



Building Permit Application
Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: **9/12/19**
Permit No.: **B19003064**

<p>Building Address: <u>15217 Sweetbay Street</u> City: <u>Woodbine</u> State: <u>MD</u> Zip Code: <u>21797</u> Suite/Apt. #: _____ SDP/WP/BA #: _____ Subdivision: <u>Belle Haven Estates</u> Lot: <u>44</u> Tax Map: _____ Parcel: _____</p> <p>Existing Use: _____ Proposed Use: _____ Estimated Construction Cost: <u>\$100,000</u> Description of Work: <u>Addition of Mudroom (10'x16'), Breezeway, and Garage (26'8"x18').</u></p> <p>Occupant/Tenant Name: <u>Robert DelGaudio</u> Was tenant space previously occupied? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Contact Name: <u>Robert DelGaudio</u> Address: <u>15217 Sweetbay St.</u> City: <u>Woodbine</u> State: <u>MD</u> Zip Code: <u>21797</u> Phone: <u>240-793-7741</u> Fax: _____ Email: <u>rdelgaudio@verizon.net</u></p>	<p>Property Owner's Name: <u>Robert DelGaudio</u> Address: <u>15217 Sweetbay Street</u> City: <u>Woodbine</u> State: <u>MD</u> Zip Code: <u>21797</u> Phone: <u>240-793-7741</u> Fax: _____ Email: <u>rdelgaudio@verizon.net</u></p> <p>Applicant's Name & Mailing Address, (if other than stated herein) Applicant's Name: _____ Address: _____ City: _____ State: _____ Zip Code: _____ Phone: _____ Fax: _____ Email: _____</p> <p>Contractor Company: <u>Owner to act as Contractor</u> Contact Person: _____ Address: _____ City: _____ State: _____ Zip Code: _____ License No.: _____ Phone: _____ Fax: _____ Email: _____</p> <p>Engineer/Architect Company: <u>Jonathan Rivera Architecture</u> Responsible Design Prof.: <u>Jonathan Rivera</u> Address: _____ City: _____ State: _____ Zip Code: _____ Phone: <u>443-226-5745</u> Fax: _____ Email: <u>jrivera@jonathanrivera.com</u></p>																																																																														
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THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Robert DelGaudio
Email Address: rdelgaudio@verizon.net
Title/Company: _____

Print Name: Robert DelGaudio
Date: 9-11-19

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
-**FOR OFFICE USE ONLY.**-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials	<u>9/12/19</u>	<u>[Signature]</u>
PSZA (Zoning)		
PSZA (Engineering)	<u>9/12/19</u>	<u>[Signature]</u>
Health		

Is Sediment Control approval required for issuance? ☐ Yes ☐ No
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION	
Front:	
Rear:	
Side:	
Side-Set:	
All minimum setbacks met?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

Filing Fee	\$	
Permit Fee	\$	
Tech Fee	\$	
Excise Tax	\$	
PSFS	\$	
Guaranty Fund	\$	
Add'l per Fee	\$	
Total Fees	\$	<u>604.52</u>
Sub-Total Paid	\$	
Balance Due	\$	
Check	#	<u>158</u>

25
133.02
13.30
205.00
205.20

Distribution of Copies: White: Building Officials Green: PSZA/Zoning Yellow: PSZA/Engineering Pink: Health Gold: SHA

Delgandio Residence
P R O P O S E D A D D I T I O N
15217 Sweetbay Street, Woodbine, Maryland 21797

ISSUE DATES:

6-28-19	REVIEW SET
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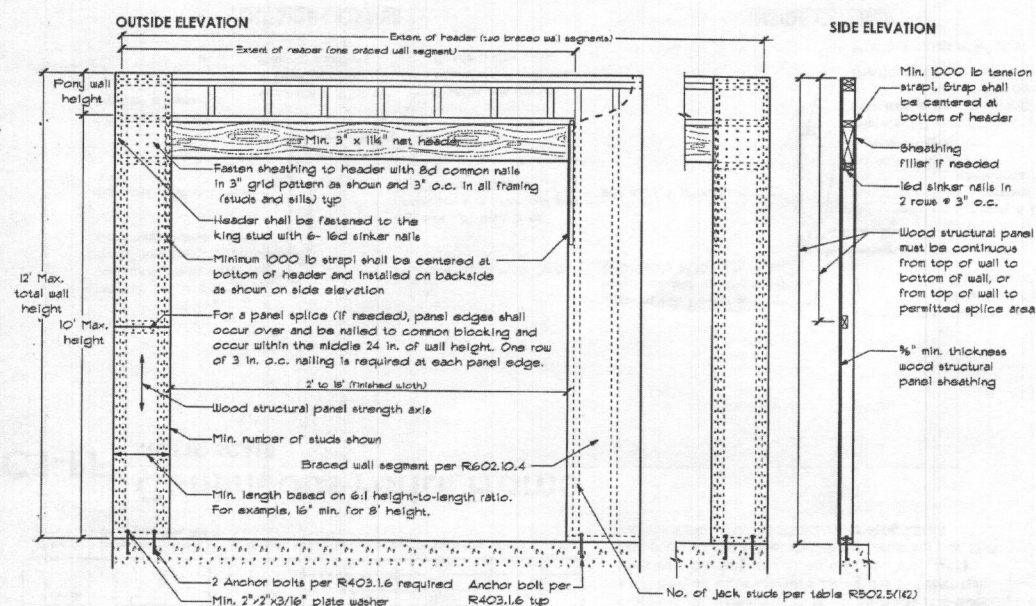
10-17-19 REVISION

SCALE: 1/4" = 1'-0"

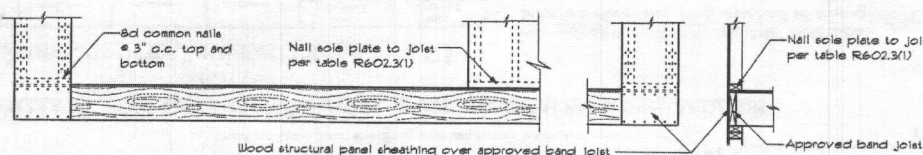
BRACING INFO

14.01

PRINT DATE :
Thursday, October 17, 2019



OVER CONCRETE OR MASONRY BLOCK FOUNDATION



OVER RAISED WOOD FLOOR OR SECOND FLOOR - WOOD STRUCTURAL PANEL OVERLAP OPTION

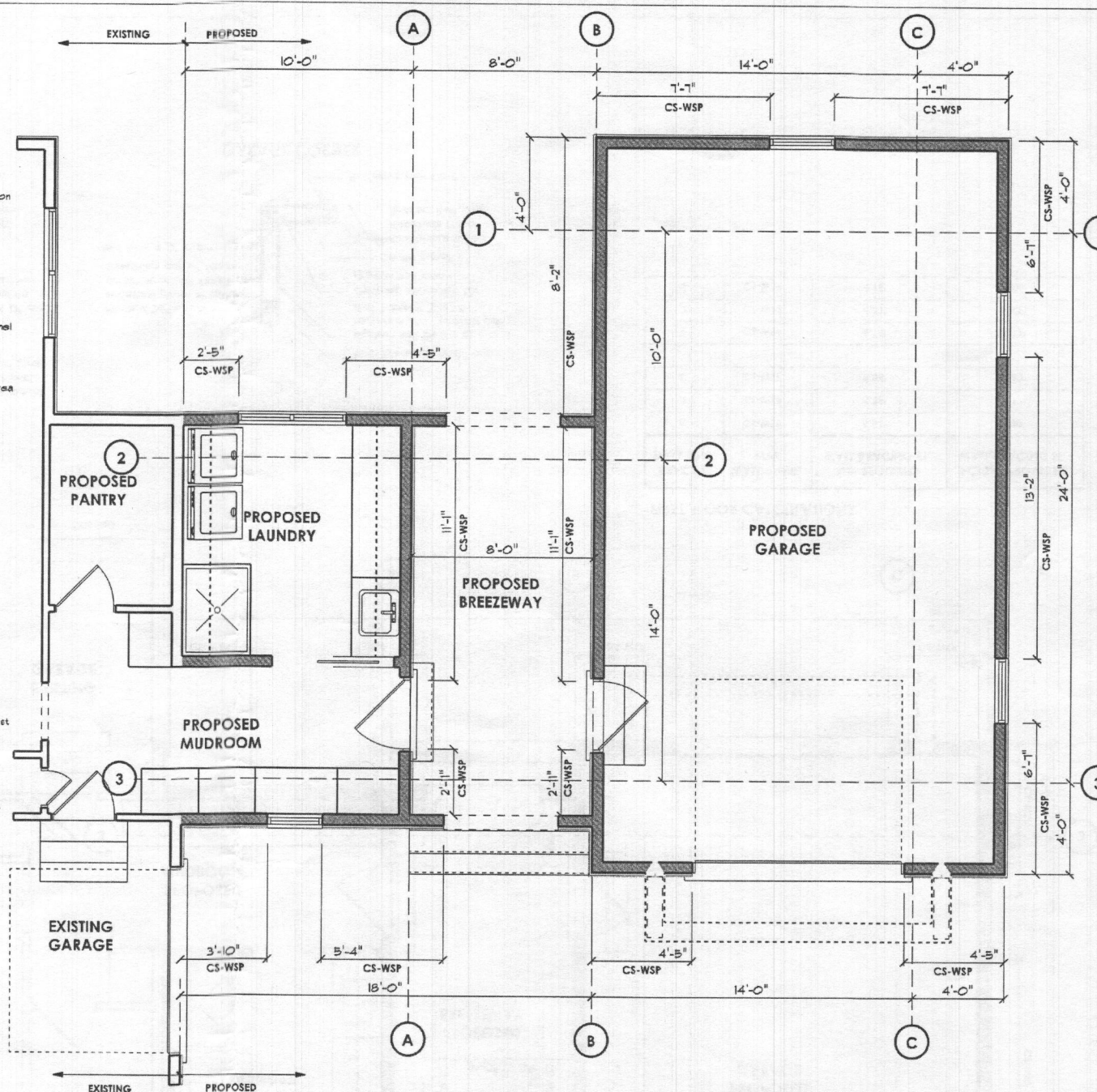
Tension Strap Capacity Required for Method CS-PF

Minimum Wall Stud Framing Nominal Size and Grade	Maximum Pony Wall Height (feet)	Maximum Total Wall Height (feet)	Maximum Opening Width (feet)	Tension strap capacity required (lb)	Wind Exposure B	Wind Exposure C
2x6 Stud Grade	2	2	0.00	9	1750	
			1/8	2080	3380	
			1/4	2410	4000	
	4	2	0	1500	2175	
			1/8	3100	DR	
			1/4	DR	DR	

Notes: 1. Basic Wind Speed of 90mph. For other Basic Wind Speeds, see IRC Table R602.10.4.1
2. DR = Design Required

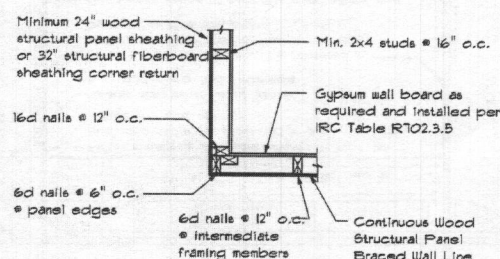
Method: WSP & CS-WSP: Min. 7/16" OSB Wood Structural Panel sheathing attached to framing with 6d at 6" o.c. at panel edges and 12" o.c. at intermediate framing members.

Note: At Braced Wall Lines incorporating Continuously Sheathed bracing methods (CS-WSP & CS-PF), all exterior walls along the Braced Wall Line must be fully sheathed with min 1/16" OSB Wood Structural Panel sheathing fastened per IRC Tables R602.3(1), R602.3(2), and R602.3(3).

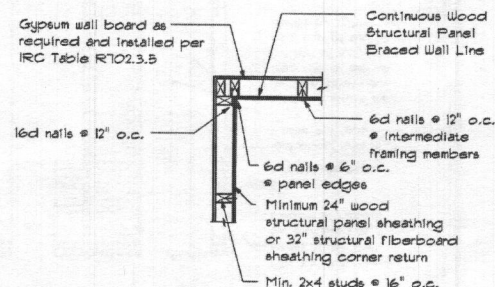


FIRST FLOOR CALCULATIONS

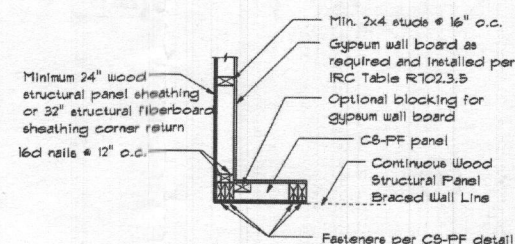
BRACED WALL LINE	WALL PANEL TYPE	NET REQUIRED WALL BRACING FT.	ACTUAL PROVIDED WALL BRACING FT.
A	CS-WSP	6.54'	14.00'
B	CS-WSP	5.88'	22.17'
C	CS-WSP	5.88'	26.33'
1	CS-WSP	6.15'	15.17'
2	CS-WSP	4.31'	6.83'
3	CS-WSP	6.15'	18.00'



OUTSIDE CORNER



INSIDE CORNER



GARAGE CORNER

CS-PF **Continuous Portal Frame**
NOT TO SCALE

Corner Framing Details

NOT TO SCALE

Delgandio Residence

PROPOSED ADDITION
15217 Sweetbay Street, Woodbine, Maryland 21797

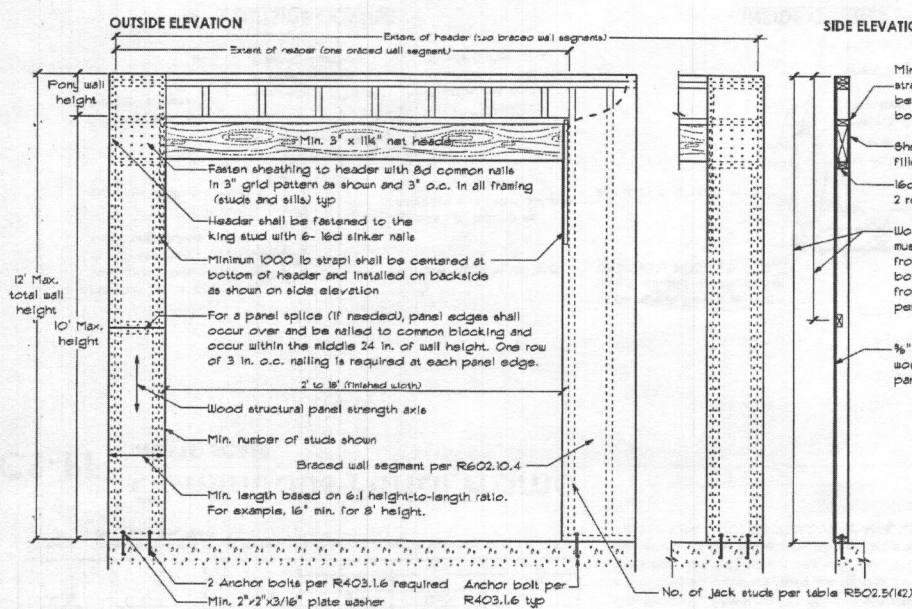
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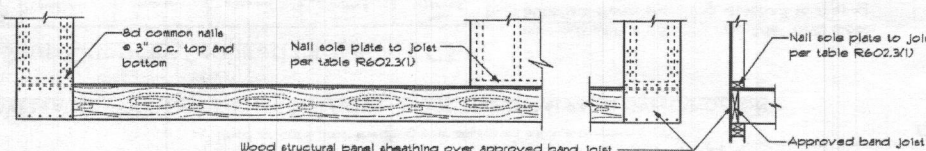
BRACING INFO

4.01

PRINT DATE:
Thursday, October 17, 2019



OVER CONCRETE OR MASONRY BLOCK FOUNDATION



OVER RAISED WOOD FLOOR OR SECOND FLOOR - WOOD STRUCTURAL PANEL OVERLAP OPTION

Tension Strap Capacity Required for Method CS-PF

Minimum Wall Stud Framing Nominal Size and Grade	Maximum Tension Strap Capacity (lb)	Maximum Tension Strap Capacity (lb)	Maximum Tension Strap Capacity (lb)	Wind Exposure B Tension strap capacity required (lb)	Wind Exposure C Tension strap capacity required (lb)
2x4 Stud Grade	2	2	2	1000	1500
	4	4	4	2000	3000
	6	6	6	3000	4500
	8	8	8	4000	6000
	10	10	10	5000	7500
	12	12	12	6000	9000

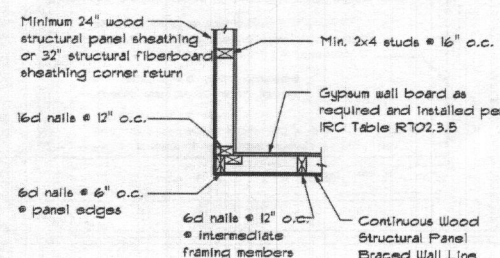
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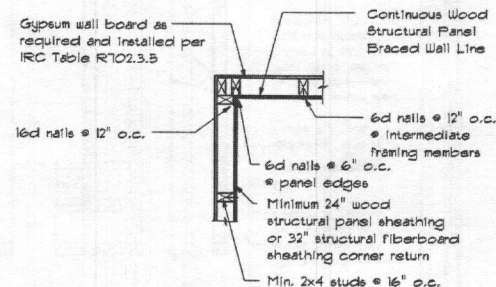
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CS-PF Continuous Portal Frame

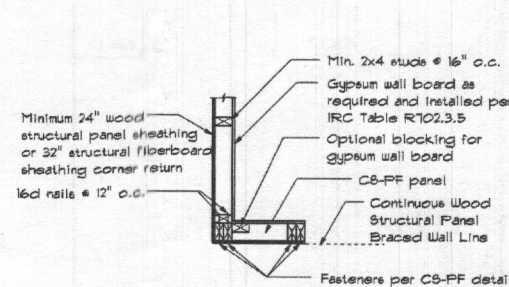
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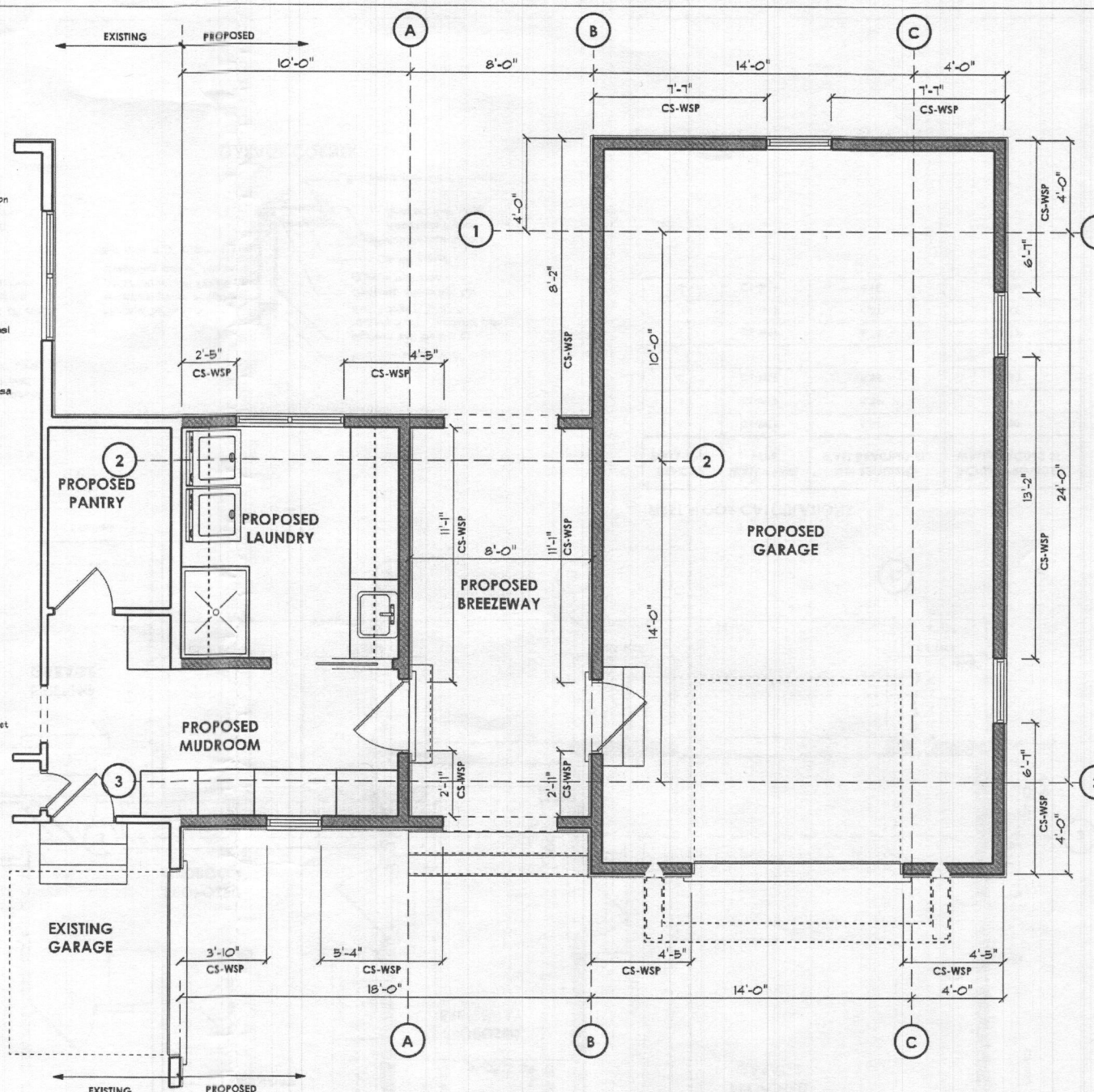
OUTSIDE CORNER



INSIDE CORNER

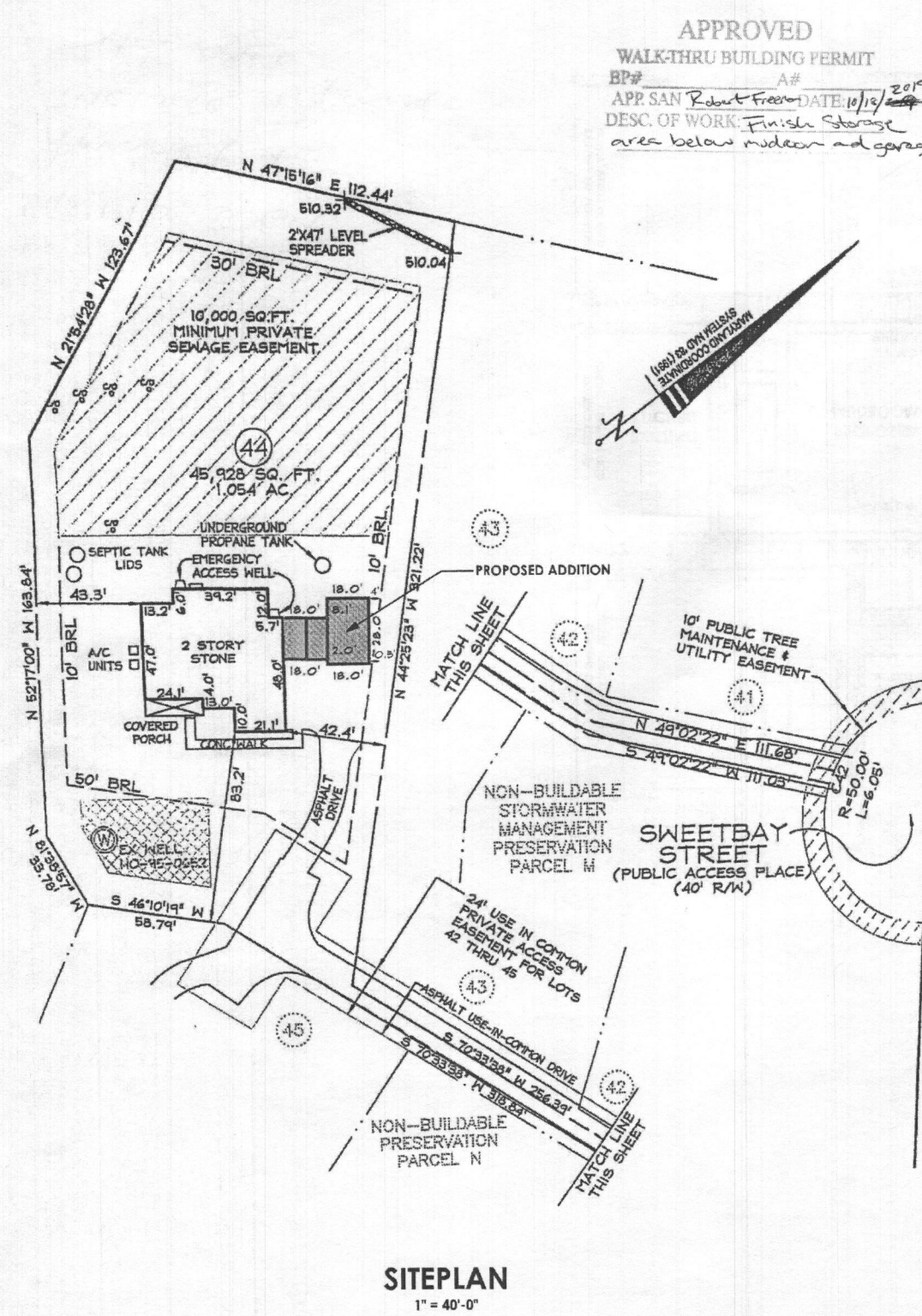


GARAGE CORNER



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SITEPLAN
1" = 40'-0"

APPROVED
WALK-THRU BUILDING PERMIT
BP# _____ A# _____
APP. SAN Robert Freeman DATE: 10/19/2019
DESC. OF WORK: Finish Storage
area below modern and garage

DESIGN CRITERIA

CLIMATE AND GEOGRAPHIC DESIGN CRITERIA - table 301.2 (1)

GROUND SNOW LOAD (lbs./s.f.)		30
WIND PRESSURE (pounds per square foot)		17 +/- (90 m.p.h.)
SEISMIC CONDITION BY ZONE		B
SUBJECT TO DAMAGE	WEATHERING	SEVERE
	FROST LINE DEPTH	30
	TERMITE	MODERATE
	DECAY	MODERATE
WINTER DESIGN TEMP. FOR HEAT. FACILITIES		13'
RADON RESISTANT CONSTRUCTION REQ		
FLOOD ZONE		

2018 IECC CODE COMPLIANCE

2018 IECC CODE COMPLIANCE
R301.1 Climate zone 4A

R401.2 Compliance Method: Mandatory and Prescriptive Provisions

R402.1.1 Vapor Retarder: Wall assemblies in the building thermal envelope shall comply with vapor retarder requirements of Section R702.7 of the International Residential Code, 2015 Edition.

R402.1.2 Attic Insulation: Raised Heel Trusses R-49 R-38

R402.1.2 Wood Frame Wall: R-20 or R13 + R5 continuous insulation.

R402.1.2 Basement Wall Insulation: R-13/R-10 Foil Faced Continuous, uninterrupted Batts Full Height

R402.1.2 Crawl Space Wall Insulation: R-13/R-10 Foil faced Continuous Batts Full Height extending from floor above to finishgrade level and then vertically or horizontally an additional 2' -0".

R402.1.2 Floor Insulation over Unconditioned Space: R-19 batt insulation.

R402.1.2 Window U-Value/SHGC: .35 (U-Value)/.40 (SHGC)

R402.2.10 Slab on Grade Floors Less Than 12" Below Grade: R-10 Rigid Foam Board Under Slab Extending Either 2' -0" Horizontally or 2'-0" Vertically

R402.2.4 Attic Access: Attic access scuttle will be weatherstripped and insulated R-49

R402.4 Building Thermal Envelope (air leakage): Exterior walls and penetrations will be sealed per this section of the 2015 IECC with caulk, gaskets, weatherstripping or an air barrier of suitable material. Sealing methods between dissimilar materials shall allow sealing for differential expansion and contraction.

R402.4.1.2 Building Thermal Envelope Tightness Test: Building envelope shall be tested and verified as having an air leakage rate of not exceeding 3 air changes per hour. Testing shall be conducted in accordance with ASTM E779 or ASTM E 1827 with (blower door) at a pressure of 0.2 inches w.g. (50 pascals). Testing shall be conducted by an approved third party. A written report of the results of the test shall be signed by the party conducting the test and provided to the building Inspector. 7/15

R402.4.2 Fireplaces: New wood burning fireplaces will have tight-fitting flue dampers or doors, and outdoor combustion air. Fireplace doors shall be listed and labeled in accordance with UL 127 (factory built fireplace) and UL 907 (masonry fireplace).

R402.4.4 Rooms containing fuel-burning appliances where open combustion air ducts provide combustion air to open combustion fuel burning appliances, the appliances and combustion air shall be located outside the building thermal envelope or enclosed in a room isolated from inside the thermal envelope. Exceptions: 1. Direct vent appliances with both intake and exhaust pipes installed continuous to the outside. 2. Fireplaces and stoves complying with Section R402.4.2 and Section R1006 of the IRC. ****

R402.4.5 Recessed Lighting: Recessed luminaires installed in the building thermal envelope shall be sealed to limit air leakage.

R403.1.1 Thermostat: All dwelling units will have at least (1) programmable thermostat for each separate heating and cooling system per 2015 IECC Section 403.1.1.

R403.1.2 Where a Heat pump system having supplementary electric resistance heat is used the thermostat shall prevent the supplementary heat from coming on when heat pump can meet heating load.

R403.3.1 Mechanical Duct Insulation: Supply and Return Ducts in Attic R-8 minimum, R-6 when less than 3 inches. Supply and Return Ducts outside of conditioned spaces R-8 minimum. All other ducts except those located completely inside the building thermal envelope R-6 minimum. Ducts located under concrete slabs must be R-6 minimum.

R403.3.2 Duct Sealing: All ducts, air handlers, filter boxes will be sealed. Joints and seams will comply with section M1601.4.1 of the IRC. A duct tightness test ("Duct Blaster" duct total leakage test) will be performed on all homes and shall be verified by either a post construction test or a rough-in test. Duct tightness test is not required if the air handler and all ducts are located within the conditioned space.

R403.6 Mechanical Ventilation: Outdoor (make-up and exhausts) air ducts to be provided with automatic or gravity damper that close when the ventilation system is not operating.

R403.6.1 Whole-house mechanical ventilation system fan efficiency to comply with TABLE R403.6.1.

R403.7 Equipment Sizing shall comply with R403.7.

R404.1 Lighting Equipment: A minimum of 75% of all lamps (lights) must be high-efficacy lamps. This contractor also responsible for generating Certificate of Compliance and affixing to electrical panel or within 6 feet of the electrical panel and be readily visible.

DRAWING LIST

0.01	COVER SHEET
0.02	GENERAL INFO
1.01	ELEVATIONS
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2.01	FOUNDATION
3.01	FIRST FLOOR PLAN
3.02	FRAMING DETAILS
3.03	ELECTRICAL PLAN
3.04	ROOF PLAN
4.01	BRACING PLAN AND DETAILS
5.01	SECTIONS
SN.1	STRUCTURAL NOTES
SN.2	STRUCTURAL NOTES
SN.3	STRUCTURAL NOTES
SF.1	FOUNDATION PLAN AND DETAILS
S1.1	FIRST FLOOR FRAMING

AREA INFO

FLOOR	ADDITIONAL S.F.
GARAGE	462 s.f.
FIRST FLOOR	178 s.f.
BASEMENT	782 s.f.
BREEZEWAY	134 s.f.

CODE INFORMATION

2018 International Residential Code
2018 International Energy Conservation Code
2018 International Mechanical Code
2018 International Plumbing Code
2018 NFPA 101 Life Safety Code
2018 National Electrical Code
with Local Amendments (NFPS 70)
2009 National Fuel Gas Code (NFPA 54)

ITEM OF NOTE

- Contractor, sub-contractor or supplier shall verify all job conditions and measurements prior to commencing work or ordering materials. Discrepancies between dimensions shown on drawings and actual field conditions should be brought to the Architect and Owner's attention immediately for clarification prior to proceeding with work. These plans are not to be scaled for Construction purposes. Written dimensions and notes supersede all scaled reference. If there are any conflicts, discrepancies or ambiguity with dimensioning the Contractor shall notify the Architect immediately for clarification. Field verify ALL proposed dimensions

- As a matter of record, JRArchitecture, LLC shall not be responsible for construction means and methods or omissions by the contractor, sub-contractor or any other persons performing work in accordance with these drawings.

- On this Project, the Contractor shall have sole supervision over, and exclusive responsibility for: demolition and temporary construction; construction means, methods, techniques, sequences, procedures, safety precautions and safety programs in connection with all demolition and construction work; and protection of persons and property during construction until final completion is attained. Services performed by Architect or its consultants during construction, if any, are intended to promote the goal that, in general, the construction work, when fully completed, will be consistent with the design intent reflected in the permit or construction drawings. Means and methods responsibility of the Contractor and Contractor shall separately engage specialty engineers or other consultants as required to fulfill this responsibility.

ARCHITECTURE
JONATHAN RIVERA
Principal Architect
(443) 226-5745
JONATHANRIVERA.COM

PROFESSIONAL CERTIFICATION
I certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland, License Number #14678 Expiration Date: 6/30/2020

Jonathan Rivera
License Number #14678

Delgandio Residence
PROPOSED ADDITION
15217 Sweetbay Street, Woodbine, Maryland 21797

ISSUE DATES:

6-28-19	REVIEW SET
10-17-19	REVISION

SCALE: 1/4" = 1'-0"

INFO SHEET
0.01
PRINT DATE:
Thursday, October 17, 2019

Delgandio Residence

PROPOSED ADDITION
15217 Sweetbay Street, Woodbine, Maryland 21797

ISSUE DATES:

4-28-19	REVIEW SET
10-17-19	REVISION

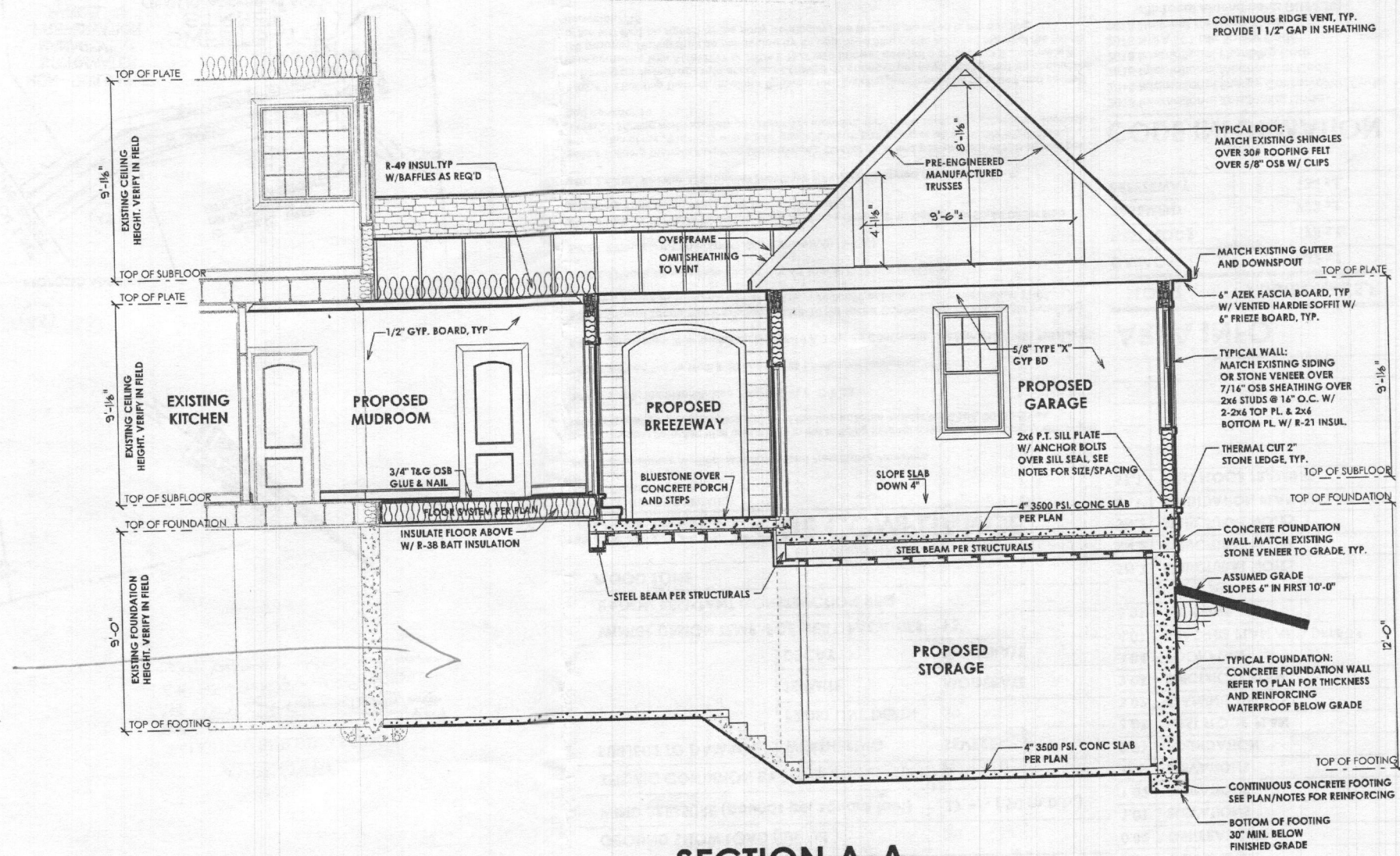
SCALE: 1/4" = 1'-0"

SECTIONS
5.01
PRINT DATE:
Thursday, October 17, 2019

SECTION NOTES

- 1) 2000 PSF MIN SOIL BEARING CAPACITY ASSUMED
- 2) BEAMS, JOISTS, HEADERS & RAFTERS TO BE SPF #1/#2 OR EQ. TYP THRUOUT U.N.O.
- 3) ALL LOCATIONS FOR HVAC, SUMP PUMPS, ROUGH-INS, H/W/H, A/H AND OTHER FEATURES ARE SUBJECT TO BUILDER DISCRETION ON SITE
- 4) FOUNDATION WALL MIN. THICKNESS 10" WHERE STEM WALL AT BRICK LEDGE EXCEEDS 16" HIGH
- 5) MIN. 1/2" HOOKED ANCHOR BOLTS EMBEDDED A MIN. 7" INTO CONC. SHALL BE SPACED AT 4' O.C. AND LOCATED 4" & 12" FROM EACH END OF ALL SILL PLATE PIECES.

APPROVED
WALK-THRU BUILDING PERMIT
BP# _____ A# _____
APP. SAN Robert Freeman DATE: 10/16/2018
DESC. OF WORK: Finish Storage area below mudroom and garage



SECTION A-A

B19003064
Amended to
include Proposed
Storage