

PLAT CMP. NO. 8262

FILED NOV 30 1988

NOTES

1. Boundary data shown on this plat is referred to the system of coordinates established in the Maryland State Plane Coordinate System and are based on the coordinates and bearings of the following traverse stations:

No. 3234002 N 525239.926
E 803865.265
No. 3234004 N 524524.409
E 802154.070

2. This area designates a private sewage easement of 10,000 square feet as required by the Maryland State Department of Health and Mental Hygiene for individual sewage disposal. Improvements of any nature in this area are restricted until public sewage is available. These easements shall become null and void upon connection to a public sewage system. The County Health Officer shall have the authority to grant variances for encroachments into the private sewage easement. Recordation of a modified sewage easement shall not be required. The lots shown here comply with the minimum ownership width and lot area as required by the Maryland State Department of Health and Mental Hygiene.

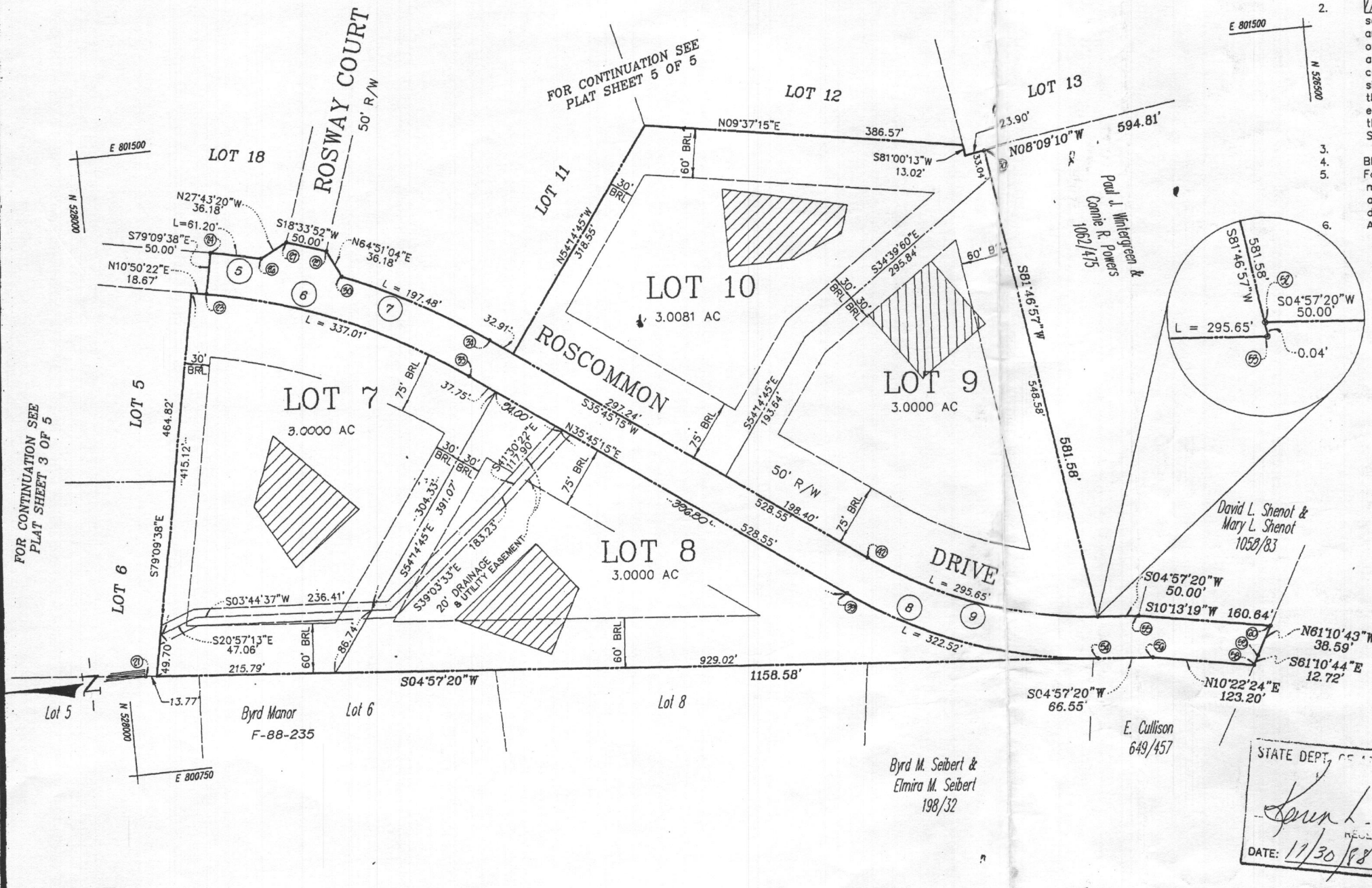
3. This denotes an iron pipe set.

4. BRL denotes Building Restriction Line.

5. For flag or pipe stem lots, refuse collection, snow removal and road maintenance are provided to the junction of the flag or pipe stem and the road right-of-way line and not onto the flag or pipe stem driveway.

6. All existing structures within Lot 9 are to remain intact.

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
5	825.00'	61.20'	30.62'	61.19'	S12°57'53"W	04°15'02"
6	775.00'	337.01'	171.21'	334.36'	S23°17'49"W	24°54'53"
7	825.00'	197.48'	99.22'	197.01'	S28°53'48"W	13°42'55"
8	600.00'	322.52'	165.26'	318.65'	S20°21'18"W	30°47'55"
9	550.00'	295.65'	151.49'	292.11'	S20°21'16"W	30°47'58"



LOT TABULATION

TOTAL No. of LOTS - 4
TOTAL AREA of LOTS - 12.0081 ACRES
TOTAL AREA of ROAD DEDICATION - 1.7337 ACRES
TOTAL AREA of SUBDIVISION - 13.7418 ACRES

Revised per comments received from Howard County 6/20/88 - 6/28/88

OWNER'S DEDICATION

We, S.F. Contractors, Inc., owners of the property shown and described hereon, hereby adopt this plan of subdivision, and in consideration of the approval of this Final Plat by the Office of Planning and Zoning, establish the minimum building restriction lines and grant unto Howard County, Maryland, its successors and assigns, (1) the right to lay, construct and maintain sewers, drains, water pipes and other municipal utilities and services, in and under the all roads and street right-of-ways and the specific easements shown hereon; (2) the right to require dedication for public use the beds of the streets and/or roads, and floodplains and open space where applicable and for good and other valuable consideration, hereby grant the right and option to Howard County to acquire the fee simple title to the beds of the street and/or roads and floodplains, storm drainage facilities and open space where applicable; and (3) the right to require dedication of waterways and drainage easements for the specific purpose of their construction, repair and maintenance; and (4) that no building or similar structure of any kind shall be erected on or over the said easements and right-of-ways. Witness my hands this 13th day of October 1988.

SURVEYOR'S CERTIFICATE

I hereby certify that the Final Plat shown hereon is correct; that it is a subdivision of all of the lands conveyed by H & F Property Partnership to S.F. Contractors, Inc. by deed dated October 3, 1988 and recorded among the Land Records of Howard County, Maryland in Liber 1894 at Folio 97, and that all monuments are in place as shown or will be in place prior to acceptance of the streets in the subdivision by Howard County as shown, in accordance with the Annotated Code of Maryland, as amended.



APPROVED: FOR PRIVATE WATER AND SEWERAGE SYSTEMS,
HOWARD COUNTY DEPARTMENT OF HEALTH AND MENTAL
HYGIENE

James Boyd 11-14-88
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING

W. H. Smith 11.23.88
DIRECTOR DATE

APPROVED: FOR STORM DRAINAGE SYSTEMS,
AND PUBLIC ROADS, HOWARD COUNTY

LOTS 7 - 10
ROSCOMMON ESTATES
LOTS 1 THROUGH 22

Election District No. 3
Howard County, Maryland

Tax Map 15 Parcel 177
Tax Map 22 Parcel 170

SCALE: 1" = 100' OCTOBER 1988

MILDENBERG,
MOCHI & ASSOCIATES, INC.

Current Zoning: R
Sketch Plan S-88-23
Waiver Request WP-88-50
Revised Plat D. 88-50

OWNER / DEVELOPER
S.F. CONTRACTORS, INC.
3368 BRANTLY COURT
GLENWOOD, MARYLAND 21738
(301) 442-1133

RECORDED AS PLAT NUMBER
DATED
AMONG THE LAND RECORDS OF
HOWARD COUNTY, MARYLAND

STATE DEPT. OF LAND & NATURAL RESOURCES & TAXATION
Spencer L. Price
DATE: 11/30/88 PLAT:

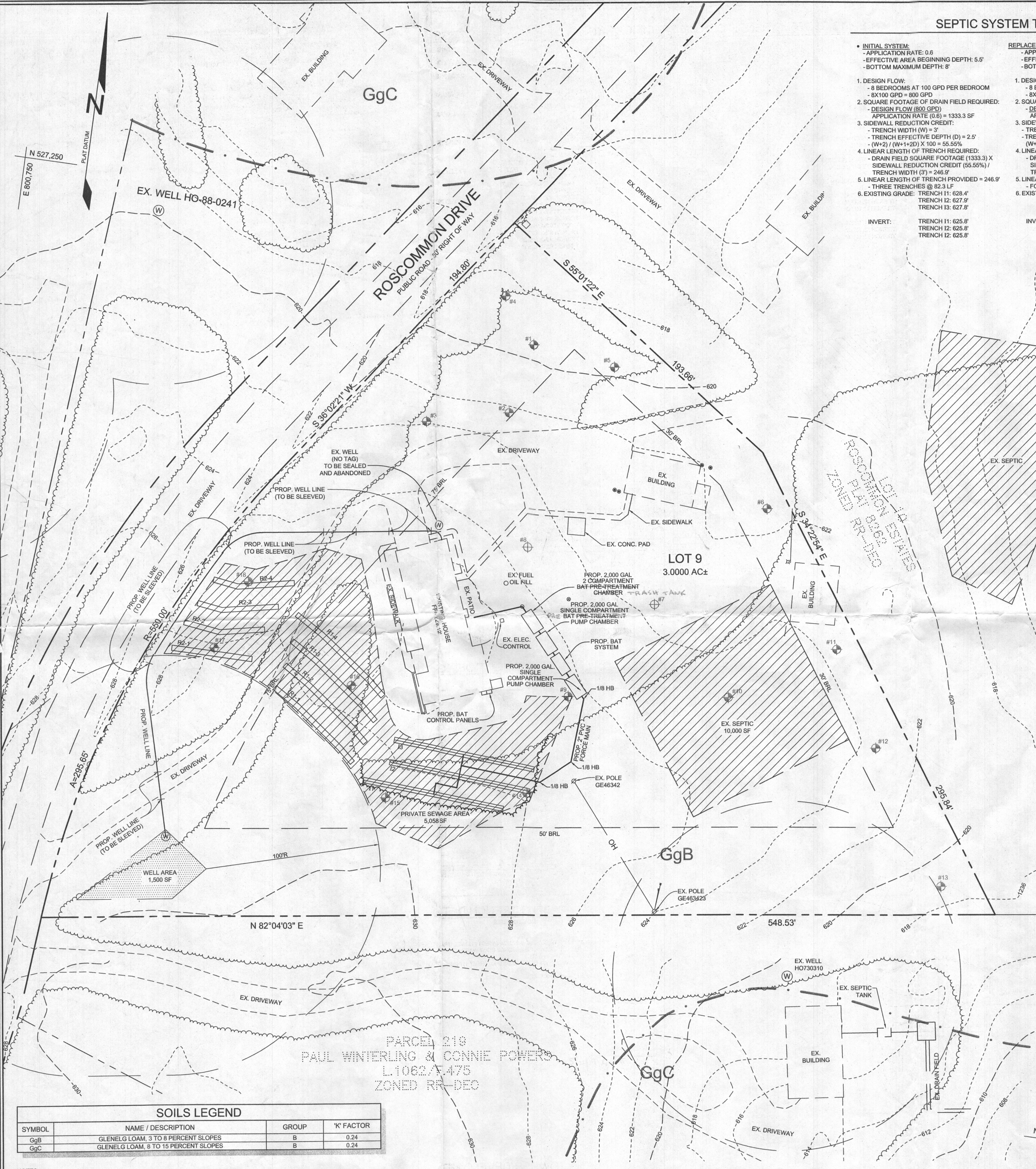
Byrd M. Seibert &
Elmira M. Seibert
198/32

E. Cullison
649/457

David L. Shenot &
Mary L. Shenot
1052/83

Paul J. Mintergreen &
Carmel R. Powers
1002/415

Byrd Manor
F-88-235

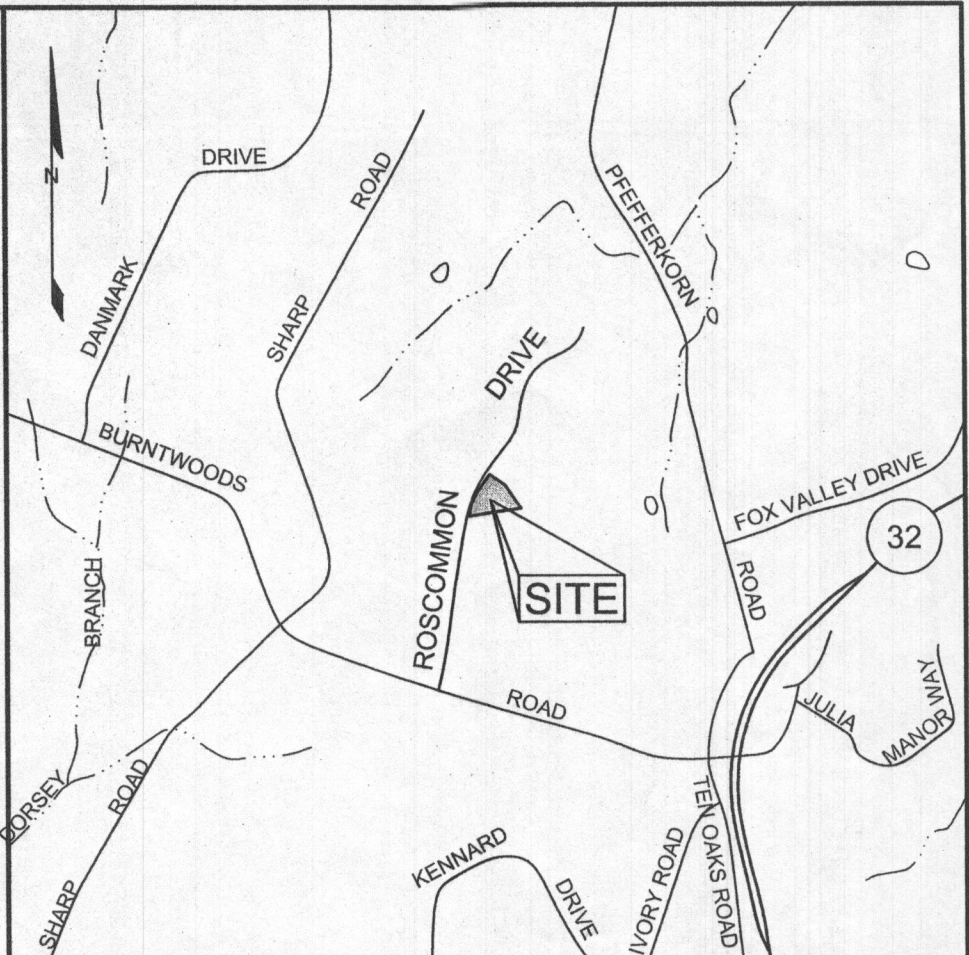


SEPTIC SYSTEM TRENCH DESIGN SPECIFICATIONS

- INITIAL SYSTEM:**
- APPLICATION RATE: 0.8
- EFFECTIVE AREA BEGINNING DEPTH: 5.5'
- BOTTOM MAXIMUM DEPTH: 8'
- REPLACEMENT SYSTEM 1:**
- APPLICATION RATE: 0.6
- EFFECTIVE AREA BEGINNING DEPTH: 5.5'
- BOTTOM MAXIMUM DEPTH: 8'
- REPLACEMENT SYSTEM 2:**
- APPLICATION RATE: 0.8
- EFFECTIVE AREA BEGINNING DEPTH: 5.5'
- BOTTOM MAXIMUM DEPTH: 8'
- 1. DESIGN FLOW:**
- 8 BEDROOMS AT 100 GPD PER BEDROOM
- 8X100 GPD = 800 GPD
- 2. SQUARE FOOTAGE OF DRAIN FIELD REQUIRED:**
- DESIGN FLOW (800 GPD)
- APPLICATION RATE (0.6) = 1333.3 SF
- 3. SIDEWALL REDUCTION CREDIT:**
- TRENCH WIDTH (W) = 3'
- TRENCH EFFECTIVE DEPTH (D) = 2.5'
- (W+2) / (W+1+2D) X 100 = 55.55%
- 4. LINEAR LENGTH OF TRENCH REQUIRED:**
- DRAIN FIELD SQUARE FOOTAGE (1333.3) X
SIDEWALL REDUCTION CREDIT (55.55%) /
TRENCH WIDTH (3') = 246.9'
- 5. LINEAR LENGTH OF TRENCH PROVIDED = 246.9'**
- THREE TRENCHES @ 82.3 LF
TRENCH 11: 82.3 LF
TRENCH 12: 82.3 LF
TRENCH 13: 82.3 LF
- 6. EXISTING GRADE:**
TRENCH 11: 625.8'
TRENCH 12: 625.8'
TRENCH 13: 625.8'
- INVERT:**
TRENCH 11: 625.8'
TRENCH 12: 625.8'
TRENCH 13: 625.8'

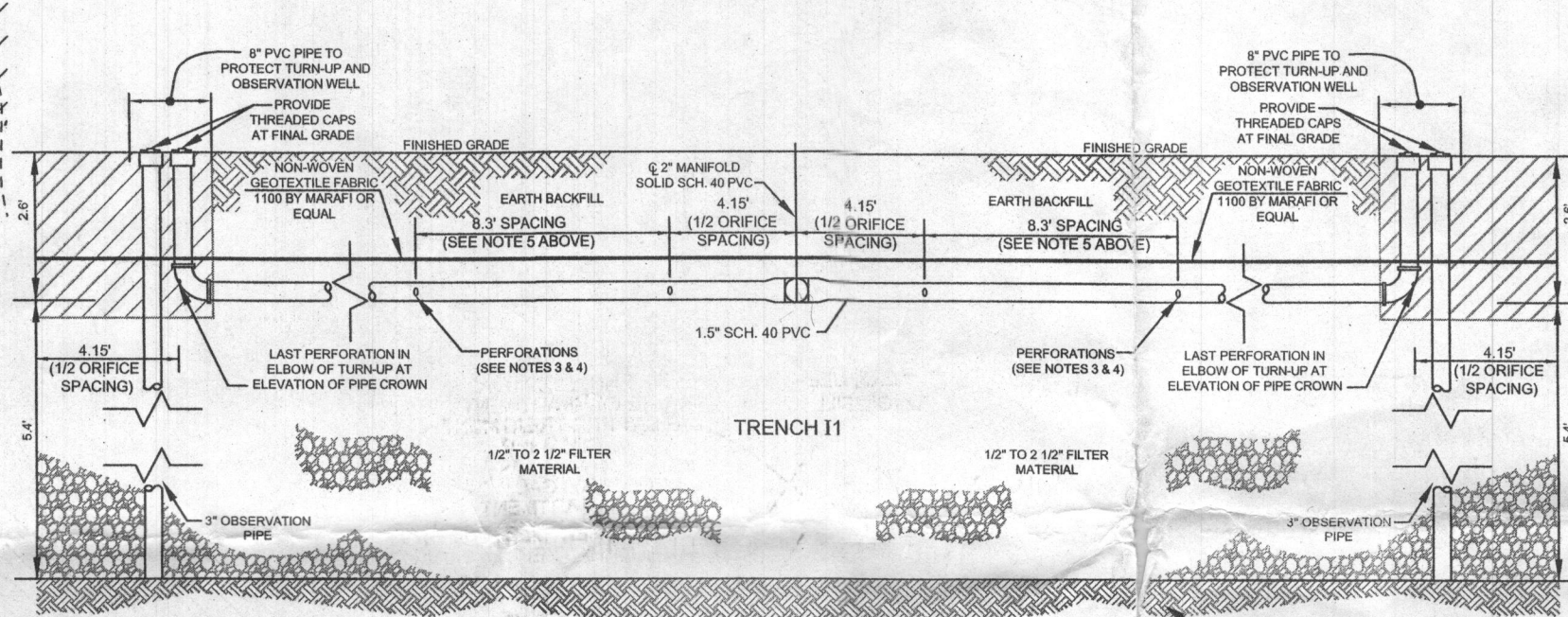
LEGEND

- EXISTING CONTOUR
EXISTING TREELINE
PROPOSED TREELINE
EX. APPROXIMATE WELL LOCATION
SOIL BOUNDARY
PROPOSED WELL LOCATION
PASSED PERCOLATION TEST LOCATION
FAILED PERCOLATION TEST LOCATION



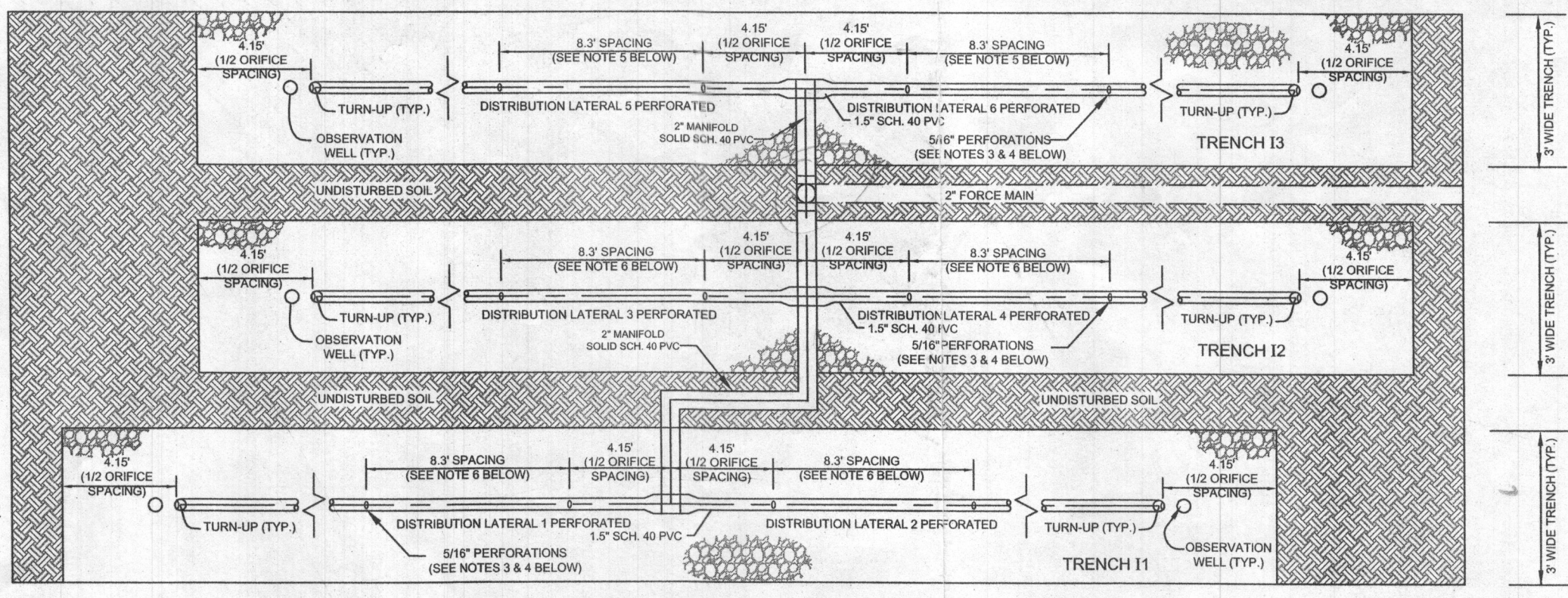
GENERAL NOTES

- SUBJECT PROPERTY ZONED RR-DEO PER 02/02/04 COMPREHENSIVE ZONING PLAN.
- TOTAL AREA OF PROPERTY = 2.99 AC±.
- PRIVATE WATER AND PRIVATE SEWER WILL BE USED WITHIN THIS SITE.
- THIS AREA DESIGNATES A PRIVATE SEWER AREA, AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL (COMAR 26.04.03). IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERAGE IS AVAILABLE. THESE AREAS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWERAGE AREA. RECORDATION OF A MODIFIED SEWERAGE AREA SHALL NOT BE NECESSARY.
- THE EXISTING TOPOGRAPHY SHOWN WITHIN THE SITE WAS FIELD RUN BY SHANABERGER & LANE IN APRIL 2018. THE EXISTING TOPOGRAPHY SHOWN OUTSIDE THE SITE IS BASED ON HOWARD COUNTY AERIAL TOPOGRAPHY FLOWN IN 2004.
- THE BOUNDARY, BEARINGS, AND DISTANCES SHOWN HEREON ARE FROM HOWARD COUNTY TAX MAP INFORMATION AND FROM DEEDS OR PLATS OF RECORD. THEY DO NOT REPRESENT A BOUNDARY SURVEY.
- PROPERTY ADDRESS: 3255 ROSCOMMON DRIVE, GLENELG, MD 21737
- REFERENCES:
 - PLAT: ROSCOMMON ESTATES, PLAT NO. 8262
 - DEED: LIBER 17715, FOLIO 437
- THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP, WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT.
- ANY CHANGES TO A PRIVATE SEWERAGE AREA SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
- ALL EXISTING WELLS, SEPTIC SYSTEMS AND SEWAGE DISPOSAL EASEMENTS WITHIN 100 FEET OF THE PROPERTY BOUNDARIES AND ALL EXISTING AND PROPOSED WELLS THAT ARE LOCATED WITHIN 200 FEET DOWN-GRADIENT OF EXISTING OR PROPOSED SEPTIC SYSTEMS AND SEWAGE DISPOSAL EASEMENTS HAVE BEEN LOCATED USING AVAILABLE RECORD DRAWINGS OR HAVE BEEN FIELD LOCATED.
- EXISTING WELLS MUST BE SEALED AND ABANDONED WITH COMPLETION REPORT SUBMITTED TO THE HEALTH DEPARTMENT, AND A NEW WELL MUST BE DRILLED WITH COMPLETION REPORT SUBMITTED TO THE HEALTH DEPARTMENT APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- THE EXISTING WELL MUST BE PROPERLY ABANDONED AND SEALED BY A LICENSED WELL DRILLER. THE DRILLER MUST COORDINATE WITH THE HEALTH DEPARTMENT PRIOR TO ABANDONMENT SO THAT THE HEALTH DEPARTMENT MAY BE RESENT ON-SITE TO OVERSEE THE ABANDONMENT. AN ABANDONMENT REPORT MUST BE SUBMITTED TO THE HEALTH DEPARTMENT FOR REVIEW PRIOR TO ISSUANCE OF A SEPTIC PERMIT.
- A PRE-TREATMENT UNIT SHALL BE REQUIRED FOR A DOWN GRADIENT WELL AND/OR FOR 3" FLUENT QUALITY STRONGER THAN 300 MGL BIOLOGICAL OXYGEN DEMAND OR 300 MGL SUSPENDED SOLIDS PER COMAR 26.04.02.
- THE SUBJECT PROPERTY WILL BE AN ASSISTED LIVING FACILITY WITH 8 BEDS.



DISTRIBUTION LATERAL PROFILE DOSING FIELDS

NOT TO SCALE



DOSING FIELD TRENCH DETAIL

NOT TO SCALE

- NOTES:
- CONTRACTOR TO BUILD / INSTALL 3' WIDE DISPOSAL TRENCHES.
 - DISTRIBUTION LATERALS TO BE INSTALLED ON LEVEL GRADE; BOTTOM OF TRENCH TO BE EXCAVATED ON LEVEL GRADE.
 - CONTRACTOR TO DRILL ORIFICES IN DISTRIBUTION LATERALS AS SHOWN, INSTALL PIPE ORIFICE DOWNWARD.
 - THE LAST HOLE IN THE LATERALS MUST BE LOCATED AT THE CROWN OF THE INVERT.
 - PERFORATION SPACING SHOWN IS FOR TRENCH 11. SEE LOW PRESSURE DOSING LATERAL DETAIL (SHEET 1) FOR SPACING OF ALL TRENCHES.
 - TERMS ORIFICE/ORIFICES AND PERFORATION/PERFORATIONS ARE INTERCHANGEABLE.

PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO SHOW THE LOCATION AND SPECIFICATIONS OF THE SEPTIC SYSTEM AND ITS COMPONENTS INCLUDING THE LOW PRESSURE DOSING DESIGN.

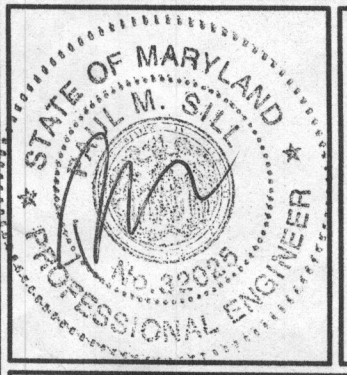
SITE PLAN FOR BAT INSTALLATION

ROSCOMMON ESTATES

LOT 9
3255 ROSCOMMON DRIVE

TAX MAP 22 GRID 1
3RD ELECTION DISTRICT

PARCEL 549
HOWARD COUNTY, MARYLAND



SILL ENGINEERING GROUP, LLC
11130 Dovedale Court, Suite 200
Marriottsville, Maryland 21104
Phone: 410.325.9076
Fax: 410.696.2022
Email: info@sillengineering.com
Civil Engineering for Land Development

DESIGN BY: PS
DRAWN BY: AEA
CHECKED BY: PS
SCALE: AS SHOWN
DATE: OCTOBER 12, 2018
PROJECT #: 18-061
SHEET #: 1 of 2

OWNER/DEVELOPER/PETITIONER

ELEONORA DON-MNEVICH
3255 ROSCOMMON DRIVE
GLENELG, MD 21737

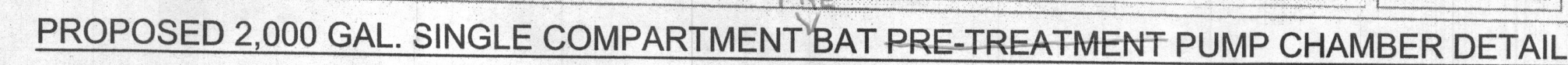
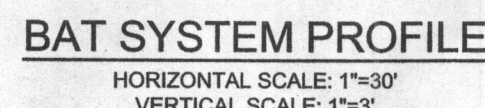
SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	GROUP	"K" FACTOR
GgB	GLENELG LOAM, 3 TO 8 PERCENT SLOPES	B	0.24
GgC	GLENELG LOAM, 8 TO 15 PERCENT SLOPES	B	0.24

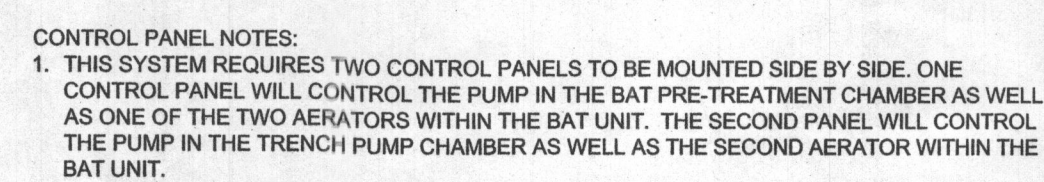
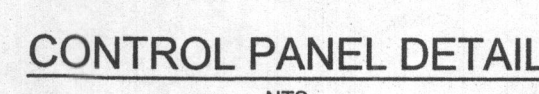
NOTES:
1) SOIL INFORMATION HAS BEEN TAKEN FROM THE UNITED STATES DEPARTMENT OF AGRICULTURE; NATURAL RESOURCES CONSERVATION SERVICE; WEB SOIL SURVEY, SOIL GRID 7, SUB-GRID 292.
2) HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR "K" GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.

PLAN VIEW

SCALE: 1"=30'

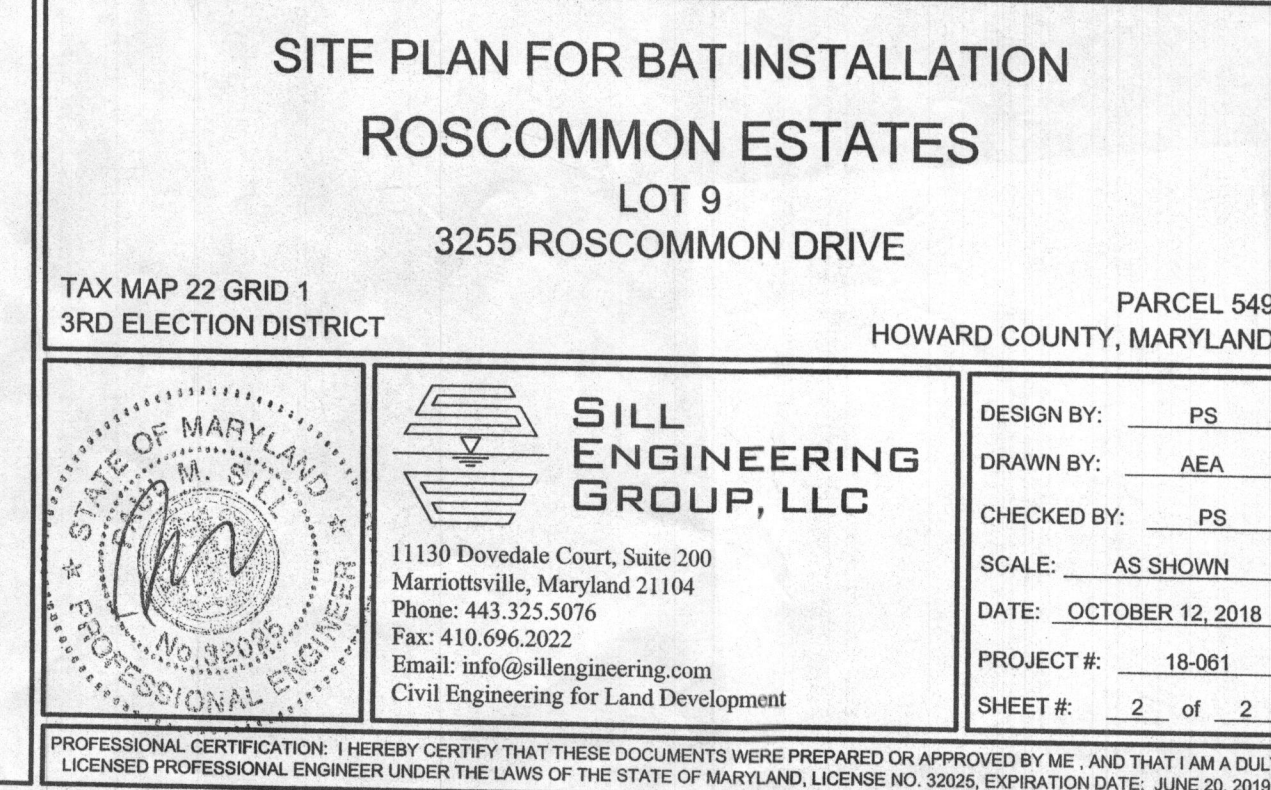


ELEONORA DON-MINEVICH
3255 ROSCOMMON DRIVE
GLENELG, MD 21737



1. ANY CHANGE TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
 2. THE MAXIMUM DEPTH OF THE BAT PUMP OR THE MANUFACTURER'S SPECIFICATION IS 9 FEET.
 3. THE BLOWER MAY NOT BE LOCATED MORE THAN 50 FEET FROM THE TANK BASED ON THE MANUFACTURER'S SPECIFICATIONS.
 4. THE BAT SYSTEM SHALL BE MAINTAINED AND OPERATED FOR THE LIFE OF THE SYSTEM. THE BLOWER SHALL BE MAINTAINED BY A CERTIFIED SERVICE PROVIDER.
 5. WITHIN ONE MONTH OF INSTALLATION, A PERSON INSTALLING THE BAT SYSTEM SHALL REPORT TO THE MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) IN A MANNER ACCEPTABLE TO MDE, THE ADDRESS AND DATE OF COMPLETION OF THE BAT INSTALLATION AND THE TYPE BAT INSTALLER.
 6. ELECTRICAL WORK FOR THE BAT INSTALLATION MUST BE PERFORMED BY A LICENSED ELECTRICIAN.
 7. AN AGREEMENT AND EASEMENT MUST BE COMPLETED AND SIGNED BY ALL APPLICABLE PARTIES, AND RECORDED IN LAND RECORDS OF HOWARD COUNTY.
 8. THE HEALTH DEPARTMENT REQUIRES DOCUMENTATION FOR THE START-UP CERTIFICATION FROM THE MANUFACTURER PRIOR TO FINAL APPROVAL OF THE INSTALLATION.
 9. DOSE OF THE BAT PRE-TREATMENT PUMP CHAMBER TO BE:
 - a. 50 GALLONS ON A PUMP RUN TIME OF 1.9 MINUTES (1 MIN., 51 SEC.).
 10. DOSE OF THE PUMP CHAMBER TO TRENCHES TO BE:
 - a. DEMAND DOSE OF 14 GALLONS PER 100 GPM OF FLOW.
 11. BAT PRE-TREATMENT PUMP TO BE A NORWECO HB105 PUMP OR EQUIVALENT.
 12. PUMP TO TRENCHES TO BE A MYERS MC3 SERIES PUMP OR EQUIVALENT.
 13. BAT PRE-TREATMENT PUMP CHAMBER TO BE THE BABYLON VALT CO. 2000 T.S. TWO COMPARTMENT CHAMBER OR EQUIVALENT.
 14. BAT PRE-TREATMENT PUMP CHAMBER TO BE THE BABYLON VALT CO. 2000 T.S. SINGLE COMPARTMENT CHAMBER OR EQUIVALENT.
 15. BAT PRE-TREATMENT PUMP CHAMBER TO BE THE BABYLON VALT CO. 2000 T.S. SINGLE COMPARTMENT CHAMBER OR EQUIVALENT.
 16. TRENCH TO BE A NEW YORK SINGLE WALL MODEL, THE 2000 GPM OR LARGER.
 17. PUMP CHAMBER TO BE THE BABYLON VALT CO. 2000 T.S. SINGLE COMPARTMENT CHAMBER OR EQUIVALENT.
 18. EFFICIENT FILTER MUST BE NSF CERTIFIED AND DESIGNED TO TREAT A MINIMUM OF 1,000 GPM.
 19. TDH (TOTAL DYNAMIC HEAD) = STATIC HEAD + DISTAL HEAD + FRICTION HEAD + LATERAL FRICTION HEAD SAFETY FACTOR $\cdot 4.81 + 2.0 \cdot 6.02 + 15 + 14.93$, USE 19'
18. PROPOSED FINAL GRADE

18. ALL RISERS TO BE 6" ABOVE FINAL GRADE



RECEIVED
OCT 12 2008
HONOLULU INTERNATIONAL
AIRPORT

$q = 11.32 \times 63 \sqrt{2.0}$
 $q = 1.63 \text{ ft}^3/\text{sec}$ per hole
 • Flow per lateral
 $1.63 \text{ ft}^3/\text{sec} \times 2.9 = 4.73$
 • Flow per system discharge
 $= 4.73 \times 8.16 = 38.8$

Approved Design System Plan
 Hawaii County Health Department
 Date Signature

TRENCH DESIGN CHART

DEPTH (ft)	1.0	1.5	2.0	2.5	3.0	3.5	4.0	4.5	5.0
1.0	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
1.5	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
2.0	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
2.5	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
3.0	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
3.5	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
4.0	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
4.5	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
5.0	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

BEWAGE DISPOSAL ARCHITECTURAL SINKING SUMMARY

LOCATION	DATE	DESCRIPTION	STATUS
1.0	10/12/08	Initial Design	Complete
1.5	10/12/08	Final Design	Complete
2.0	10/12/08	Construction	In Progress
2.5	10/12/08	Inspection	Pending
3.0	10/12/08	Approval	Pending
3.5	10/12/08	Final Review	Pending
4.0	10/12/08	Sign-off	Pending
4.5	10/12/08	Closeout	Pending
5.0	10/12/08	Final Report	Pending

