Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 10/9/17

Permit No.: B19003428

Building Address: 13876 MILL CREEK COURT
City: _____ State: _____ Zip Code: _____
Suite/Apt. #_____ SDP/WP/BA #: _____
Census Tract: _____ Subdivision: _____
Section: _____ Area: _____ Lot: _____
Tax Map: _____ Parcel: _____ Grid: _____
Zoning: _____ Map Coordinates: _____ Lot Size: _____

Property Owner's Name: NRR INC
Address: 9720 Patuxent Woods Dr.
City: Columbia State: MD Zip Code: 21046
Phone: _____ Fax: _____
Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: MICHELLE CLANCY
Address: PO BOX 310
City: PERRY HALL State: MD Zip Code: 21128
Phone: 443-610-7514 Fax: _____
Email: MICHELLE@APPLIEDANDAPPROVED.COM

Existing Use: SFD
Proposed Use: SFD W/PROPANE TANK
Estimated Construction Cost: $ 4,000
Description of Work:
INSTALL 1000 GAL UNDERGROUND PROPANE TANK

Occupant/Tenant Name: OWNER
Was tenant space previously occupied? ☐Yes ☐No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Contractor Company: AIR GAS * Air Gas bought Tech Air
Contact Person: DENNIS FEAGA
Address: 6750 MACLEAN DRIVE
City: GLEN BURNIE State: MD Zip Code: 21060
License No.: 81215
Phone: 410-984-5681 Fax: _____
Email: _____

Engineer/Architect Company: CONTRACTOR
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	*Residential Building Characteristics*
Height:	☒ SF Dwelling ☐ SF Townhouse
No. of stories:	**Depth** **Width**
Gross area, sq. ft./floor:	1st floor:
	2nd floor:
Area of construction (sq. ft.):	Basement:
	☐ Finished Basement
Use group:	☐ Unfinished Basement
	☐ Crawl Space
Construction type:	☐ Slab on Grade
☐ Reinforced Concrete	No. of Bedrooms:
☐ Structural Steel	***Multi-family Dwelling***
☐ Masonry	No. of efficiency units:
☐ Wood Frame	No. of 1 BR units:
☐ State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
➢ **Roadside Tree Project Permit**	Footings:
☐Yes ☒No	Roof:
Roadside Tree Project Permit #	☐ State Certified Modular
	☐ Manufactured Home

Utilities	
Electric: ☐ Yes ☒ No	
Gas: ☒ Yes ☐ No	
Water Supply	
☐ Public	
☒ Private	
Sewage Disposal	
☐ Public	
☒ Private	
Heating System	
☐ Electric ☐ Oil	
☐ Natural Gas ☐ Propane Gas	
☐ Other:	
Sprinkler System:	
☐ Yes ☐ No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature — *Print Name*: MICHELLE CLANCY

MICHELLE@APPLIEDANDAPPROVED.COM
Email Address

Date: 10/9/19

PERMITS
Title/Company

Checks Payable to: **DIRECTOR OF FINANCE OF HOWARD COUNTY**
PLEASE WRITE NEATLY & LEGIBLY

-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	10/16/19	

Is Sediment Control approval required for issuance? ☐ Yes ☐ No
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION	
Front:	
Rear:	
Side:	
Side St.:	
All minimum setbacks met?	☐ Yes ☐ No
Is Entrance Permit Required?	☐ Yes ☐ No
Historic District?	☐ Yes ☐ No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

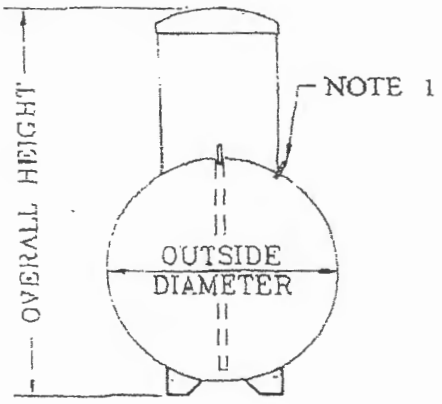
Filing Fee	$	100
Permit Fee	$	10
Tech Fee	$	
Excise Tax	$	
PSFS	$	
Guaranty Fund	$	
Add'l per Fee	$	
Total Fees	$	
Sub- Total Paid	$	110
Balance Due	$	
Check	#	

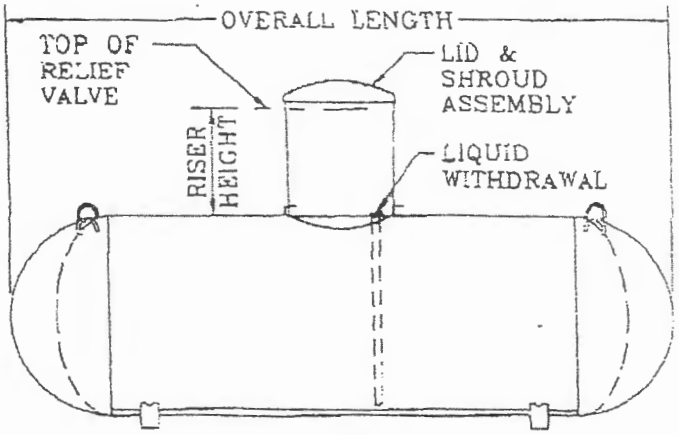
Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

T:\Operations\Updated Forms\Building applmp 03.21.2017.docx

TRINITY INDUSTRIES, INC.

Underground Vesse





General Specifications

Conforms to the latest edition and addenda of the ASME, Section VIII, div.1 code for Pressure Vessels. Complies with NFPA 58 and is listed by Underwriters Laboratories, Inc.

Rated at 250 psig from -20°F. to 125°F. All tanks may be evacuated to a full (14.7 psi) vacuum.

Vessel Finish: Coated with epoxy red powder.
Applicable federal, state or local regulations may contain specific requirements for protective coatings and cathodic protection. The purchaser and installer are responsible for compliance with such federal, state or local regulations.

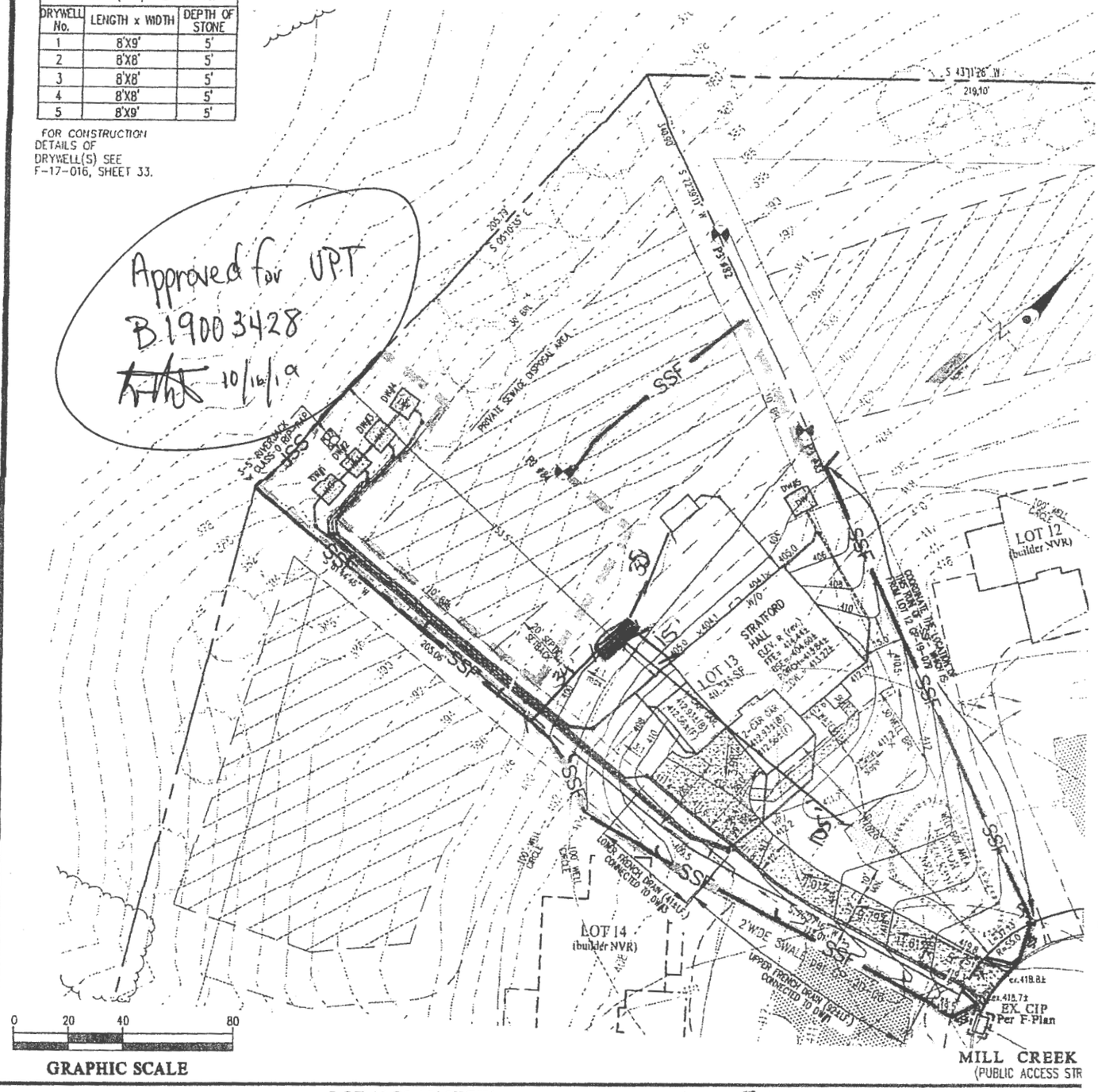
All vessel dimensions are approximate

WATER CAPACITY	OUTSIDE DIAMETER	HEAD TYPE	OVERALL LENGTH	OVERALL HEIGHT Riser Height 14"	OVERALL HEIGHT Riser Height 28"	WEIGHT	QUANTITY IN FULL LOAD
120 wg 454.2 L	24" 609.6 mm	Ellip	5' - 5 7/8" 1671.8 mm	3' - 9 7/8" 1165.2 mm	4' - 8 3/8" 1431.9 mm	252 lbs. 114.3 kg	63
250 wg 946.3 L	31.5" 800.1 mm	Hemi	7'- 2 1/2" 2197.1 mm	4' - 5 3/8" 1355.7 mm	5' - 3 3/8" 1609.7 mm	472 lbs. 214.1 kg	42
320 wg 1211.2 L	31.5" 800.1 mm	Hemi	8' - 11 3/4" 2736.9 mm	4' - 5 3/8" 1355.7 mm	5' - 3 3/8" 1609.7 mm	588 lbs. 266.7 kg	35
500 wg 1892.5 L	37.42" 950.5 mm	Hemi	9' - 10" 2997.2 mm	4' - 11 3/8" 1506.6 mm	5' - 9 7/8" 1773.2 mm	921 lbs. 417.8 kg	25
1000 wg 3785.0 L	40.96" 1040.4 mm	Hemi	15' - 10 7/8" 4846.6 mm	5' - 2 7/8" 1597.0 mm	6' - 1 3/8" 1863.7 mm	1731 lbs. 785.2 kg	15
2000 wg 3785.6 L	46.614" 1183.9 mm	Ellip	23' - 9 3/8" 7248.5 mm	5' - 8 13/16" 1747.8 mm	6' - 7 5/16" 2014.5 mm	3685 lbs. 1671.4 kg	8

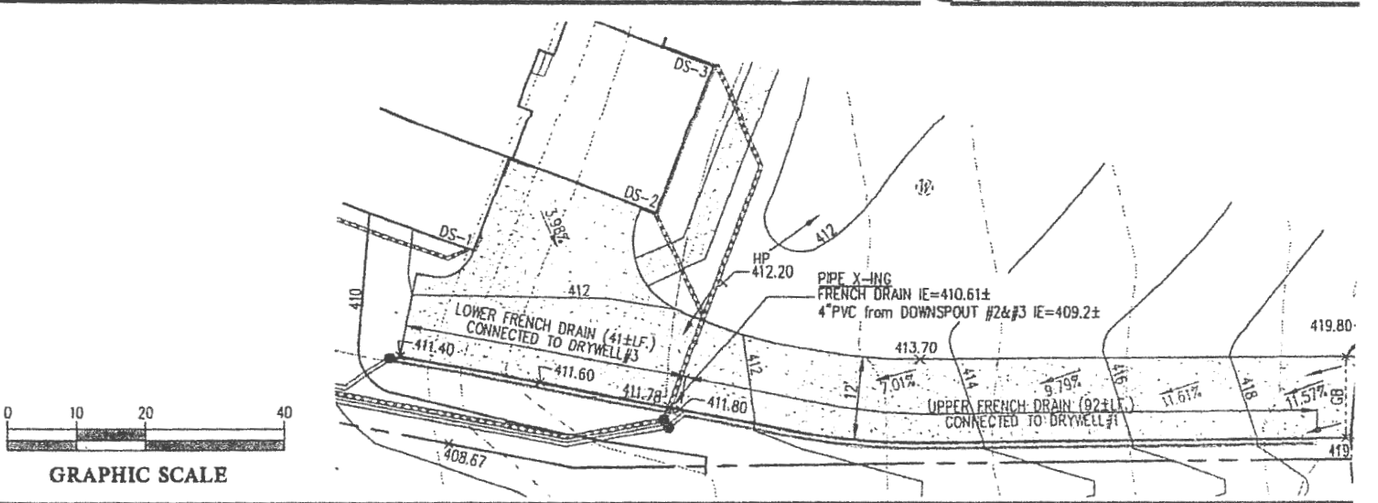
DRYWELL (M-5) SIZE CHART		
DRYWELL No.	LENGTH x WIDTH	DEPTH OF STONE
1	8'X9'	5'
2	8'X8'	5'
3	8'X8'	5'
4	8'X8'	5'
5	8'X9'	5'

FOR CONSTRUCTION DETAILS OF DRYWELL(S) SEE F-17-016, SHEET 33.

Approved for UPT
B 1900 3428
10/16/19



LOT 13 PLAN VIEW SCALE: 1-50



FRENCH DRAIN PLAN VIEW SCALE: 1"=20'

NOTE: THE FRONT DOOR FOR LOT 13 FACES EAST

BUILDING PERMIT PLOT PLAN

GLW PLANNING | ENGINEERING | SURVEYING

DES.
DRN.
CHK.

PREPARED FOR :
NVR INC.
9720 PATUXENTS WOODS DRIVE
COLUMBIA, MD 21045
PH: 410-379-5956

CRAWFORD SUBDIVISION
LOT 13 (13876 MILL CREEK CT.)
Plat No. 24600-24607

G. L. W. No.	
ZONING	R
TAX MAP/GRID	34
DATE	A
SCALE	A
SHEET	

Underground

Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 8/9/19

Permit No.: B190026637

Building Address: 13876 Mill Creek Court
City: Clarksville State: MD Zip Code: 21029
Suite/Apt. #: ___ SDP/WP/BA #: GP 20-005
Subdivision: Mill Creek
Lot: 13 Tax Map: ___ Parcel: ___

Existing Use: Vacant lot
Proposed Use: Single family home
Estimated Construction Cost: $ 230,000
Description of Work: New 2 story "Stratford Hall" EV R, with 2 car garage, 1 car side attached garage, and finished lower level (Rec rm, Bedroom, Bathroom + wet Bar)

Occupant/Tenant Name: ___
Was tenant space previously occupied? ☐Yes ☐No
Contact Name: ___
Address: ___
City: ___ State: ___ Zip Code: ___
Phone: ___ Fax: ___
Email: ___

Property Owner's Name: NVR Inc.
Address: 9720 Patuxent Woods Dr
City: Columbia State: MD Zip Code: 21046
Phone: 410-379-5956 Fax: ___
Email: ___

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: Decatur Building Services
Address: PO Box 552
City: Woodbine State: MD Zip Code: 21797
Phone: 443-309-7792 Fax: ___
Email: jim@decaturbuildingservices.com

Contractor Company: NV Homes
Contact Person: Clint Cagle
Address: 9720 Patuxent Woods Dr
City: Columbia State: MD Zip Code: 21046
License No.: 56
Phone: 410-379-5956 Fax: ___
Email: ccagle@nvrinc.com

Engineer/Architect Company: ___
Responsible Design Prof.: ___
Address: ___
City: ___ State: ___ Zip Code: ___
Phone: ___ Fax: ___
Email: ___

Commercial Building Characteristics	*Residential Building Characteristics*
Height:	☑ SF Dwelling ☐ SF Townhouse
No. of stories:	**Depth** **Width**
Gross area, sq. ft./floor:	1st floor: 54 x 68
	2nd floor: 48 x 54
Area of construction (sq. ft.):	Basement: 54 x 68
	☑ Finished Basement
Use group:	☐ Unfinished Basement
	☐ Crawl Space
Construction type:	☐ Slab on Grade
☐ Reinforced Concrete	No. of Bedrooms: 5
☐ Structural Steel	***Multi-family Dwelling***
☐ Masonry	No. of efficiency units:
☐ Wood Frame	No. of 1 BR units:
☐ State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
➢ **Roadside Tree Project Permit**	Footings:
☐Yes ☑No	Roof:
Roadside Tree Project Permit #	☐ State Certified Modular
	☐ Manufactured Home

Utilities	
Electric: ☑Yes ☐ No	
Gas: ☑Yes ☐ No	
Water Supply	
☑Public	
☐Private	
Sewage Disposal	
☐ Public	
☐Private	
Heating System	
☑ Electric ☐ Oil	
☐Natural Gas ☐ Propane Gas	
☐ Other:	
Sprinkler System:	
☐Yes ☐ No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature — *Print Name*: Jim Kerwin

Email Address: jim@decaturbuildingservices.com — *Date*: 8/9/2019

Title/Company: agent/NV Homes

RECEIVED
AUG 09 2019
LICENSES & PERMITS DIVISION

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	8-28-19	Bernard

Is Sediment Control approval required for issuance? ☑ Yes ☐ No
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION	
Front:	
Rear:	
Side:	
Side St.:	
All minimum setbacks met?	☐ Yes ☐No
Is Entrance Permit Required?	☐ Yes ☐No
Historic District?	☐ Yes ☐No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

Filing Fee	$ 100
Permit Fee	$
Tech Fee	$
Excise Tax	$
PSFS	$
Guaranty Fund	$ 50
Add'l per Fee	$
Total Fees	$
Sub- Total Paid	$
Balance Due	$
Check	# 271478

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

T:\Operations\Updated Forms\BuildingPermitApplication03.29.2018.docx

13876 Mill Creek Court
Lot 13

STRATFORD HALL

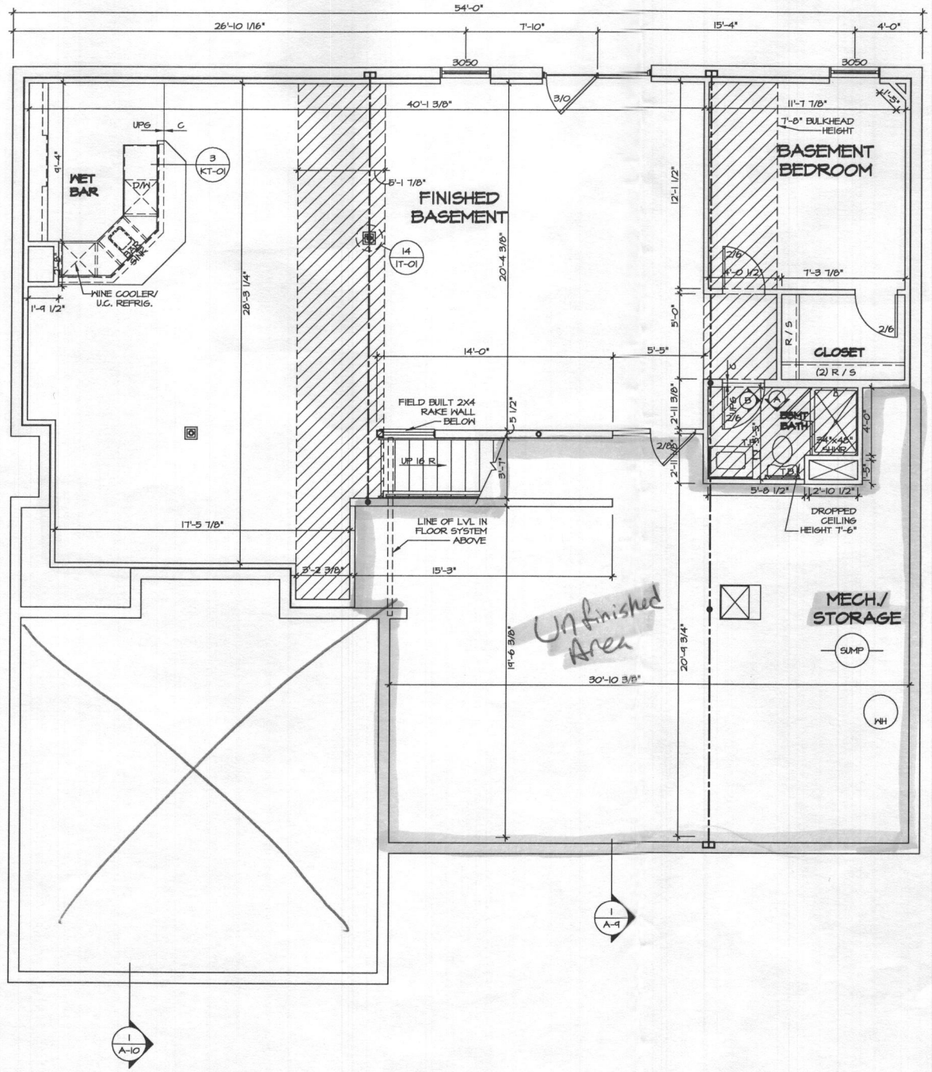
Health Dept

B19002637

NVR

NVR, Inc.
5285 Westview Drive, Suite 100
Frederick, MD 21703

| | FULL BASEMENT | | |



BASEMENT FLOOR PLAN

1/A-6 SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

1. ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (3) 2x6 w/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
2. ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
3. ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED
4. HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
5. SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
6. SEE STANDARD DETAIL CATEGORY "11" SHEET(S) FOR INTERIOR TRIM DETAILS.
7. SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
8. ALL WINDOWS HAVE 7'-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
9. ALL CASED OPENINGS AT 7'-1", UNLESS OTHERWISE NOTED.

GYPSUM NOTES

AT GARAGE:

5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.

AT STAIRS:

1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET

WITH OPTION "SCI" - DRYWALL UNFINISHED BASEMENT CEILING AREA

NOTES:

- 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED
- A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0"x8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
- PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

LEGEND

- BEARING WALL
- NON BEARING WALL
- ⊗ INDICATES BEARING FROM POINT-LOAD ABOVE
- JACKS
- (B_) BEAM/HEADER
- (F_) PAD FOOTING
- (C_) STEEL COLUMN
- (X) PORTAL FRAME
- (X) JOIST/TRUSS
- L_ LVL
- (X) ENGINEERING PAGE NUMBER

SEE FC DETAILS FOR FRAMING CONNECTORS

REV. NO.	DATE	REMARKS
1	01/24/17	TH - STANDARD DETAILS 9.0

©NVR, Inc. The owner, expressly reserves its copyright and other property rights in these plans whether published or not. These plans may not be reproduced, changed, or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without first obtaining the express written consent of NVR, Inc.

NVR

NVR, Inc.
5285 Westview Dr., Suite 100
Frederick, MD 21703

SHEET NO. A-6

MODEL: STRATFORD HALL

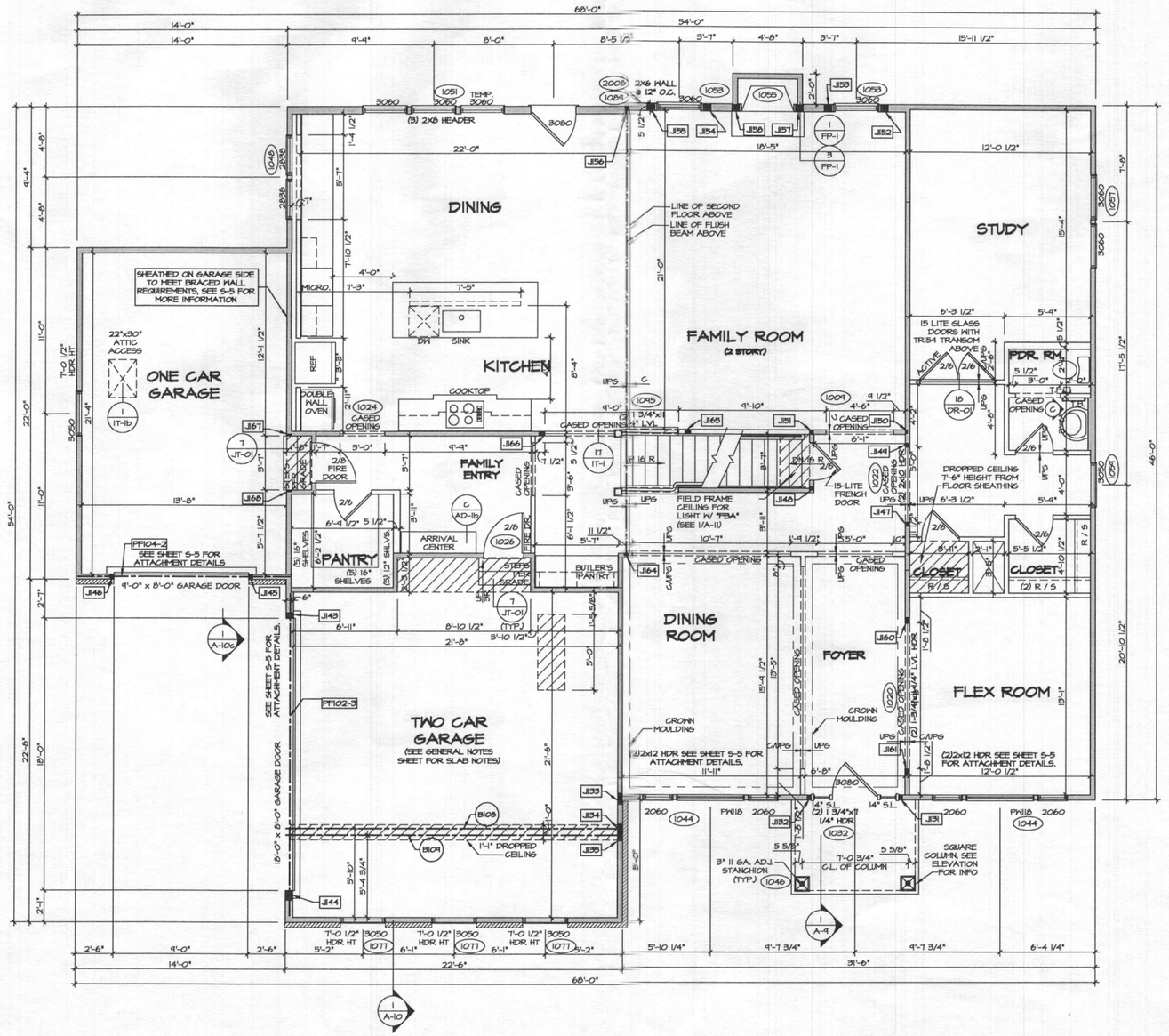
DRAWING TITLE: BASEMENT FLOOR PLAN

OPTION DESCRIPTION

SET NO. 11900
VERSION 01
DRAWN BY BIM
DATE:
OPTION

27

G:\NVR\Solves\STRATFORD HALL_11900_01\MOE-MC-001\X\326218\Sheets\Lot Specific\27 A-6 BSMT LS.dwg 08/07/19 - 2:24 pm



FIRST FLOOR PLAN

(1 / A-7) SCALE: 1/4" = 1'-0"

FOR NOTES AND SCHEDULES SEE PAGE A-7b

REV. NO.	DATE	REMARKS
1	1/24/17	TM - STANDARD DETAILS 9.0

©NVR, Inc., expressly reserves its copyright and other property rights to these plans. They are not to be reproduced, changed or copied in any form or manner whatsoever nor are they to be assigned to any third party, without first obtaining the express written consent of NVR, Inc.

NVR

NVR, Inc.
5285 Westview Drive, Suite 100
Frederick, MD 21703

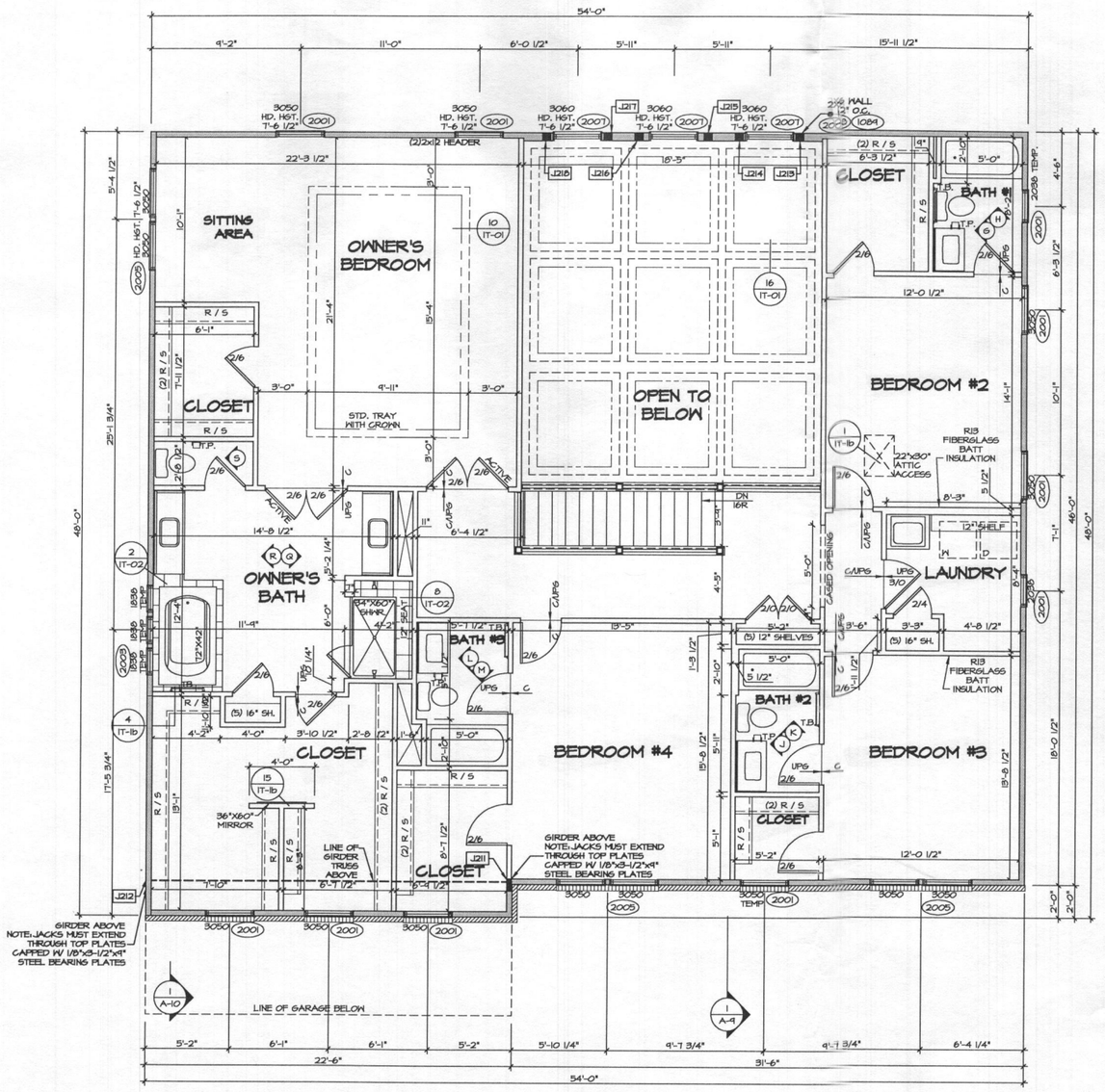
SET NO. 11600
VERSION 01
DRAWN BY BIM
DATE:
OPTION

MODEL: STRATFORD HALL
DRAWING TITLE: FIRST FLOOR PLAN
OPTION DESCRIPTION

SHEET NO. A-7

29

C:\NVR\Solver\STRATFORD HALL 11600_01\VDE-MC-001\1.1\26216\Sheets\Lot Specific\26 A-7 PLN LIS MIRROR.dwg 08/07/19 - 2:24 pm



1 SECOND FLOOR PLAN
1 / A-8 — SCALE: 1/4" = 1'-0"

1ST FLOOR PLAN NOTES

1. ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (3) 2x6 w/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
2. ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
3. ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED
4. HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
5. SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
6. SEE STANDARD DETAIL CATEGORY "IT" SHEET(S) FOR INTERIOR TRIM DETAILS.
7. SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
8. ALL WINDOWS HAVE 7'-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
9. ALL CASED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.

LEGEND

- BEARING WALL
- NON BEARING WALL
- ⊗ INDICATES BEARING FROM POINT-LOAD ABOVE
- JL JACKS
- BL BEAM/HEADER
- FL PAD FOOTING
- CL STEEL COLUMN
- X PORTAL FRAME
- X JOIST/TRUSS
- LVL
- (X) ENGINEERING PAGE NUMBER

SEE FG DETAILS FOR FRAMING CONNECTORS

SECOND FLOOR JACK SCHEDULE

IDENTIFIER	DESCRIPTION	OPTIONS	ENG. NUM.	REMARKS
J211	JACK - (6) 2X4 SPRI		2008	
J212	JACK - (6) 2X4 SPRI		2008	
J213	JACK - (4) 2X6 SPF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J214	JACK - (4) 2X6 SPF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J215	JACK - (4) 2X6 SPF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J216	JACK - (4) 2X6 SPF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J217	JACK - (4) 2X6 SPF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J218	JACK - (4) 2X6 SPF #2 STUD GRADE		2007	FULL HEIGHT STUDS

REV. NO.	DATE	REMARKS
1	01/24/17	TH - STANDARD DETAILS 9.0

©NVR, Inc., expressly reserves its copyright and other property rights to these plans. These plans are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without first obtaining the expressed written consent of NVR, Inc.

NVR

NVR, Inc.
5285 Westview Drive, Suite 100
Frederick, MD 21703

SHEET NO. A-8

MODEL: STRATFORD HALL
DRAWING TITLE: SECOND FLOOR PLAN

SET NO. 11400
VERSION 01
DRAWN BY BIM
DATE:
OPTION

OPTION	DESCRIPTION
32.1	

G:\NVR\Solves\STRATFORD HALL_11300_01\MOE-MC-001\1326218\Sheets\Lot Specific\A32.1 A-8 PLN2_LS.dwg 08/07/19 - 2:24 pm

13876 Mill Creek Court
Lot 13

STRATFORD HALL

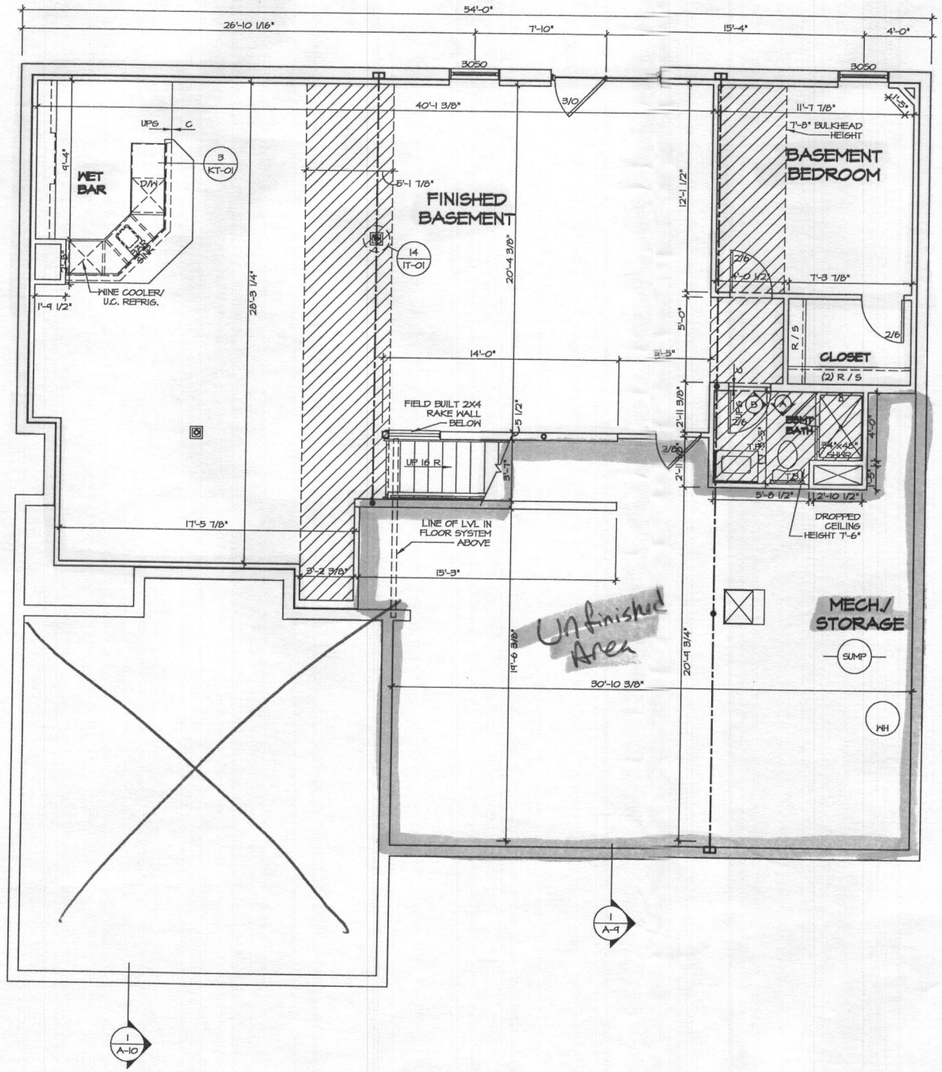
Health Dept.

B19002637

NVR

NVR, Inc.
5285 Westview Drive, Suite 100
Frederick, MD 21703

| | FULL BASEMENT | | |



1 A-6 BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

1. ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (3) 2x6 w/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
2. ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
3. ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED
4. HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
5. SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
6. SEE STANDARD DETAIL CATEGORY "IT" SHEET(S) FOR INTERIOR TRIM DETAILS.
7. SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
8. ALL WINDOWS HAVE 7'-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
9. ALL CASED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.

GYPSUM NOTES

AT GARAGE:

5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.

AT STAIRS:

1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET

WITH OPTION "SC1" - DRYWALL UNFINISHED BASEMENT CEILING AREA

NOTES:

- 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED
- A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0"x8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
- PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

LEGEND

- BEARING WALL
- NON BEARING WALL
- INDICATES BEARING FROM POINT-LOAD ABOVE
- JACKS
- BEAM/HEADER
- PAD FOOTING
- STEEL COLUMN
- PORTAL FRAME
- JOIST/TRUSS
- LVL
- ENGINEERING PAGE NUMBER

SEE FC DETAILS FOR FRAMING CONNECTORS

REV. NO.	DATE	REMARKS
1	01/24/17	TM - STANDARD DETAILS 3.0

© NVR, Inc.
The owner, expressly reserves its copyright and other property rights in these plans. These plans are not to be reproduced, changed, or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without first obtaining the expressed written consent of NVR, Inc.

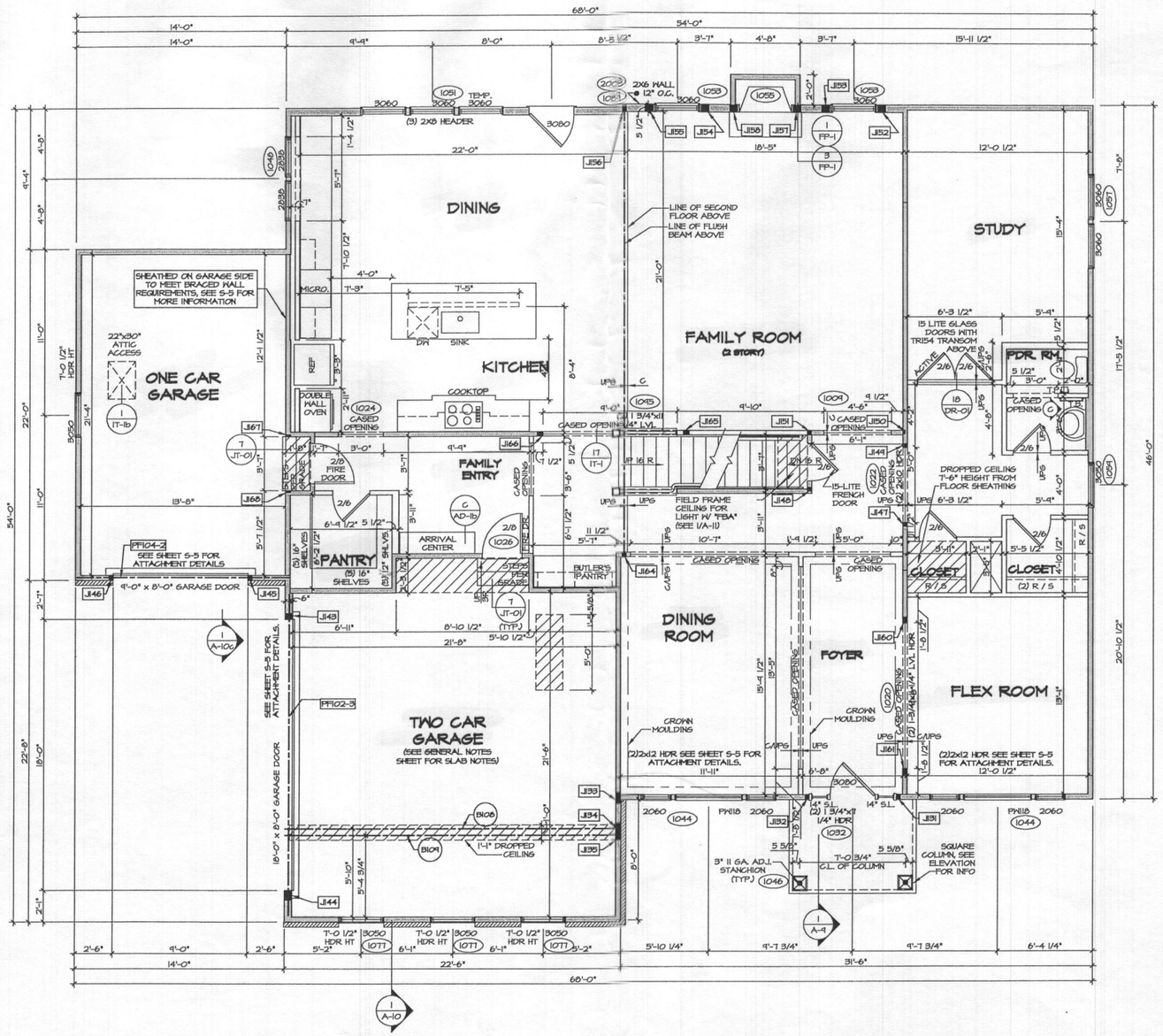
NVR
NVR, Inc.
5285 Westview Drive, Suite 100
Frederick, MD 21703

SET NO. 11900
VERSION 01
DRAWN BY BIM
DATE:
OPTION

MODEL
STRATFORD HALL
DRAWING TITLE
BASEMENT FLOOR PLAN
OPTION DESCRIPTION

SHEET NO.
A-6

C:\NVR\Solves\STRATFORD HALL 11900_01\MDE-MC-0013\1326218\Sheets\Lot Specific\27 A-6 BSMT LS.dwg 08/07/19 - 2:24 pm



FIRST FLOOR PLAN

(1 / A-7) SCALE: 1/4" = 1'-0"

FOR NOTES AND SCHEDULES SEE PAGE A-7b

REV. NO.	DATE	REMARKS
1	1/24/11	TM - STANDARD DETAILS 3.0

©NVR, Inc., copyright reserves to its respective, exclusive rights in these plans. These plans are not to be changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without first obtaining the expressed written consent of NVR, Inc.

NVR
NVR, Inc.
5285 Westview Drive, Suite 100
Frederick, MD 21703

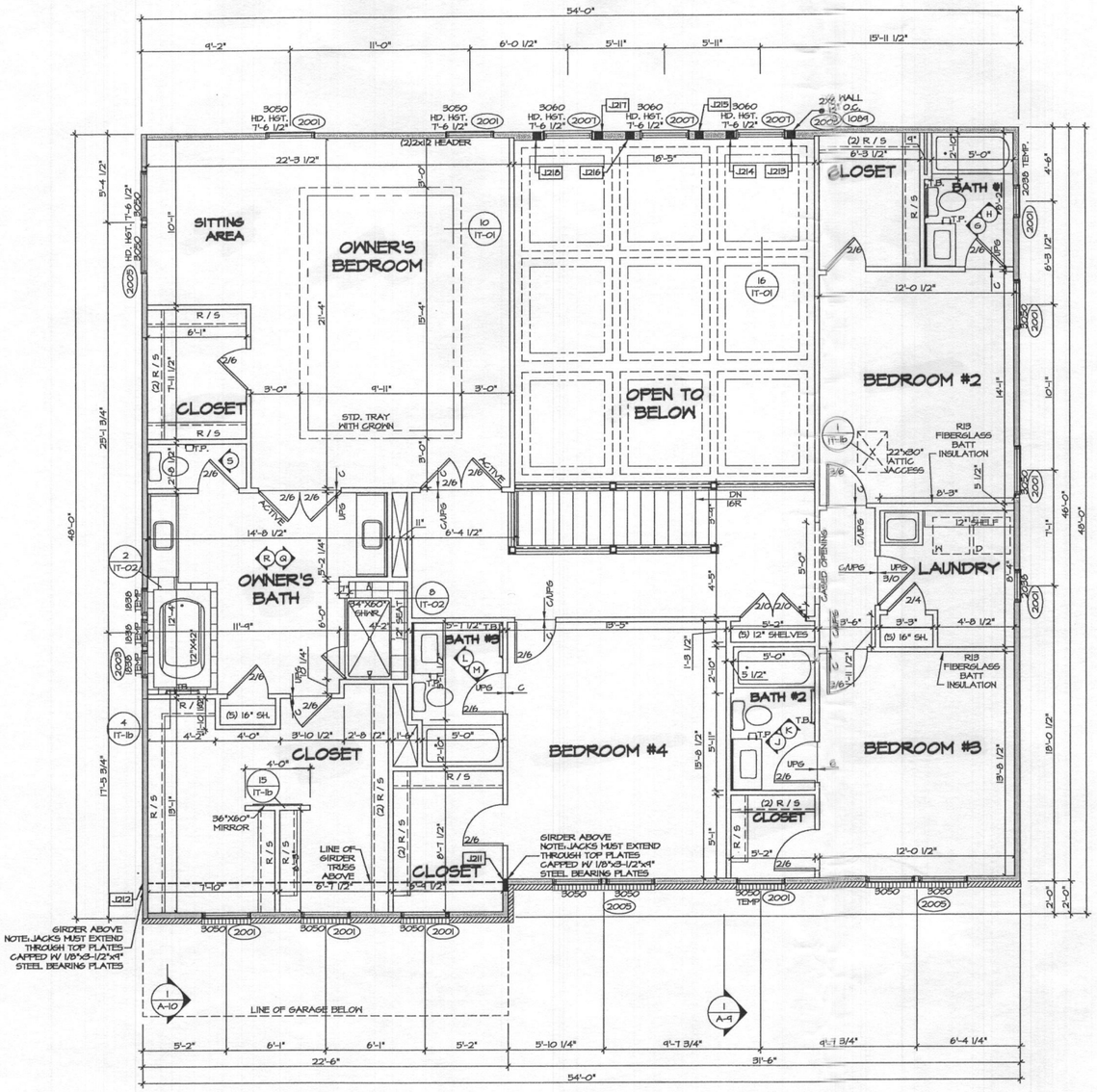
SET NO. 11400
VERSION 01
DRAWN BY BIM
DATE:
OPTION

MODEL STRATFORD HALL
DRAWING TITLE FIRST FLOOR PLAN

OPTION	DESCRIPTION
29	

SHEET NO. A-7

C:\NVR\Solvers\STRATFORD HALL_11400_01\W0E-MC-001\1342218\Sheets\1of Specific\29 A-7 PLN1_US MIRROR.dwg 08/07/19 - 2:24 pm



SECOND FLOOR PLAN

1 / A-8

SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

1. ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (3) 2x6 w/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
2. ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
3. ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED
4. HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
5. SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
6. SEE STANDARD DETAIL CATEGORY "IT" SHEET(S) FOR INTERIOR TRIM DETAILS.
7. SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
8. ALL WINDOWS HAVE 1'-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
9. ALL CASED OPENINGS AT 1'-11", UNLESS OTHERWISE NOTED.

LEGEND

- BEARING WALL
- NON BEARING WALL
- ⊗ INDICATES BEARINGS FROM POINT-LOAD ABOVE
- JL_ JACKS
- BL_ BEAM/HEADER
- FP_ PAD FOOTING
- CC_ STEEL COLUMN
- X PORTAL FRAME
- X JOIST/TRUSS
- LVL
- (X) ENGINEERING PAGE NUMBER

SEE FC DETAILS FOR FRAMING CONNECTORS

SECOND FLOOR JACK SCHEDULE

IDENTIFIER	DESCRIPTION	OPTIONS	ENG. NUM.	REMARKS
J211	JACK - (6) 2X4 SPF#		2008	
J212	JACK - (6) 2X4 SPF#		2008	
J213	JACK - (4) 2X6 SPF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J214	JACK - (4) 2X6 SPF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J215	JACK - (4) 2X6 SPF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J216	JACK - (4) 2X6 SPF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J217	JACK - (4) 2X6 SPF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J218	JACK - (4) 2X6 SPF #2 STUD GRADE		2007	FULL HEIGHT STUDS

REV. NO.	DATE	REMARKS
1	01/24/17	TM - STANDARD DETAILS 9.0

©NVR, Inc.
The owner, expressly reserves its common law copyright and other property rights in these plans. These plans are not to be reproduced, changed, or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without first obtaining the express written consent of NVR, Inc.

NVR

NVR, Inc.
5285 Westview Drive, Suite 100
Frederick, MD 21703

SHEET NO. A-8

MODEL: STRATFORD HALL
DRAWING TITLE: SECOND FLOOR PLAN
OPTION DESCRIPTION

SET NO. 11900
VERSION 01
DRAWN BY BJM
DATE:
OPTION

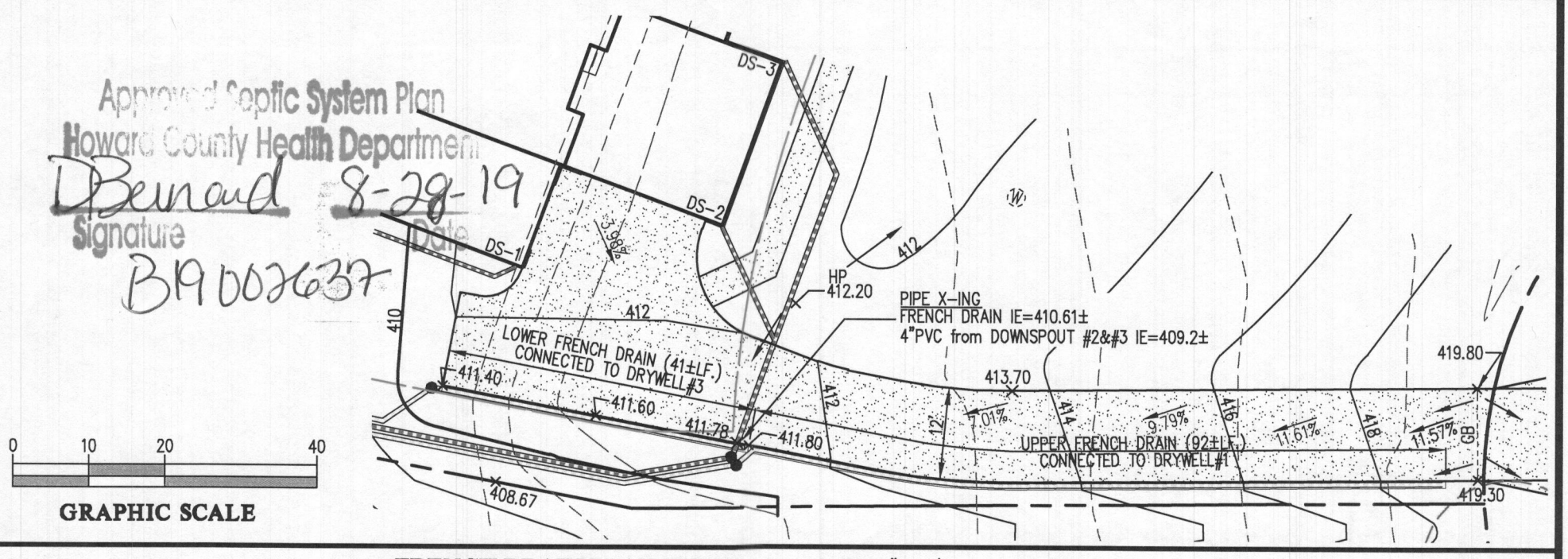
32.1

G:\NVR Solves\STRATFORD HALL_11900_01\W08-MC-001\X1\326218\Sheets\Lot Specific\32.1_A-8_PLN2_LS.dwg 08/07/19 - 2:24 pm

DRYWELL (M-5) SIZE CHART		
DRYWELL No.	LENGTH x WIDTH	DEPTH OF STONE
1	8'X9'	5'
2	8'X8'	5'
3	8'X8'	5'
4	8'X8'	5'
5	8'X9'	5'

FOR CONSTRUCTION DETAILS OF DRYWELL(S) SEE F-17-016, SHEET 33.

LOT 13 PLAN VIEW SCALE: 1"=40'



FRENCH DRAIN PLAN VIEW SCALE: 1"=20'

NOTE: THE FRONT DOOR FOR LOT 13 FACES EAST

BUILDING PERMIT PLOT PLAN

GLW PLANNING | ENGINEERING | SURVEYING

L:\CADD\DRAWINGS\17071\PLANS BY GLW\PLOT PLANS\LOT 13\17071 MC_LOT 13 PLOT PLAN.dwg

DES.
DRN.
CHK.

PREPARED FOR :
NVR INC.
9720 PATUXENTS WOODS DRIVE
COLUMBIA, MD 21045
PH: 410-379-5956

CRAWFORD SUBDIVISION
LOT 13 (13876 MILL CREEK CT.)
Plat No. 24600-24607

G. L. W. No.	17071
ZONING	RR-DEO
TAX MAP/GRID	34&39-19&6
DATE	AUG. 2019
SCALE	AS SHOWN
SHEET	1 OF 1