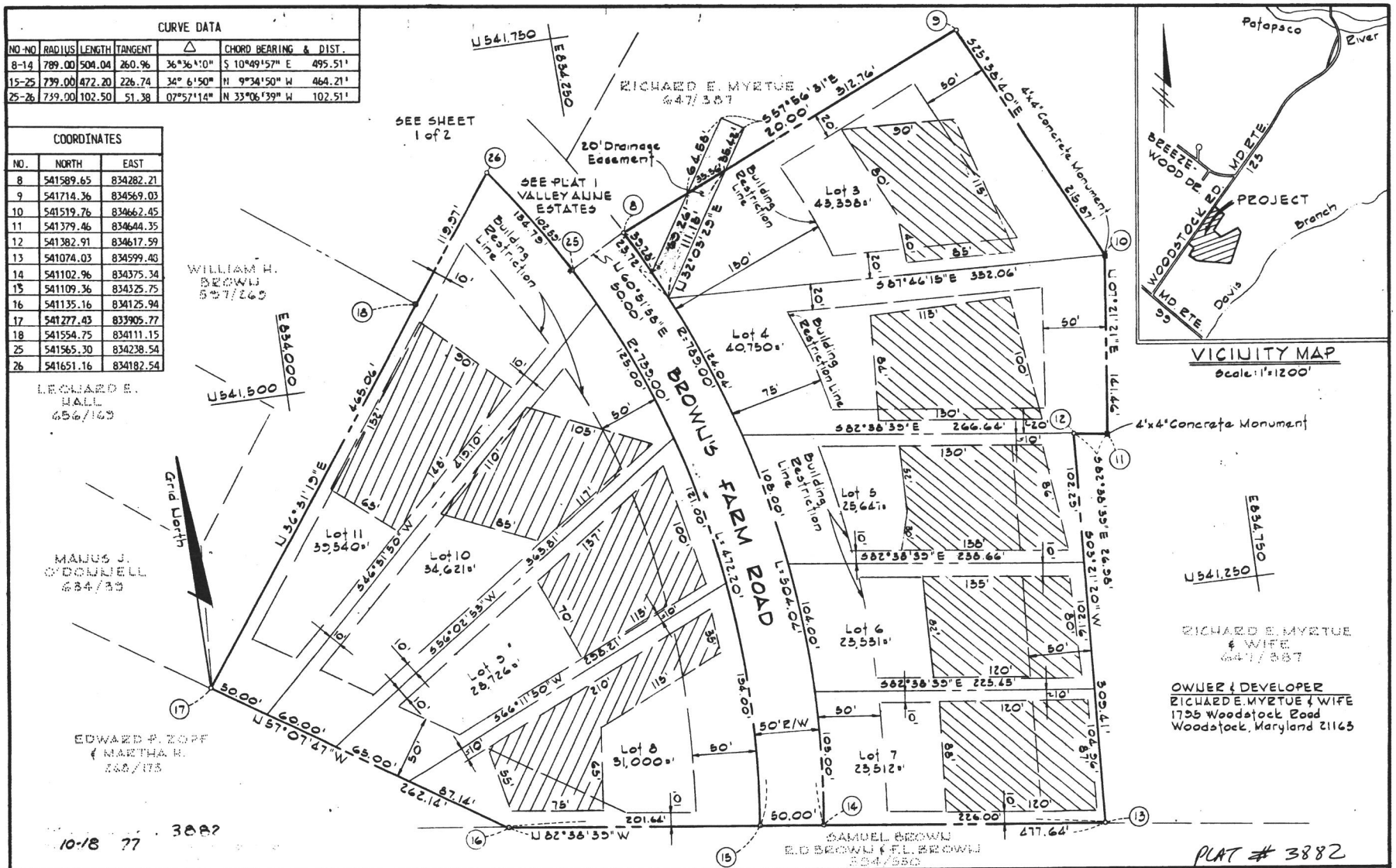
SECTION TWO
LOTS 1-12
SCALE = 1"=50'
DECEMBER 31, 1976
3RD ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

H542

F-77

CURVE DATA					
NO-NO	RADIUS	LENGTH	TANGENT	Δ	CHORD BEARING & DIST.
8-14	789.00	504.04	260.96	36°36'10"	S 10°49'57" E 495.51'
15-25	739.00	472.20	226.74	34° 6'50"	N 9°34'50" W 464.21'
25-26	739.00	102.50	51.38	07°57'14"	N 33°06'39" W 102.51'

COORDINATES		
NO.	NORTH	EAST
8	541589.65	834282.21
9	541714.36	834569.03
10	541519.76	834662.45
11	541379.46	834644.35
12	541382.91	834617.59
13	541074.03	834599.40
14	541102.96	834375.34
15	541109.36	834325.75
16	541135.16	834125.94
17	541277.43	833905.77
18	541554.75	834111.15
25	541565.30	834238.54
26	541651.16	834182.54



APPROVED: For private water and private sewerage systems. Howard County Health Department.

County Health Officer — Date 10-18-77

APPROVED: Howard County Office of Planning and Zoning

Director — Date 10-18-77

APPROVED: For storm drainage systems, public road, Howard County Department of Public Works

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SHEET 2 OF 2

VALLEY ANNE ESTATES

SECTION TWO
LOTS 1-12
SCALE = 1"=50'
DECEMBER 31, 1976
3RD ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

PLAT # 3882

10-18 77 3882

#542

HOWARD COUNTY CIRCUIT COURT (Plat Book) Plat MDR 19961-19968, MSA_C2125_4205. Date available 2008/06/06. Printed 12/26/2018.

MYRTUE PROPERTY
LOTS 1-31, BUILDABLE PRESERVATION PARCEL A-1, NON-BUILDABLE PRESERVATION PARCELS B-D,F-K, NON-BUILDABLE PARCEL E & L AND RE-SUBDIVISION OF LOT 1 VALLEY ANNE ESTATES, SECTION 2

MDR PLAT NO. 19961
RECEIVED JUN 0 6 2008
FOR RECORD

FOREST CONSERVATION EASEMENT CHART

	AREA OF RETENTION	AREA OF REFORESTATION	FLOODPLAIN	TOTAL AREA
A	0.4 AC±	0.1 AC±	0.0 AC±	0.483 AC±
B	8.3 AC±	6.3 AC± (1 AC± OF THIS IS IN FLOODPLAIN)	2.5 AC± (NET 14.6 AC.±)	16.1 AC±
C	0.0 AC±	7.5 AC±	0.0 AC±	7.5 AC±
D	0.6 AC±	2.8 AC±	0.0 AC±	3.4 AC±
E	0.0 AC±	0.5 AC±	0.5 AC±	0.5 AC±

MINIMUM LOT SIZE CHART

LOT No.	GROSS AREA	PIPESTEM AREA	MIN. (NET) LOT SIZE
1	55016 S.F.	3190 S.F.	51826 S.F.
2	52011 S.F.	3277 S.F.	48734 S.F.
3	52838 S.F.	3171 S.F.	49667 S.F.
12	51703 S.F.	2912 S.F.	48791 S.F.
13	53320 S.F.	2925 S.F.	50395 S.F.
31	56670 S.F.	9620 S.F.	47050 S.F.

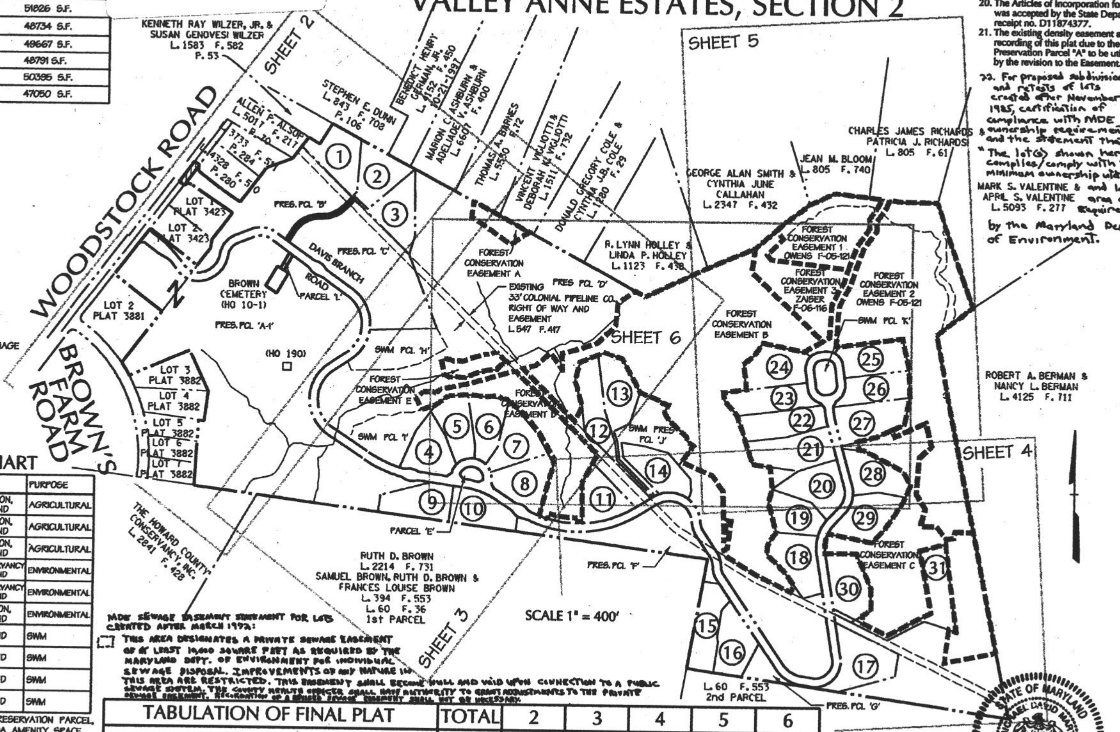
LEGEND

PROPERTY LINE
RIGHT OF WAY LINE
FOREST CONSERVATION EASEMENT LINE AND AREA
EASEMENT AREA
ROAD WAY WIDENINGS AREA
100 YEAR FLOODPLAIN DRAINAGE AND UTILITY AREA
PRESERVATION PARCEL AREA
CENTERLINE OF STREAM

PRESERVATION PARCEL CHART

PARCEL #	AC.±	OWNERSHIP	EASEMENT HOLDER(S)	PURPOSE
A-1	21.528	RICHARD MYRTUE	HOME OWNERS ASSOCIATION, HOWARD COUNTY, MARYLAND	AGRICULTURAL
B	4.007	RICHARD MYRTUE	HOME OWNERS ASSOCIATION, HOWARD COUNTY, MARYLAND	AGRICULTURAL
C	4.807	RICHARD MYRTUE	HOME OWNERS ASSOCIATION, HOWARD COUNTY, MARYLAND	AGRICULTURAL
D	70.983	HOME OWNERS ASSOCIATION	THE HOWARD COUNTY CONSERVANCY INC, HOWARD COUNTY, MARYLAND	ENVIRONMENTAL
F	2.421	HOME OWNERS ASSOCIATION	THE HOWARD COUNTY CONSERVANCY INC, HOWARD COUNTY, MARYLAND	ENVIRONMENTAL
G	0.442	OWNER OF LOT 16	HOME OWNERS ASSOCIATION, HOWARD COUNTY, MARYLAND	ENVIRONMENTAL
H	1.553	HOME OWNERS ASSOCIATION	HOWARD COUNTY, MARYLAND	SWM
I	1.334	HOME OWNERS ASSOCIATION	HOWARD COUNTY, MARYLAND	SWM
J	1.521	HOME OWNERS ASSOCIATION	HOWARD COUNTY, MARYLAND	SWM
K	0.347	HOME OWNERS ASSOCIATION	HOWARD COUNTY, MARYLAND	SWM

* NON-BUILDABLE PARCEL E AS SHOWN ON SHEET 3, IS NOT A PRESERVATION PARCEL, AND IS TO BE OWNED & MAINTAINED BY THE HOA, PURPOSE: HOA AMENITY SPACE.
* NON-BUILDABLE PARCEL L IS TO BE OWNED AND MAINTAINED BY THE DAVIS BRANCH ESTATES, LLC UNTIL SUCH A TIME AS THE OWNER OF THE CEMETERY LOT IS DETERMINED. ONCE THE OWNER OF THE CEMETERY LOT IS DETERMINED, PARCEL L SHALL BE CONVEYED TO THAT ENTITY FREE OF CHARGE. THE PURPOSE OF PARCEL L IS TO PROVIDE PUBLIC ACCESS TO THE CEMETERY LOT.



MDE SEWAGE EASEMENT STATEMENT FOR LOTS CREATED AFTER MARCH 1972:
THIS AREA DESIGNATES A PRIVATE SEWAGE EASEMENT OF AT LEAST 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND DEPT. OF ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED. THIS EASEMENT SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWAGE EASEMENT. RECORDATION OF A REVISED SEWAGE EASEMENT SHALL NOT BE NECESSARY.

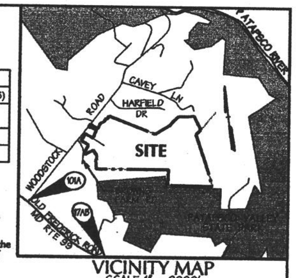
TABULATION OF FINAL PLAT

	TOTAL	2	3	4	5	6
A. TOTAL NUMBER OF LOTS AND/OR PARCELS TO BE RECORDED	43	7	11	12	8	5
BUILDABLE	31	3	7	10	7	4
NON BUILDABLE PRESERVATION PARCEL	9	2 & P/O D	3 & P/O C	2 & P/O D	1 & P/O D	1 & P/O D
BUILDABLE PRESERVATION PARCEL	1	1	P/O A	0	0	0
NON BUILDABLE PARCEL	2	1	1	0	0	0
B. TOTAL AREA OF LOTS AND/OR PARCELS	144.789 AC.±	29.002 AC.±	36.713 AC.±	34.328 AC.±	27.977 AC.±	16.608 AC.±
BUILDABLE	35.516 AC.±	3.670 AC.±	7.404 AC.±	11.879 AC.±	8.060 AC.±	4.503 AC.±
NON BUILDABLE PRESERVATION PARCEL	87.415 AC.±	9.598 AC.±	23.346 AC.±	22.449 AC.±	19.917 AC.±	12.105 AC.±
BUILDABLE PRESERVATION PARCEL	21.528 AC.±	15.695 AC.±	5.833 AC.±	0.000 AC.±	0.000 AC.±	0.000 AC.±
NON BUILDABLE PARCEL	0.169 AC.±	0.039 AC.±	0.130 AC.±	0.000 AC.±	0.000 AC.±	0.000 AC.±
C. TOTAL AREA OF ROADWAY AND HIGHWAY WIDENING TO BE RECORDED	6.952 AC.±	1.740 AC.±	1.586 AC.±	2.833 AC.±	0.793 AC.±	0.000 AC.±
D. TOTAL AREA OF SUBDIVISION TO BE RECORDED	151.580 AC.±	30.742 AC.±	38.299 AC.±	37.161 AC.±	28.770 AC.±	16.608 AC.±

DENSITY CHART

TOTAL GROSS AREA OF SUBDIVISION	151.741 AC.±
NUMBER OF RESIDENTIAL UNITS ALLOWED BY RIGHT	35 (151.74/4.25)
NUMBER OF RESIDENTIAL UNITS ALLOWED BY DENSITY EXCHANGE	75 (151.741/2)
NUMBER OF RESIDENTIAL UNITS PROPOSED	32
NUMBER OF RESEDENTIAL UNITS REMAINING	0

3 DENSITY UNITS WERE TRANSFERRED TO McKENDREE VIEW, F-07-087, TAX MAP NO. 14, PARCEL 14 & P/O PARCEL 219. PRIOR TO THE ESTABLISHMENT OF THIS CLUSTER SUBDIVISION



VICINITY MAP
SCALE: 1" = 2000'
COPYRIGHT ADC THE MAP PEOPLE
PERMITTED USE NO. 201298626

GENERAL NOTES:

1. Coordinates are based on Maryland Coordinated System - NAD83 (1991) as projected by Howard County Geodetic Control Stations No. 17AB and 101A.

STATION	NORTH	EAST	ELEVATION	DESCRIPTION
17AB	598435.240	1348615.248	509.179	BRASS DISK
101A	600995.107	1345340.34	442.693	BRASS DISK

2. This Plat is based upon a field run monumented boundary survey performed on or about September, 2004 by Daft-McCune-Walker, Inc.
3. All areas shown on this plat are more or less.
4. The subject property is zoned RC-DEO per the 2004 Comprehensive Zoning Plan, and per the Comp Lite Zoning Regulations effective on 7/28/06, and subject to the Amended 5th edition of the Howard County Subdivision Regulations.
5. For flag or pipestem lots, refuse collection, snow removal and road maintenance are provided to the junction of the flag or pipestem and road right-of-way line and not to the pipestem lot driveway.
6. Developer reserves unto itself, its successors and assigns, all easements shown on this plan for storm drainage, other public utilities and forest conservation (designated as "Forest Conservation Easements"), located in, on, over and through lots/parcels, any conveyances of the aforesaid lots/parcels shall be subject to the easements herein reserved, whether or not expressly stated in the deed(s) conveying said lot(s)/parcels. Developer shall execute and deliver deeds for the easements herein reserved to Howard County. Upon completion of the public utilities and their acceptance by Howard County, and in the case of the forest conservation easement(s), upon completion of the developer's obligations under the forest conservation installation and maintenance agreement executed by the developer and the County, and the release of the developer's surety posted with said agreement. The County shall accept the easements and record the deed(s) of easement in the Land Records of Howard County.
7. The Forest Conservation Easement has been established to fulfill the requirements of Section 16.1200 of the Howard County Code and Forest Conservation Act. No clearing, grading or construction is permitted within the Forest Conservation Easement; however, Forest Management Practices as defined in the Deed of Forest Conservation Easement are allowed.
8. This project complies with the requirements of Section 16.1200 of the Howard County Code for Forest Conservation, by the afforestation of 17.2 acres and the retention of 9.3 acres. The total forest conservation surety is $455,637.60. Existing forest conservation easement 1 and 2 were previously established to supplement the forest conservation obligation associated with F-05-121, OWENS PROPERTY, PHASE 2. Forest conservation easement 3 has been established to fulfill the obligation for F-06-116, the Zaiser Property.
9. Cemetery Site 10-1 is on site and is listed in the Howard County Cemeteries and Gravesites Inventory. Access to the cemetery is provided by non-buildable bulk parcel 'L' to the proposed public road. The cemetery will be located on Cemetery lot 1, and owned by the Heirs and assigns of the Brown Family. The Planning Board approved the Cemetery Protection Proposal on October 27, 2004
10. Landscaping is provided in accordance with a certified Landscape Plan on file with this plat in accordance with Section 16.124 of the Howard County Code and the Landscape Manual.
11. Financial surety for the required landscaping in the amount of $106,950.00 must be posted as part of the developer's agreement. (252 shade trees, 130 evergreen trees and 79 ornamental trees)
12. There is 100 year floodplain on site. A floodplain study was prepared by Daft-McCune-Walker Inc.
13. The public 100 year Floodplain, Drainage & Utility Easement is to be Conveyed to Howard County, Maryland. Stormwater Management for this project will be addressed with four facilities as shown on the stormwater management plan sheets. Quantity Cpv and quality stormwater management requirements are proposed to be met by applying the Non-Structural BMP Credits in accordance with Chapter 5 of the 2000 Maryland Stormwater Design Manual (the Manual) and with four Micro-pool Extended Detention Ponds (P-1) designed in accordance with Chapter 3 of the Manual. Recharge will be provided by roadside swales. Water quality will be provided with Credits and the Micro-pool ponds. Cpv will be provided in the Micropool ponds above the water quality volume. The Micro-pool ponds will be owned and maintained by the Home Owners Association. On-lot gravel level spreaders for lots 11, 12, 18, 19, 20, 21, 23, 24, 27, 28, 29 and 30 are proposed to qualify for sheet flow to buffer credits will be owned and maintained by the individual lot owners.
14. Driveways shall be provided prior to residential occupancy to insure safe access for fire and emergency vehicles per the following minimum requirements:
Width - 12 feet (14 feet serving more that one residence)
Surface - 6 inches of compacted crusher run base with tar and chip coating (1½" min.)
Geometry - Maximum 15% grade, maximum 10% grade change and minimum of 45 foot turning radius
Structures (culverts/bridges) - Capable of supporting 25 gross tons (H25 loading)
Drainage Elements - Capable of safely passing 100-year flood with no more that 1 foot depth over driveway surface
Structure clearances - Minimum 12 feet
Maintenance - Sufficient to insure all weather use.
15. A shared driveway maintenance agreement for lots 1-3, and 12-13 will be recorded in the Land Records of Howard County, Maryland concurrently with the recording of this plat.
16. WP-04-100 (approved 6/25/04) was approved allowing the following disturbances into the environmental buffer.
a) Section 16.115(c)(2) to allow clearing, filing or impervious paving within a floodplain for the purpose of a road crossing (Impact 1) and for the purpose of a SWM outfall (Impact 8);
b) Section 16.116(a)(1) to allow grading, removal of vegetative cover, and paving within 25 feet of a wetland for the purpose of a road crossing (Impacts 1, 2 & 6) and for the purpose of SWM outfall (Impact 8);
c) Section 16.116(a)(ii) to allow grading, removal of vegetative cover and paving within 75 feet of a perennial stream for the purpose of a road crossing (Impacts 1 & 2);
d) Section 16.116(b) to allow grading, removal of vegetative cover, and paving on steep slopes (25% and greater, over 10 vertical feet) for the purpose of a road crossing (Impacts 1, 4, 7) and for a SWM storm drain (Impact 9).
17. The property is listed in the Howard County Historic sites inventory as HO-190, Good Fellowship. The house is being retained on preservation parcel 'A'. No new buildings, extensions or additions to the existing dwelling(s) are to be constructed at a distance less then the Zoning Regulations require.
18. Each Preservation shown hereon is encumbered with an easement agreement recorded in the Land Records of Howard County, Maryland, as the deed of preservation easement. This document outlines the uses and restriction for each Preservation Parcel and prohibits subsequent resubdivision of the Preservation Parcel.
19. In accordance Section 16.120(b) (9) of the Subdivision Regulations, from the Colonial Pipeline easement, there shall be a 30' minimum distance between the easement and any proposed dwelling units on the lots.
20. The Articles of Incorporation for establishment of the DAVIS BRANCH ESTATES HOA was accepted by the State Department of Assessment and Taxation on 04/20/2007 as receipt no. D11874377.
21. The existing density easement as established on Plat No. 19524 is being revised with the recording of this plat due to the Re-Alignment of Davis Branch Road. The Eligibility of Preservation Parcel "A" to be utilized as a Density Sending Easement is not affected by the revision to the Easement.
22. For proposed subdivisions and resubdivisions of lots created after November 1985, certification of compliance with MDE ownership requirements and the statement that "The lot(s) shown hereon complies/comply with the minimum ownership width and lot area as required by the Maryland Dept. of Environment.

THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE THE MYRTUE PROPERTY AND TO RE-SUBDIVIDE LOT 1 VALLEY ANNE ESTATES, SECTION 2, TO CREATE ACCESS TO THE MYRTUE PROPERTY AS SHOWN ON PLAT NO. 3881

DMW
Daft · McCune · Walker, Inc.
A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals
200 East Pennsylvania Avenue
Towson, Maryland 21286
(410) 296-3333
Fax 296-4705

OWNER/DEVELOPER
DAVIS BRANCH ESTATES LLC
P.O. Box 280
1925 Old Valley Road
Stevenson, MD 21153
(410)252-8600
ATTN: Michael Keelty
6-2-08

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT

Barbara for Peter Beilenson 5/21/2008
Howard County Health Officer — Date
58 7/08

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

4/16/08
Chief, Development Engineering Division — Date

6/2/08
Director — Date

OWNER'S DEDICATION

I, MICHAEL KEELTY, MANAGER, DAVIS BRANCH ESTATES LLC, OWNER OF THE PROPERTY SHOWN HEREON, HEREBY ADOPT THIS PLAN OF SUBDIVISION, AND IN CONSIDERATION OF APPROVAL OF THIS FINAL PLAT BY THE DEPARTMENT OF PLANNING AND ZONING, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND GRANT UNTO HOWARD COUNTY, MARYLAND, ITS SUCCESSORS AND ASSIGNS, (1) THE RIGHT TO LAY, CONSTRUCT AND MAINTAIN SEWERS, DRAINS, WATER PIPES, AND OTHER MUNICIPAL UTILITIES AND SERVICES, IN AND UNDER ALL ROADS AND STREET RIGHTS-OF-WAY, AND THE SPECIFIC EASEMENT AREAS SHOWN HEREON, (2) THE RIGHT TO REQUIRE DEDICATION FOR PUBLIC USE THE BEDS OF THE STREETS AND/OR ROADS, FLOODPLAINS AND OPEN SPACE WHERE APPLICABLE, AND FOR GOOD AND OTHER VALUABLE CONSIDERATION, HEREBY GRANTS THE RIGHT AND OPTION TO HOWARD COUNTY TO ACQUIRE THE FEE SIMPLE TITLE TO THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS, STORM DRAINAGE FACILITIES AND OPEN SPACE WHERE APPLICABLE, (3) THE RIGHT TO REPAIR AND MAINTENANCE, AND (4) THAT NO BUILDING OR SIMILAR STRUCTURE OF ANY KIND SHALL BE ERECTED ON OR OVER THE SAID EASEMENTS AND RIGHTS-OF-WAY. THE REQUIREMENTS OF SECTION 3-108, THE REAL PROPERTY ARTICLE, ANNOTATED CODE OR MARYLAND, 1988 REPLACEMENT VOLUME, (AS SUPPLEMENTED) AS FAR AS THEY RELATED TO THE MAKING OF THIS PLAT AND THE SETTING OF MARKERS HAVE BEEN COMPLIED WITH.

WITNESS OUR HANDS THIS 11 DAY OF FEBRUARY, 2008

MICHAEL KEELTY, MANAGER
DAVIS BRANCH ESTATES LLC — 2/11/08 DATE

WITNESS — 2/11/08 DATE

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THE FINAL PLAT SHOWN HEREON IS CORRECT; THAT IT IS A SUBDIVISION OF ALL OF THE LAND CONVEYED BY RICHARD E. MYRTUE & PAULINE F. MYRTUE, HIS WIFE TO DAVIS BRANCH ESTATES, LLC BY DEED DATED JANUARY 12, 2005 AND RECORDED IN THE LAND RECORDS OF HOWARD COUNTY, MARYLAND, IN LIBER 8917 AT FOLIO 269 AND LIBER 8917 AT FOLIO 281 AND THAT ALL MONUMENTS ARE IN PLACE OR WILL BE IN PLACE PRIOR TO THE ACCEPTANCE OF THE STREETS IN THE SUBDIVISION BY HOWARD COUNTY, AS SHOWN IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND, AS NOW AMENDED. THE REQUIREMENTS OF SECTION 3-108, THE REAL PROPERTY ARTICLE, ANNOTATED CODE OR MARYLAND, 1988 REPLACEMENT VOLUME, (AS SUPPLEMENTED) AS FAR AS THEY RELATED TO THE MAKING OF THIS PLAT AND THE SETTING OF MARKERS HAVE BEEN COMPLIED WITH.

Michael D. Martin, Professional Land Surveyor
Maryland Registration No. 21234 — 2-11-08 Date

STATE OF MARYLAND — MICHAEL DAVID MARTIN — NO. 21234 — PROFESSIONAL LAND SURVEYOR

RECORDED AS PLAT NO. ____ ON ____ AMONG THE LAND RECORDS OF HOWARD COUNTY, MD.

MYRTUE PROPERTY
LOTS 1-31, BUILDABLE PRESERVATION PARCEL A-1, NON-BUILDABLE PRESERVATION PARCELS B-D,F-K, NON-BUILDABLE PARCEL E & L AND RE-SUBDIVISION OF LOT 1 VALLEY ANNE ESTATES, SECTION 2
TAX MAP NO.10, 11, GRID 24, 19, PARCEL 225
ZONED: RC-DEO
PZ FILE REF: SP-04-007
rd ELECTION DISTRICT
ARD COUNTY MARYLAND
FEBRUARY 8, 2008

SCALE AS SHOWN
SHEET 1 OF 8

P153423 MSA S&U 2125 4205-1 F-06-104

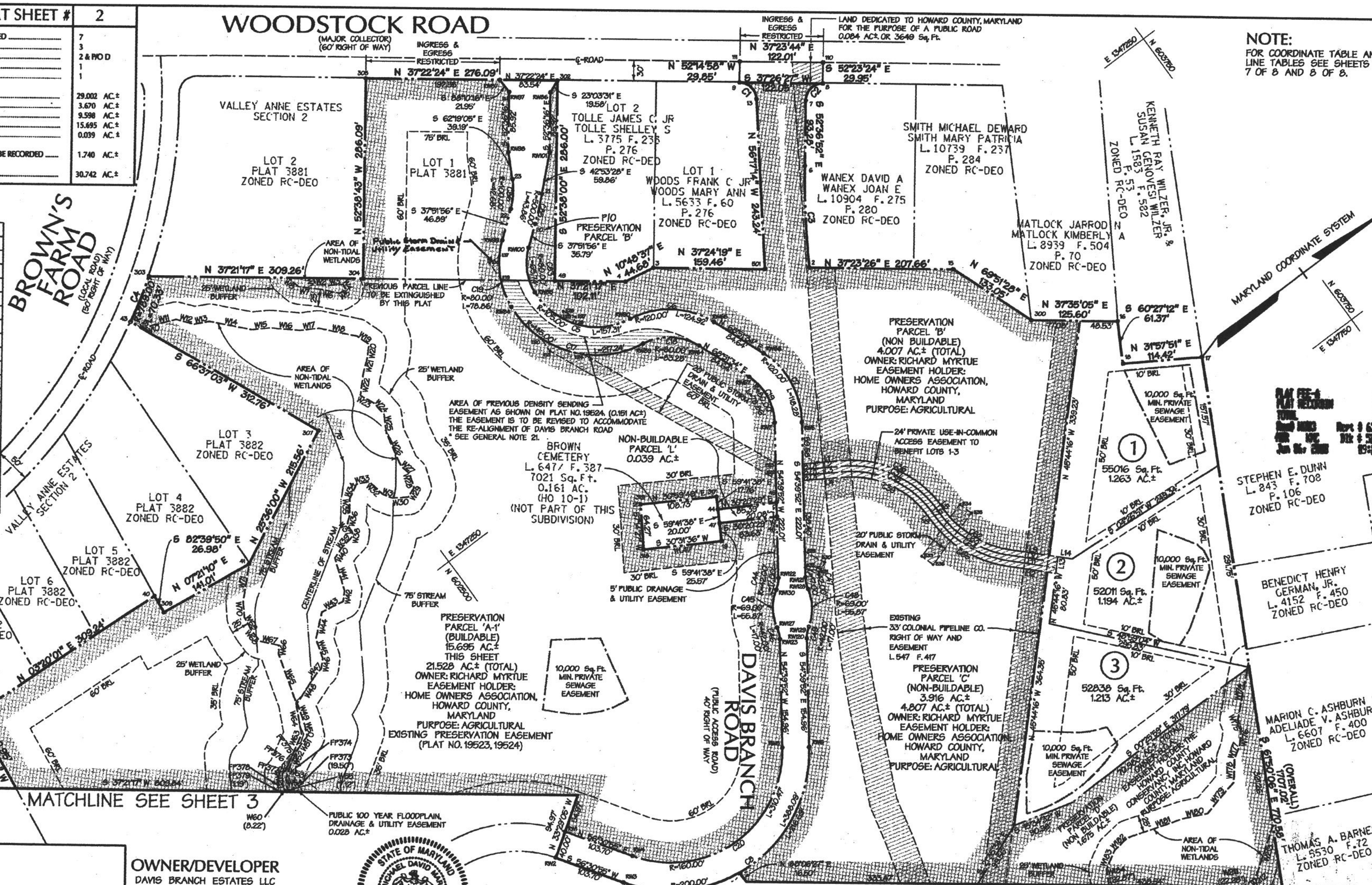
Maryland State Archives

HOWARD COUNTY CIRCUIT COURT (Plat Book) Plat MDR 19961-19968, MSA_C2125_4205. Date available 2008/06/06. Printed 12/26/2018

TABULATION OF FINAL PLAT SHEET #	2
A. TOTAL NUMBER OF LOTS AND/OR PARCELS TO BE RECORDED	7
BUILDABLE	3
NON BUILDABLE PRESERVATION PARCEL	2 & P/O D
BUILDABLE PRESERVATION PARCEL	1
NON BUILDABLE PARCEL	1
B. TOTAL AREA OF LOTS AND/OR PARCELS	29.002 AC.±
BUILDABLE	3.670 AC.±
NON BUILDABLE PRESERVATION PARCEL	9.598 AC.±
BUILDABLE PRESERVATION PARCEL	15.695 AC.±
NON BUILDABLE PARCEL	0.039 AC.±
C. TOTAL AREA OF ROADWAY AND HIGHWAY WIDENING TO BE RECORDED	1.740 AC.±
D. TOTAL AREA OF SUBDIVISION TO BE RECORDED	30.742 AC.±

EASEMENT COORDINATE TABLE

POINT#	NORTH	EAST
E17	602820.4846	1346942.7039
E18	602802.7396	1346942.1639
E19	602801.8618	1346971.0106
E20	602798.7557	1347073.0831
E21	602798.0607	1347095.9223
E22	602948.3828	1347437.5344
E23	602961.8653	1347418.5175
E24	602834.1068	1347128.1819
E25	602838.8315	1347065.7604
E26	602847.1851	1347061.1887
E27	602856.7868	1347078.7331
E28	602848.4333	1347083.3049
E29	602920.4822	1347546.0484
E30	602935.0390	1347575.8830
E31	602917.0644	1347584.6531
E32	602907.3003	1347564.6413
E33	603052.3254	1347652.7297
E34	603139.8538	1347626.0136
E35	603145.6924	1347645.1424
E36	603058.1641	1347671.8585



NOTE:
FOR COORDINATE TABLE AND LINE TABLES SEE SHEETS 7 OF 8 AND 8 OF 8.

NOTE:
* NON-BUILDABLE BULK PARCEL 'L' IS TO BE OWNED & MAINTAINED BY DAVIS BRANCH ESTATES LLC PURPOSE: FUTURE ACCESS TO CEMETERY LOT 1

MATCHLINE SEE SHEET 3

MATCHLINE SEE SHEET 3
S 37°21'17" W 772.01'

DMW
Daft · McCune · Walker, Inc.
A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals
200 East Pennsylvania Avenue
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Fax 296-4705

OWNER/DEVELOPER
DAVIS BRANCH ESTATES LLC
P.O. Box 280
1925 Old Valley Road
Stevenson, MD 21153
(410)252-8600
ATTN: Michael Keelty

STATE OF MARYLAND
MICHAEL DAVID MARTIN
NO. 21234
PROFESSIONAL LAND SURVEYOR

MDR PLAT NO. 19962
RECEIVED
FOR RECORD JUN 06 2008

6-6-08

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

[signature] for Peter Beilenson 5/21/2008
Howard County Health Officer — Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[signature] 4/16/08
Chief, Development Engineering Division — Date

[signature] 6/2/08
Director — Date

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WITNESS OUR HANDS THIS 11 DAY OF FEBRUARY, 2008

[signature] 2/11/08
MICHAEL KEELTY, MANAGER — DATE
DAVIS BRANCH ESTATES LLC

[signature] 2/11/08
WITNESS — DATE

SURVEYOR'S CERTIFICATE

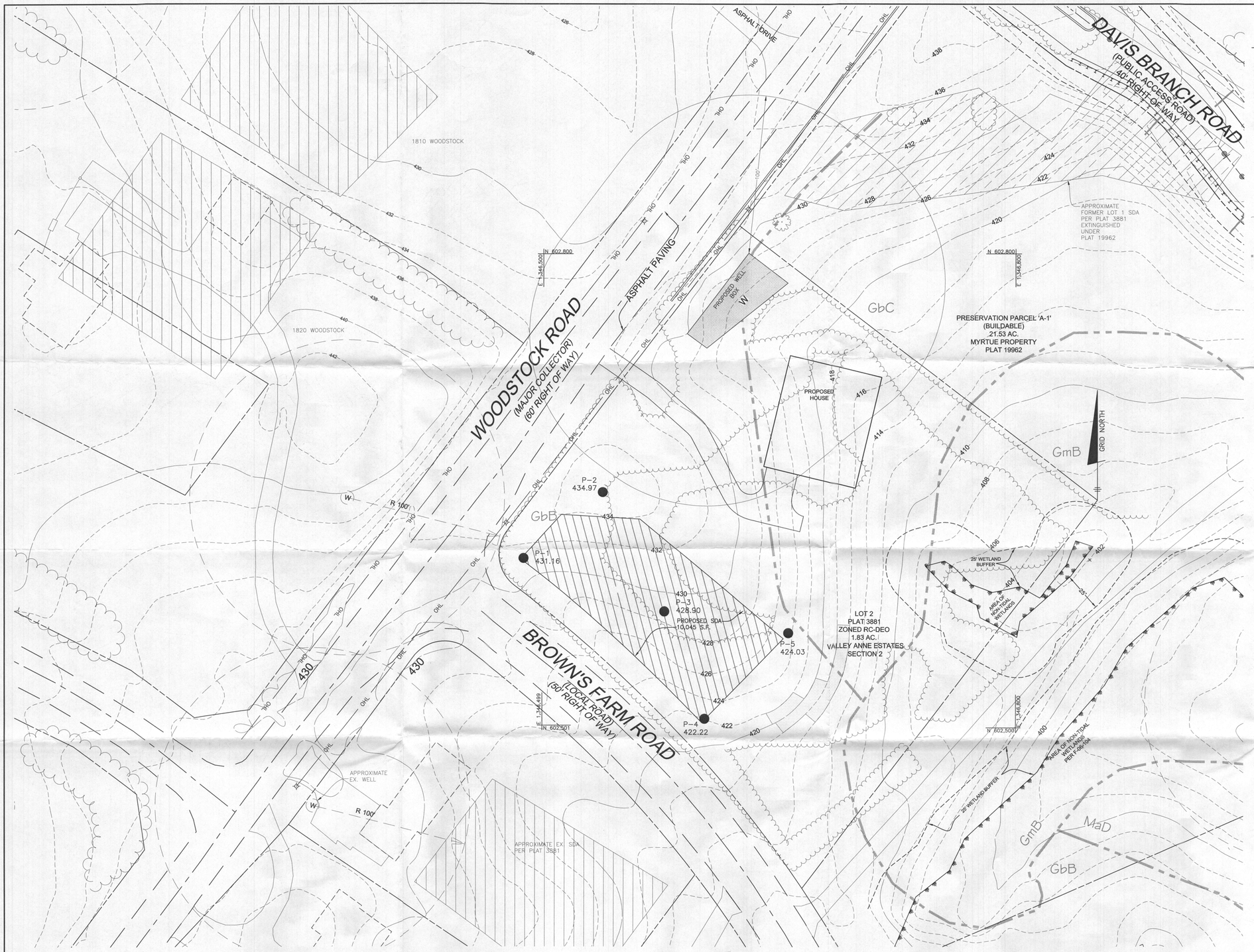
I HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THE FINAL PLAT SHOWN HEREON IS CORRECT; THAT IT IS A SUBDIVISION OF ALL OF THE LAND CONVEYED BY RICHARD E. MYRTUE & PAULINE F. MYRTUE, HIS WIFE TO DAVIS BRANCH ESTATES, LLC BY DEED DATED JANUARY 12, 2005 AND RECORDED IN THE LAND RECORDS OF HOWARD COUNTY, MARYLAND, IN LIBER 8917 AT FOLIO 269 AND LIBER 8917 AT FOLIO 281 AND THAT ALL MONUMENTS ARE IN PLACE OR WILL BE IN PLACE PRIOR TO THE ACCEPTANCE OF THE STREETS IN THE SUBDIVISION BY HOWARD COUNTY, AS SHOWN IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND, AS NOW AMENDED. THE REQUIREMENTS OF SECTION 3-108, THE REAL PROPERTY ARTICLE, ANNOTATED CODE OR MARYLAND, 1988 REPLACEMENT VOLUME, (AS SUPPLEMENTED) AS FAR AS THEY RELATED TO THE MAKING OF THIS PLAT AND THE SETTING OF MARKERS HAVE BEEN COMPLIED WITH.

[signature] 2.11.08
Michael D. Martin, Professional Land Surveyor — Date
Maryland Registration No. 21234

RECORDED AS PLAT NO. ______ ON ______ AMONG THE LAND RECORDS OF HOWARD COUNTY, MD.

MYRTUE PROPERTY
LOTS 1-31, BUILDABLE PRESERVATION PARCEL A-1, NON-BUILDABLE PRESERVATION PARCELS B-D, F-K, NON-BUILDABLE PARCEL E & L AND RE-SUBDIVISION OF LOT 1 VALLEY ANNE ESTATES, SECTION 2
TAX MAP NO. 10, 11, GRID 24, 19, PARCEL 225
ZONED: RC-DEO
DPZ FILE REF: SP-04-007
3rd ELECTION DISTRICT
HOWARD COUNTY MARYLAND
FEBRUARY 8, 2008
GRAPHIC SCALE
100' 0' 100' 200'
SCALE 1" = 100'
SHEET 2 OF 8

P153424 MSA CSM 2125 4205-2 F-06-104

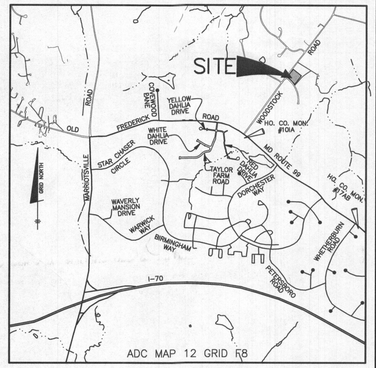


PLAN

SCALE : 1"=30'

LEGEND

- PROJECT BOUNDARY
- EXISTING CONTOURS
- W — PROPOSED WELL BOX
- PROPOSED PRIVATE SEWAGE DISPOSAL AREA
- EXISTING PRIVATE SEWAGE DISPOSAL AREA
- EXTINGUISHED PRIVATE SEWAGE DISPOSAL AREA
- EXISTING SLOPES 25% OR GREATER
- EXISTING TREELINE
- MaC — SOILS MAP SYMBOL
- SOILS DELINEATION LINE
- PASSING PERCOLATION TEST
- AREA OF NON-TIDAL WETLAND



ADC MAP 12 GRID F8

VICINITY MAP

SCALE: 1" = 2000'

GENERAL NOTES

1. THE LOT SHOWN HEREON WAS CREATED UNDER PLAT 3881, RECORDED OCTOBER, 1977, AND COMPLIES WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT. THE LOT SIZE FULFILLS THE REQUIREMENTS OF THE ZONING REGULATIONS.
2. THIS AREA DESIGNATES A PRIVATE SEWERAGE AREA OF AT LEAST 10,000 S.F. AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWERAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWER IS AVAILABLE. THIS AREA SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWER SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWERAGE AREA. RECORDATION OF A MODIFIED SEWERAGE AREA PLAT SHALL NOT BE REQUIRED.
3. TOPOGRAPHY SHOWN IS BASED ON HOWARD COUNTY GIS, 2 FOOT CONTOURS, AND WAS FIELD CONFIRMED DECEMBER 20, 2018 WITHIN THE PROPOSED SEWAGE DISPOSAL AREA AND WETLANDS AREAS BY BENCHMARK ENGINEERING, INC.
4. TO THE BEST OF OUR KNOWLEDGE, ALL WELLS AND SEPTIC SYSTEMS LOCATED WITHIN 100' OF THE PROPERTY BOUNDARIES AND 200' DOWN GRADIENT OF ANY WELL AND/OR SEPTIC HAVE BEEN SHOWN.
5. ANY CHANGES TO A PRIVATE SEWAGE AREA SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
6. ALL WELL AREAS MUST BE SETBACK AT LEAST 50' FROM ANY ROADSIDE SWALE DESIGNED FOR CONVEYANCE AND 100' FROM ANY ROADSIDE SWALE DESIGNED FOR INFILTRATION OR THE ROAD MUST BE DESIGNED FOR IMPERVIOUS CURB AND GUTTER.
7. THE WELL SHALL BE DRILLED PRIOR TO BUILDING PERMIT SUBMITTAL. IT IS THE DEVELOPER'S RESPONSIBILITY TO SCHEDULE THE WELL DRILLING PRIOR TO BUILDING PERMIT SUBMITTAL. IT WILL NOT BE CONSIDERED "GOVERNMENT DELAY" IF THE WELL DRILLING HOLDS UP HEALTH DEPARTMENT APPROVAL OF THE BUILDING PERMIT.
8. AN ONSITE SEWAGE DISPOSAL SYSTEM DESIGN PLAN MUST BE APPROVED BY THE HEALTH DEPARTMENT PRIOR TO APPROVAL OF THE BUILDING PERMIT.
9. PERCOLATION TEST FEE RECEIPT NUMBER, REFERENCED IN THE APPROVING AUTHORITY CORRESPONDENCE, IS A564081.

THE PURPOSE OF THIS PERCOLATION CERTIFICATION IS TO OBTAIN DESIGN INFORMATION FOR A SEPTIC SYSTEM ON EXISTING LOT 2, VALLEY ANNE ESTATES, TO ESTABLISH A WELL AREA, AND TO RECONFIGURE THE SEWAGE DISPOSAL AREA FORMERLY SHOWN ON PLAT 3881.

NO.	DATE	REVISION

APPROVED FOR PRIVATE WATER AND SEWERAGE SYSTEM
HOWARD COUNTY HEALTH DEPARTMENT

By Written for Maura Rossman — 1/14/2019
HOWARD COUNTY HEALTH OFFICER — DATE

I CERTIFY THAT THE INFORMATION SHOWN HEREON IS BASED ON FIELD WORK PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, AND IS CORRECT, TO THE BEST OF KNOWLEDGE AND BELIEF.

2 Jan 19
ALICE A. MILLER, P.E.
PLAN PREPARER FOR BENCHMARK ENGINEERING INC.

SOILS LEGEND

SYMBOL	TYPE	K* FACTOR	NAME
GbB	A	.28	GLADSTONE LOAM – 3 TO 8 PERCENT SLOPES
GbC	A	.28	GLADSTONE LOAM – 8 TO 15 PERCENT SLOPES
GmB	C/D	.43**	GLENVILLE SILT LOAM – 8 TO 15 PERCENT SLOPES

SOILS TAKEN FROM NRCS WEB SOIL SURVEY, NOV 11, 2018. REF. SOIL SURVEY MAP 5.
*WHOLE SOIL K FACTOR
** HIGHLY ERODIBLE, K>0.35 AND >5% SLOPES, OR 15% OR GREATER SLOPES.

BENCHMARK
ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS
ENGINEERING, INC.
8480 BALTIMORE NATIONAL PIKE ▲ SUITE 315 ▲ ELLICOTT CITY, MARYLAND 21043
(P) 410-465-6105 (F) 410-465-6644
WWW.BEI-CIVILENGINEERING.COM

OWNER:
MR. & MRS. RICHARD MYRTUE
2526 W. PELICAN DRIVE
OAK ISLAND, NC 28465

DEVELOPER/CONTRACT PURCHASER:
SONSHINE MD, LP
227 GRANITE RUN DRIVE, SUITE 100
LANCASTER, PA 17601
717-464-9060

PROJECT: *LOT 2 VALLEY ANNE ESTATES*
1811 WOODSTOCK ROAD

LOCATION: TAX MAP 10, GRID 24
PARCEL 287
6th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE: PERCOLATION CERTIFICATION PLAN

DATE: DECEMBER, 2018 | PROJECT NO. 2939

DES: AAM | DRAFT: AAM | CHECK: CAM | SCALE: 1" = 30' | DRAWING 1 OF 1

PC564081

PLAN
SCALE : 1"=30'

LEGEND

- PROJECT BOUNDARY
- EXISTING CONTOURS
- W — PROPOSED WELL BOX
- PROPOSED PRIVATE SEWAGE DISPOSAL AREA
- EXISTING PRIVATE SEWAGE DISPOSAL AREA
- EXTINGUISHED PRIVATE SEWAGE DISPOSAL AREA
- EXISTING SLOPES 25% OR GREATER
- EXISTING TREELINE
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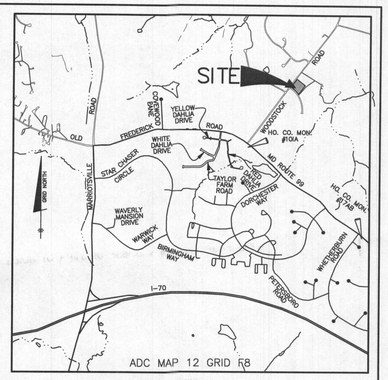
- AREA OF NON-TIDAL WETLAND



ADC MAP 12 GRID F8

VICINITY MAP
SCALE: 1" = 2000'

GENERAL NOTES

1. THE LOT SHOWN HEREON WAS CREATED UNDER PLAT 3881, RECORDED OCTOBER, 1977, AND COMPLIES WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT. THE LOT SIZE FULFILLS THE REQUIREMENTS OF THE ZONING REGULATIONS.
2. THIS AREA DESIGNATES A PRIVATE SEWERAGE AREA OF AT LEAST 10,000 S.F. AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWERAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWER IS AVAILABLE. THIS AREA SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWER SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWERAGE AREA. RECORDATION OF A MODIFIED SEWERAGE AREA PLAT SHALL NOT BE REQUIRED.
3. TOPOGRAPHY SHOWN IS BASED ON HOWARD COUNTY GIS, 2 FOOT CONTOURS, AND WAS FIELD CONFIRMED DECEMBER 20, 2018 WITHIN THE PROPOSED SEWAGE DISPOSAL AREA AND WETLANDS AREAS BY BENCHMARK ENGINEERING, INC.
4. TO THE BEST OF OUR KNOWLEDGE, ALL WELLS AND SEPTIC SYSTEMS LOCATED WITHIN 100' OF THE PROPERTY BOUNDARIES AND 200' DOWN GRADIENT OF ANY WELL AND/OR SEPTIC HAVE BEEN SHOWN.
5. ANY CHANGES TO A PRIVATE SEWAGE AREA SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
6. ALL WELL AREAS MUST BE SETBACK AT LEAST 50' FROM ANY ROADSIDE SWALE DESIGNED FOR CONVEYANCE AND 100' FROM ANY ROADSIDE SWALE DESIGNED FOR INFILTRATION OR THE ROAD MUST BE DESIGNED FOR IMPERVIOUS CURB AND GUTTER.
7. THE WELL SHALL BE DRILLED PRIOR TO BUILDING PERMIT SUBMITTAL. IT IS THE DEVELOPER'S RESPONSIBILITY TO SCHEDULE THE WELL DRILLING PRIOR TO BUILDING PERMIT SUBMITTAL. IT WILL NOT BE CONSIDERED "GOVERNMENT DELAY" IF THE WELL DRILLING HOLDS UP HEALTH DEPARTMENT APPROVAL OF THE BUILDING PERMIT.
8. AN ONSITE SEWAGE DISPOSAL SYSTEM DESIGN PLAN MUST BE APPROVED BY THE HEALTH DEPARTMENT PRIOR TO APPROVAL OF THE BUILDING PERMIT.
9. PERCOLATION TEST FEE RECEIPT NUMBER, REFERENCED IN THE APPROVING AUTHORITY CORRESPONDENCE, IS A564081.

THE PURPOSE OF THIS PERCOLATION CERTIFICATION IS TO OBTAIN DESIGN INFORMATION FOR A SEPTIC SYSTEM ON EXISTING LOT 2, VALLEY ANNE ESTATES, TO ESTABLISH A WELL AREA, AND TO RECONFIGURE THE SEWAGE DISPOSAL AREA FORMERLY SHOWN ON PLAT 3881.

NO.	DATE	REVISION

APPROVED FOR PRIVATE WATER AND SEWERAGE SYSTEM
HOWARD COUNTY HEALTH DEPARTMENT

B Wilson for Maura Rossman 1/14/2019
HOWARD COUNTY HEALTH OFFICER DATE

I CERTIFY THAT THE INFORMATION SHOWN HEREON IS BASED ON FIELD WORK PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, AND IS CORRECT, TO THE BEST OF KNOWLEDGE AND BELIEF.

2 Jan 19
ALICE A. MILLER, P.E.
PLAN PREPARER FOR BENCHMARK ENGINEERING INC.

SOILS LEGEND

SYMBOL	TYPE	K* FACTOR	NAME
GbB	A	.28	GLADSTONE LOAM – 3 TO 8 PERCENT SLOPES
GbC	A	.28	GLADSTONE LOAM – 8 TO 15 PERCENT SLOPES
GmB	C/D	.43**	GLENVILLE SILT LOAM – 8 TO 15 PERCENT SLOPES

SOILS TAKEN FROM NRCS WEB SOIL SURVEY, NOV 11, 2018. REF. SOIL SURVEY MAP 5.
*WHOLE SOIL K FACTOR
** HIGHLY ERODIBLE, K>0.35 AND >5% SLOPES, OR 15% OR GREATER SLOPES.

BENCHMARK
ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS
ENGINEERING, INC.
8480 BALTIMORE NATIONAL PIKE ▲ SUITE 315 ▲ ELLICOTT CITY, MARYLAND 21043
(P) 410-465-6105 (F) 410-465-6644
WWW.BEI-CMLENGINEERING.COM

OWNER:
MR. & MRS. RICHARD MYRTUE
2526 W. PELICAN DRIVE
OAK ISLAND, NC 28465

DEVELOPER/CONTRACT PURCHASER:
SONSHINE MD, LP
227 GRANITE RUN DRIVE, SUITE 100
LANCASTER, PA 17601
717-464-9060

PROJECT:
LOT 2 VALLEY ANNE ESTATES
1811 WOODSTOCK ROAD

LOCATION:
TAX MAP 10, GRID 24
PARCEL 287
6th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE:
PERCOLATION CERTIFICATION PLAN

DATE: DECEMBER, 2018
PROJECT NO. 2939
DES: AAM | DRAFT: AAM | CHECK: CAM
SCALE: 1" = 30'
DRAWING 1 OF 1

PC564081