

LAYOUT 9/9/10 INSP 4 _____
INSP 2 9/10/10 INSP 5 _____
INSP 3 9/13/10 INSP 6 _____

ISSUE DATE:

8/25/10

PERMIT

P 533996

APPROVAL DATE:

9/21/2010

A _____

Tax ID #

**ON-SITE SEWAGE DISPOSAL SYSTEM
HOWARD COUNTY HEALTH DEPARTMENT
BUREAU OF ENVIRONMENTAL HEALTH**

South Carroll

IS PERMITTED TO

INSTALL ☒ ALTER ☐

ADDRESS:

PHONE NUMBER:

410.875.4197

SUBDIVISION:

Saddlebrook Farm

LOT NUMBER:

Par F

ADDRESS:

10141 Saddlebrook Farm Trail

PROPERTY OWNER:

NVR Inc.

SEPTIC TANK CAPACITY (GALLONS):

1500

OUTLET BAFFLE FILTER REQUIRED ☐

PUMP CHAMBER CAPACITY (GALLONS):

COMPARTMENTED TANK REQUIRED ☒

NUMBER OF BEDROOMS:

4

APPLICATION RATE: 1.2

SQUARE FOOTAGE OF HOUSE:

Unkwn

85'-90'

LINEAR FEET OF TRENCH REQUIRED:

200-175'

TRENCHES:	Trenches to be 2.0 feet wide. Inlet 4.0 feet below original grade. Bottom maximum depth 8.0 feet below original grade. Effective area begins at 7.0 feet below original grade with 4.0 feet of stone below distribution pipe.
LOCATION:	Run 2x40' and 2 x 60' trenches on contour.
NOTES:	Do not order the septic tank until after layout inspection and Sanitarian approval. Stake easement corners. Call for layout inspection. Mark utilities. Gravel tickets must be available for Environmental Sanitarians. Stone must be approved by the Howard County Health Department. A written variance request is required for tanks deeper than 3 feet. A traffic bearing lid is required for tanks deeper than 4 feet.

PLANS APPROVED:

Heidi Scott

DATE:

8/24/10

NOTE: PERMIT VOID AFTER 2 YEARS

NOTE: CONTRACTOR RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION INSPECTION FOR ALL INSTALLATIONS

NOTE: WATERTIGHT SEPTIC TANKS REQUIRED

NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE 100 FEET FROM ANY WATER WELL

NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS

**NEITHER THE HOWARD COUNTY COUNCIL OR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR
THE SUCCESSFUL OPERATION OF ANY SYSTEM
PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT
CALL 410-313-1771 FOR INSPECTION OF SEPTIC SYSTEM**

NOT TO SCALE

See As-Built Drawing
On Separate Sheet

ROAD NAME

TRENCH/DRAINFIELD DATA

WIDTH 2' INLET 3.5'-4' BOTTOM 7.5'-8'

NUMBER OF TRENCHES 2

TOTAL LENGTH 175'

ABSORPTION AREA 700

DISTRIBUTION BOX LEVEL Levelers

DISTRIBUTION BOX BAFFLE Yes

DISTRIBUTION BOX PORT Yes

SEPTIC TANK DATA

SEPTIC TANK 1 LEVEL Yes

MANUFACTURER Babylon

CAPACITY 2000 GAL

SEAM LOC Top

TANK LID DEPTH 0.5'-2'

BAFFLES Yes

BAFFLE FILTER No

MANHOLE LOC Front + Rear

6" PORT LOC None

WATERTIGHT TEST No

SLOTTED Yes

DATE ON LID 7/28/2010

PUMP/SEPTIC TANK LEVEL N/A

MANUFACTURER _____

CAPACITY _____ GAL

SEAM LOC _____

TANK LID DEPTH _____

BAFFLES _____

BAFFLE FILTER _____

MANHOLE LOC _____

6" PORT LOC _____

WATERTIGHT TEST _____

SLOTTED _____

DATE ON LID _____

PRE-CONSTRUCTION:

9/9/2010 Install a top 85' trench and a lower 90' trench on contour across the top of the easement. Put the tank and box near where shown on the BP plan. (BB)

INSTALLATION:

9/10/2010 Tank set. House connection made. Most of top trench done. Hit a pocket of rock near end of top trench. O.K. to make trenches 6" shallower. Hopefully rock doesn't increase further downhill. (BB) 9/13/2010 Rock vein getting dramatically worse as you move downhill. Stopped second trench at 45'. Install another 45' trench below it. (BB) 9/21/2010 Trenches finished. Bottom trench too close to middle trench. (BB)

FINAL INSPECTOR

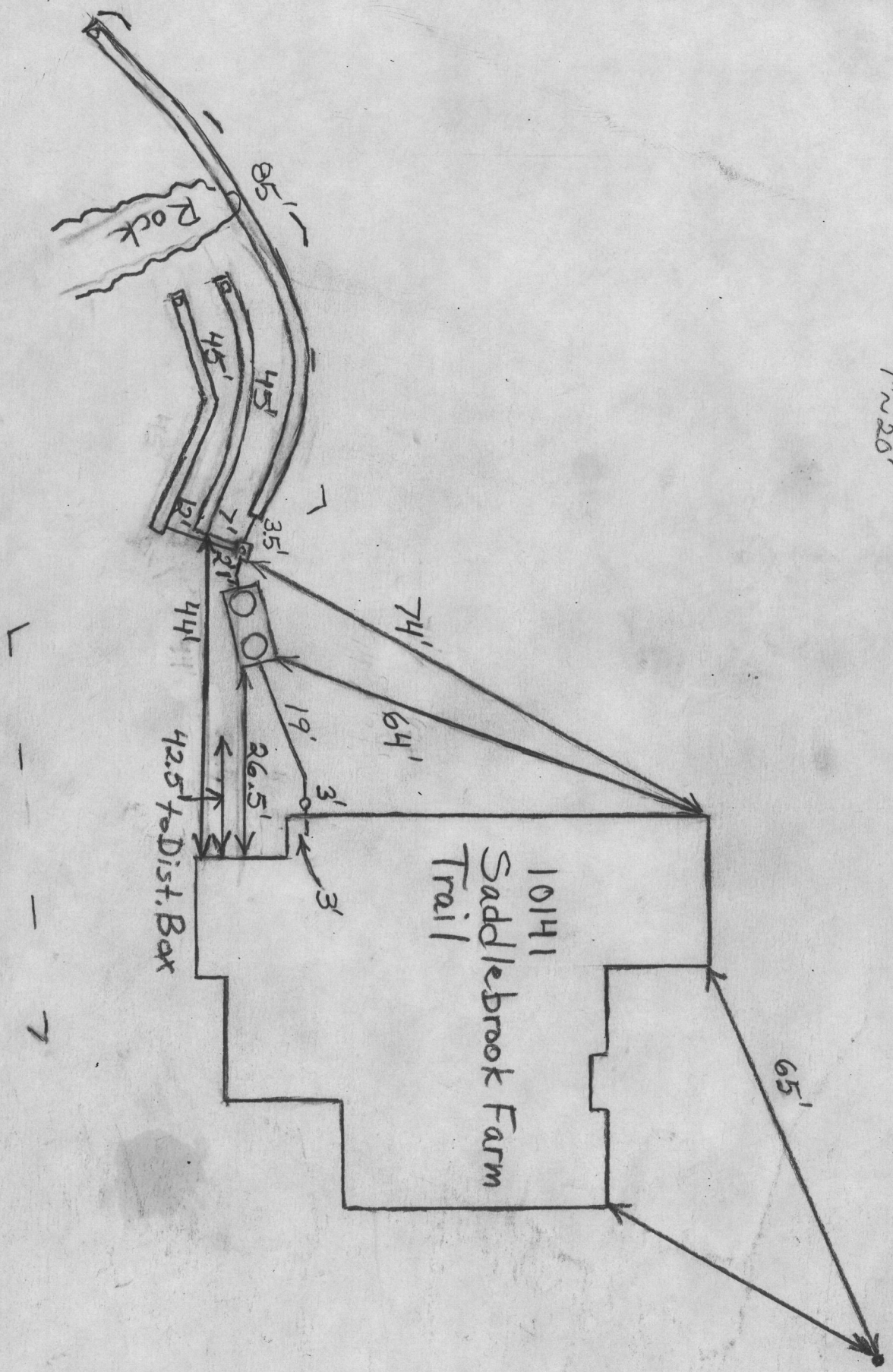
B. Baker

DATE OF APPROVAL

9/21/2010

1" ~ 20'

HO-95-0343



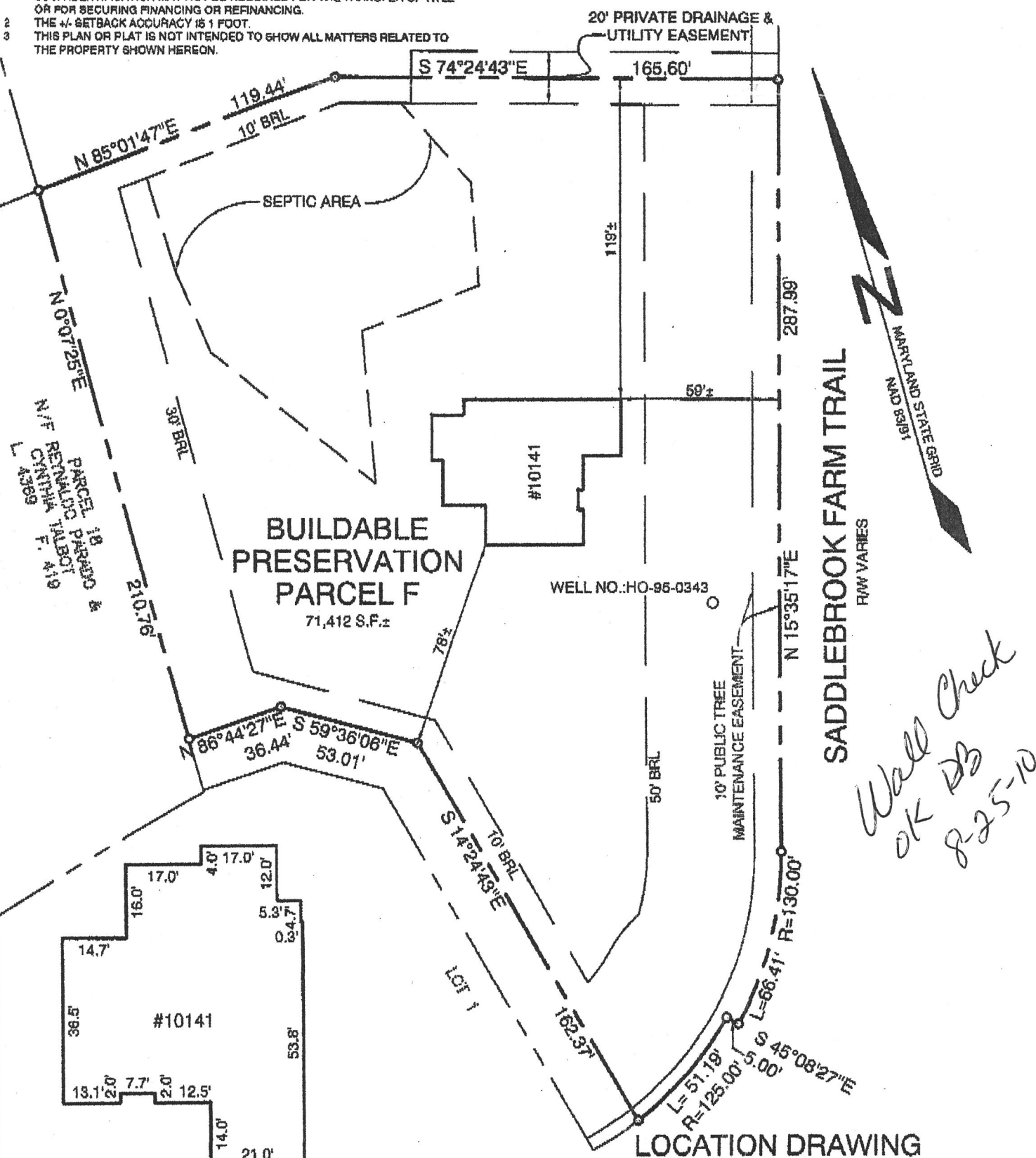
NOT TO SCALE

NOTES:

1 THIS PLAT IS A BENEFIT TO THE CONSUMER ONLY INsofar AS IT IS
 2 REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENTS
 3 IN CONNECTION WITH CONTEMPLATED TRANSFER, FINANCING OR
 REFINANCING PURPOSES. THIS PLAT IS NOT TO BE RELIED UPON FOR THE
 ESTABLISHMENT OR LOCATION OF FENCES, GARAGES, BUILDINGS OR
 OTHER EXISTING OR FUTURE STRUCTURES. THIS PLAT DOES NOT PROVIDE
 FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT
 SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE
 OR FOR SECURING FINANCING OR REFINANCING.
 THE +/- SETBACK ACCURACY IS 1 FOOT.
 THIS PLAN OR PLAT IS NOT INTENDED TO SHOW ALL MATTERS RELATED TO
 THE PROPERTY SHOWN HEREON.

WALLCHECK: 08-05-10
 TOP OF WALL: 416.9'

LOT 2

20' PRIVATE DRAINAGE &
UTILITY EASEMENT

DETAIL

SCALE: 1"=30'

THIS LOT DOES NOT APPEAR TO LIE WITHIN THE 100 YEAR
 FLOOD PLAIN AS SHOWN ON THE F.E.M.A. FLOOD HAZARD
 MAP 240044-0011-B AS REVISED DECEMBER 4, 1986.

LOCATION DRAWING
 10141 SADDLEBROOK FARM TRAIL
 BUILDABLE PRESERVATION PARCEL F
SADDLEBROOK FARM

ELECTION DISTRICT NO. 3
 HOWARD COUNTY, MARYLAND

I HEREBY CERTIFY THAT I WAS IN PERSONAL CHARGE OVER THE PREPARATION OF THIS LOCATION DRAWING AND THE SURVEY WORK REFLECTED ON IT. IS IN COMPLIANCE WITH REQUIREMENTS SET FORTH IN THE CODE OF MARYLAND, SUBTITLE 10, CHAPTER 06, REGULATION 12, AND THE POSITION OF EXISTING IMPROVEMENTS SHOWN HEREON ARE CORRECT, TO THE BEST OF MY KNOWLEDGE AND BELIEF.

MICHAEL D. ADCOCK
 PROFESSIONAL LAND SURVEYOR, NO. 21257

**Sill · Adcock &
 Associates · LLC**

Engineers · Surveyors · Planners

3300 North Ridge Road, Suite 160
 Ellicott City, Maryland 21043
 Phone: 443.325.7682 Fax: 443.325.7685
 Email: info@saaland.com

REFERENCE:

PLAT NO. 18624

DATE:

AUGUST 9, 2010

SCALE:

1"=50'

FILE NO.:

10-018

6/23/10