



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

DLDP 2019 DEC 11 AM 11:12

Date Received: _____

Permit No.: **819004199**

Building Address: 1040 Stepping Place
City: Spikesville State: MD Zip Code: 21784
Suite/Apt. #: _____ SDP/WP/BA #: GP 19-66
Subdivision: Walker Meadow
Lot: 19 Tax Map: _____ Parcel: _____

Existing Use: Vacant lot
Proposed Use: Single family house
Estimated Construction Cost: \$ 210,000

Description of Work: New 2 story "Stratford Hall" EW A
with 2 car side load garage, 1 car side
attached garage, covered rear porch, finished
basement (Rec room + Bathroom)
1st floor Bedroom 11 Rooms, 6 Full Baths, 1 1/2 Bath
5 Bedrooms

Occupant/Tenant Name: _____
Was tenant space previously occupied? ☐ Yes ☐ No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Property Owner's Name: NVR Inc.
Address: 9720 Patuxent Woods Dr
City: Columbia State: MD Zip Code: 21046
Phone: 410-379-5956 Fax: _____
Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: Decatur Building Service
Address: PO Box 552
City: Woodbine State: MD Zip Code: 21797
Phone: 443-309-7792 Fax: _____
Email: jim@decaturbuildingservices.co

Contractor Company: NV Homes
Contact Person: Clint Cagle
Address: 9720 Patuxent Woods Dr
City: Columbia State: MD Zip Code: 21046
License No.: 56
Phone: 410-379-5956 Fax: _____
Email: ccagle@nvrinc.com

Engineer/Architect Company: _____
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height: _____	☒ SF Dwelling ☐ SF Townhouse
No. of stories: <u>2</u>	Depth Width
Gross area, sq. ft./floor: <u>7076</u>	1st floor: <u>54</u> x <u>68'</u>
<u>OGSF = 6824</u>	2nd floor: <u>48</u> x <u>54'</u>
Area of construction (sq. ft.): _____	Basement: <u>54</u> x <u>68'</u>
Use group: _____	☒ Finished Basement
<u>Performance Method</u>	☐ Unfinished Basement
Construction type: _____	☐ Crawl Space
☐ Reinforced Concrete	☐ Slab on Grade
☐ Structural Steel	No. of Bedrooms: <u>5</u>
☐ Masonry	Multi-family Dwelling
☐ Wood Frame	No. of efficiency units: _____
☐ State Certified Modular	No. of 1 BR units: _____
	No. of 2 BR units: _____
	No. of 3 BR units: _____
	Other Structure: _____
	Dimensions: _____
➤ Roadside Tree Project Permit	Footings: _____
☐ Yes ☒ No	Roof: _____
Roadside Tree Project Permit # _____	☐ State Certified Modular
	☐ Manufactured Home

Utilities	
Electric: ☒ Yes ☐ No	
Gas: ☒ Yes ☐ No	
Water Supply	
☒ Public	
☒ Private	
Sewage Disposal	
☐ Public	
☒ Private	
Heating System	
☒ Electric ☐ Oil	
☐ Natural Gas ☒ Propane Gas	
☐ Other: _____	
Sprinkler System:	
☒ Yes ☐ No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THE APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Jim Keenan
Email Address: jim@decaturbuildingservices.com
Agent/NV Homes
Title/Company: _____

Print Name: Jim Keenan
Date: 12/9/2019
RECEIVED
DEC 11 2019

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

LICENSES & PERMITS
DIVISION

AGENCY	DATE	SIGNATURE OF APPROVAL
☒ State Highways		
☒ Building Officials		
☒ PSZA (Zoning)		
☒ PSZA (Engineering)		
☒ Health		
Is Sediment Control approval required for issuance? ☒ Yes ☐ No		
☐ CONTINGENCY CONSTRUCTION START		

DPZ SETBACK INFORMATION
Front: _____
Rear: _____
Side: _____
Side St.: _____
All minimum setbacks met? ☐ Yes ☐ No
Is Entrance Permit Required? ☐ Yes ☐ No
Historic District? ☐ Yes ☐ No
Lot Coverage for New Town Zone: _____
SDP/Red-line approval date: _____

Filing Fee	\$ <u>190.00</u>
Permit Fee	\$ _____
Tech Fee	\$ _____
Excise Tax	\$ _____
PSFS	\$ _____
Guaranty Fund	\$ <u>50</u>
Add'l per Fee	\$ _____
Total Fees	\$ _____
Sub- Total Paid	\$ _____
Balance Due	\$ _____
Check	# <u>30883</u>

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received:

1/27/2020

Permit No.: B20000306

Building Address: 1040 STEPPING PLANE
City: SYKESVILLE State: MD Zip Code: 21784
Suite/Apt. #: SDP/WP/BA #:
Census Tract: Subdivision:
Section: Area: Lot: 19
Tax Map: Parcel: Grid:
Zoning: Map Coordinates: Lot Size:

Existing Use: SFD
Proposed Use: SFD /PROPANE TANK
Estimated Construction Cost: \$ 4,000
Description of Work:
INSTALL 1000 GAL UNDERGROUND PROPANE TANK

Occupant/Tenant Name: OWNER
Was tenant space previously occupied? ☐ Yes ☐ No
Contact Name:
Address:
City: State: Zip Code:
Phone: Fax:
Email:

Commercial Building Characteristics	Residential Building Characteristics
Height:	☒ SF Dwelling ☐ SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor:
	2 nd floor:
Area of construction (sq. ft.):	Basement:
	☐ Finished Basement
Use group:	☐ Unfinished Basement
	☐ Crawl Space
Construction type:	☐ Slab on Grade
☐ Reinforced Concrete	No. of Bedrooms:
☐ Structural Steel	Multi-family Dwelling
☐ Masonry	No. of efficiency units:
☐ Wood Frame	No. of 1 BR units:
☐ State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
Roadside Tree Project Permit	Footings:
☐ Yes ☒ No	Roof:
Roadside Tree Project Permit #	☐ State Certified Modular
	☐ Manufactured Home

Property Owner's Name: NVR
Address: 9720 PATUXENT WOODS DRIVE
City: COLUMBIA State: MD Zip Code: 21046
Phone: Fax:
Email:

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: MICHELLE CLANCY
Address: PO BOX 310
City: PERRY HALL State: MD Zip Code: 21128
Phone: 443-610-7514 Fax:
Email: MICHELLE@APPLIEDANDAPPROVED.COM

Contractor Company: AIR GAS
Contact Person: DENNIS FEAGA
Address: 6750 MACLEAN WAY STE B
City: GLEN BURNIE State: MD Zip Code: 21060
License No.: 81215
Phone: 410-984-5681 Fax:
Email:

Engineer/Architect Company: CONTRACTOR
Responsible Design Prof.:
Address:
City: State: Zip Code:
Phone: Fax:
Email:

Utilities	
Electric: ☐ Yes ☒ No	
Gas: ☒ Yes ☐ No	
Water Supply	
☐ Public	
☒ Private	
Sewage Disposal	
☐ Public	
☒ Private	
Heating System	
☐ Electric ☐ Oil	
☐ Natural Gas ☐ Propane Gas	
Other:	
Sprinkler System:	
☐ Yes ☒ No	
Grading Permit Number:	619000291
Building Shell Permit Number:	B19604199

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Applicant's Signature

MICHELLE@APPLIEDANDAPPROVED.COM
Email Address

PERMITS

Title/Company

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY
FOR OFFICE USE ONLY

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	2/5/20	

Is Sediment Control approval required for issuance? ☐ Yes ☐ No
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? ☐ Yes ☐ No
Is Entrance Permit Required? ☐ Yes ☐ No
Historic District? ☐ Yes ☐ No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$
Permit Fee	\$ 100
Tech Fee	\$ 10
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$ 110.00
Sub- Total Paid	\$
Balance Due	\$
Check	# 7469

Distribution of Copies: White: Building Officials

Green: PSZA,Zoning

Yellow: PSZA,Engineering

Pink: Health

Gold: SHA

T:\Operations\Updated Forms\Building applmp 03.21.2017.docx

LLR

ON-BUILDABLE
PRESERVATION

PARCEL B

87,374 S.F.
2.01 AC.

SDA
10,225 SF

49,082 S.F.
1.13 AC.

SDA
10,036 SF

SDA
10,037 SF

NON-BUILDABLE
PRESERVATION
PARCEL F1

7,237 S.F.
0.17 AC.

SDA
10,015 SF

NON-BUILDABLE
PRESERVATION

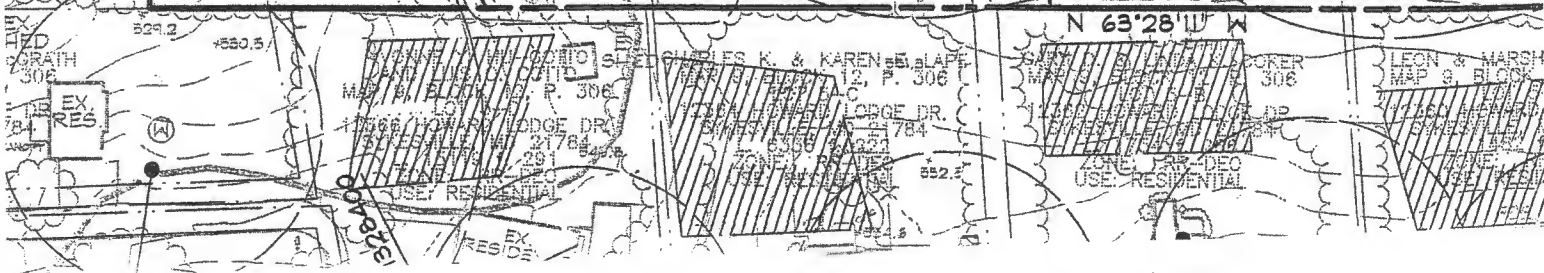
PARCEL B

87,374 S.F.
2.01 AC.

SDA
10,010 SF

59,732 S.F.
1.37 AC.

59,036 S.F.
1.35 AC.



Maura J. Rossman, M.D., Health Officer

MEMORANDUM

TO: *Jimmy Anastasia, NVR, Inc.*

FROM: *Robert Bricker, REHS/RS, L.E.H.S.*
Well & Septic Program

RE: *1040 Stepping Place*, Potential Basement Bedroom

DATE: January 16, 2020

I have reviewed the floor plans in support of Building Permit **B10994199** for a new home at **1040 Stepping Place** and noted that there is a full bathroom planned in the finished basement. Please note that this makes it very likely for at least one more room to be considered a bedroom should the basement layout be modified and/or an egress window installed.

For reference, the following is the bedroom definition in Howard County Code Section 3.801(b):

- (1) Except as provided in paragraph (2) of this subsection, a bedroom is any space in the conditioned area of a dwelling unit or accessory structure that:
 - (i) Is 90 square feet or greater in size;
 - (ii) May be used as a private sleeping area; and
 - (iii) Has at least one window and one interior door.
- (2) If a home office, library, or similar room is proposed, it may not be a bedroom if there is no closet; and
 - (i) The room contains permanently built-in bookcases around the perimeter of the room, desks, and other features that encumber the room;
 - (ii) A minimum 4 foot-wide opening, without doors, into another room;
 - (iii) A half wall (4 foot maximum height) between the room and another room; or
 - (iv) The room is a first floor room or basement area that does not have direct access to full bathrooms or "roughed in" plumbing that would provide direct access to future full bathroom facilities.

The Health Department strongly recommends sizing the onsite sewage disposal system at least one bedroom larger than the existing **five (5)**- bedroom design to accommodate a future modification of the finished basement. If you choose to only size for the existing design, any future building permit for modification of the finished basement may be placed on hold until the system is upgraded to accommodate the proposed number of bedrooms. This memo will be retained in the Health Department file for future reference.

1040 Stepping Place
Lot 19

STRATFORD HALL

5 Bedrooms, ^{Part} Finished Basement
Health Dept.

B19004199



NVR, Inc.
5285 Westview Drive, Suite 100
Frederick, MD 21703

	FULL BASEMENT												STANDARD DETAILS
	STD. DIMS.												
SPEC SHEET	55-1												AD-1
ELEVATIONS	4												AD-1b
FOUNDATIONS	14												DR-1
FOUNDATION HOLD DOWNS	22, 23, 24, 25												DR-2
PLUMBING	26												DR-3
BASEMENT FLOOR PLAN	27												DW-2
FIRST FLOOR PLAN	29												ET-1
SECOND FLOOR PLAN	32, 1												ET-1b
BUILDING SECTIONS	34, 36												ET-1c
STAIR SECTIONS	38												ET-1e
KITCHEN - BATHS	41, 42, 43, 44												ET-1f
BASEMENT ELECTRICAL	45												ET-2
FIRST FLOOR ELECTRICAL	47												ET-3b
SECOND FLOOR ELECTRICAL	50												F-1
FIRST FLOOR FRAMING	52												F-1b
SECOND FLOOR FRAMING	54												F-2
ROOF FRAMING	55, 56												F-3
TRUSS BRACING	61												F-3b
WALL BRACING LAYOUT	63												FA-1
HVAC LAYOUT	67												FC-1
HVAC LAYOUT	68												FC-2
HVAC LAYOUT	69												FC-4
HVAC LAYOUT	70												FD-1
HVAC LAYOUT	71												FD-2
HVAC LAYOUT	72												FD-2b
HVAC LAYOUT	73												FD-3
HVAC LAYOUT	74												FP-1
													GB-1
													IT-1
													IT-1b
													IT-1c
													IT-2
													JT-1
													JT-3
													JT-3b
													KT-1
													RF-1
													RF-1b
													SEP-1
													SEP-2
													SEP-3
													SEP-4
													SP-1
													SP-2
													SP-3
													ST-1
													ST-2
													NB-1
													NB-2
													ND-1
													ND-2
													ND-3
													NB-1

New 2 Story "Stratford Hall" Bldg 'A'
with 2 car side lock garage and 1 car
side attached garage.
Covered Rear Porch
1st floor Bedroom
Finished lower level
Rec Rm + Bath room
11 Rooms, 5 Bedrooms, 6 Full Baths and
1 1/2 Bath
2018 Code
Performance Method
gross s.f. = 7076
OGSF = 6824

FIRST FLOOR SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	2151 SF
	2151 SF

SECOND FLOOR SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
2ND FLOOR (BASE SF)	2133 SF
	2133 SF

GARAGE SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
TWO CAR GARAGE ELEV. 'A' OR 'K' OR 'R'	507 SF
ONE CAR SIDE ATTACHED GARAGE (ADD. SF)	314 SF
	821 SF

BASEMENT SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
FINISHED BASEMENT	1451 SF
	1451 SF

UNFINISHED SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
UNFINISHED STORAGE	424 SF
MECHANICAL ROOM	245 SF
	724 SF

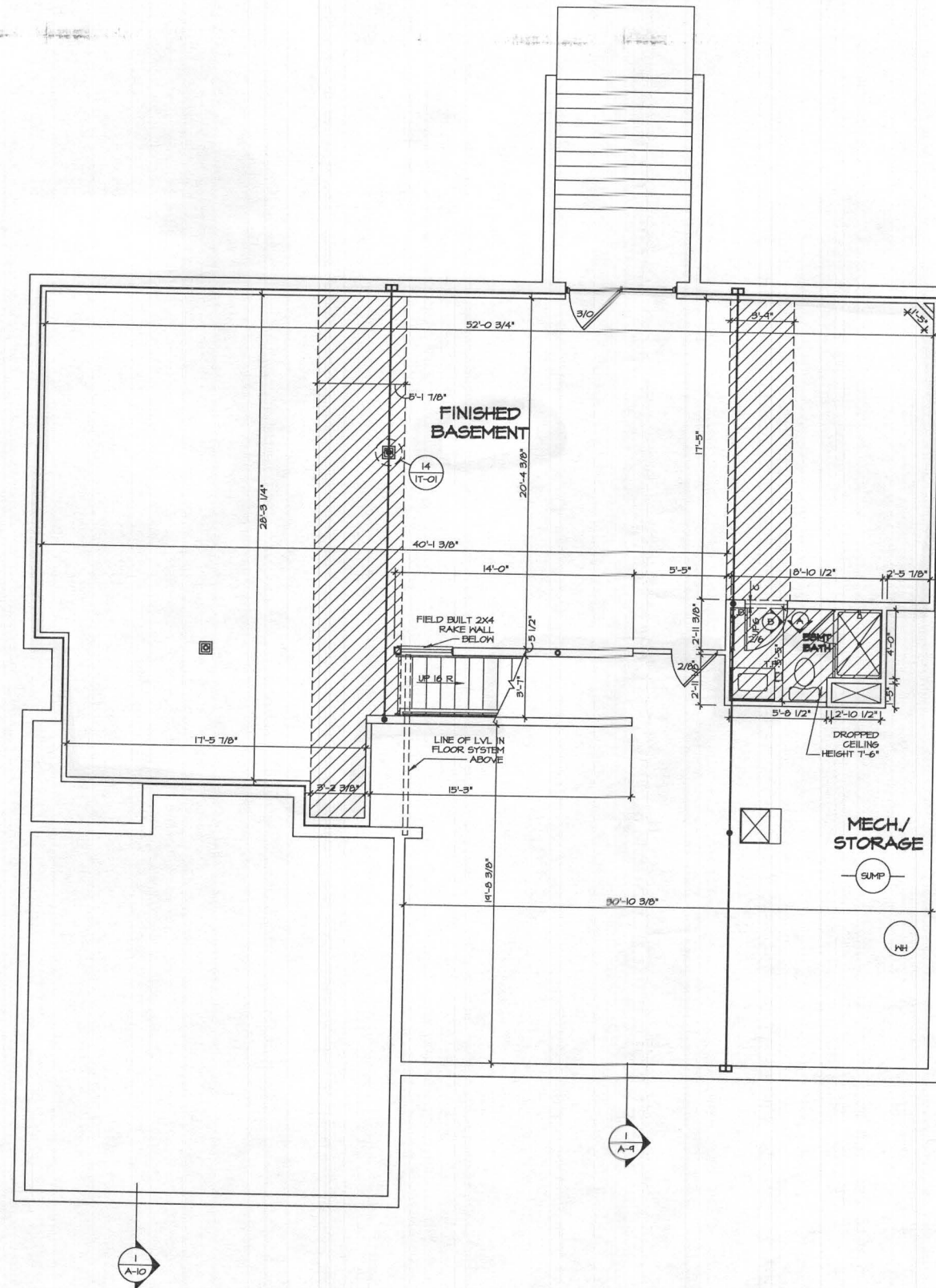
TOTAL FINISHED SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	2151 SF
2ND FLOOR (BASE SF)	2133 SF
FINISHED BASEMENT	1451 SF
	5735 SF

SET - VERSION

11900 - 01

CS-1



BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

1. ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (3) 2x6 W/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
2. ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
3. ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
4. HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED. SEE 'BRACED WALL PANEL DETAIL SHEET' FOR SPECIAL APPLICABLE.
5. SEE STANDARD DETAIL CATEGORY 'IT' SHEET(S) FOR INTERIOR TRIM DETAILS.
6. SEE ARCHITECTURAL DETAIL SHEET 'AD' FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
7. ALL WINDOWS HAVE 1'-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
8. ALL CASED OPENINGS AT 1'-11", UNLESS OTHERWISE NOTED.

GYPSUM NOTES

AT GARAGE:

5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.

AT STAIRS:

1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET

WITH OPTION *SC1* - DRYWALL UNFINISHED BASEMENT CEILING AREA

NOTES:

- 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
- A MAXIMUM AREA OF 80 SQ. FT. MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0"x8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
- PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

LEGEND

- BEARING WALL
- NON BEARING WALL
- INDICATES BEARING FROM POINT-LOAD ABOVE
- JACKS
- BEAM/HEADER
- PAD FOOTING
- STEEL COLUMN
- PORTAL FRAME
- JOIST/TRUSS
- LVL
- ENGINEERING PAGE NUMBER

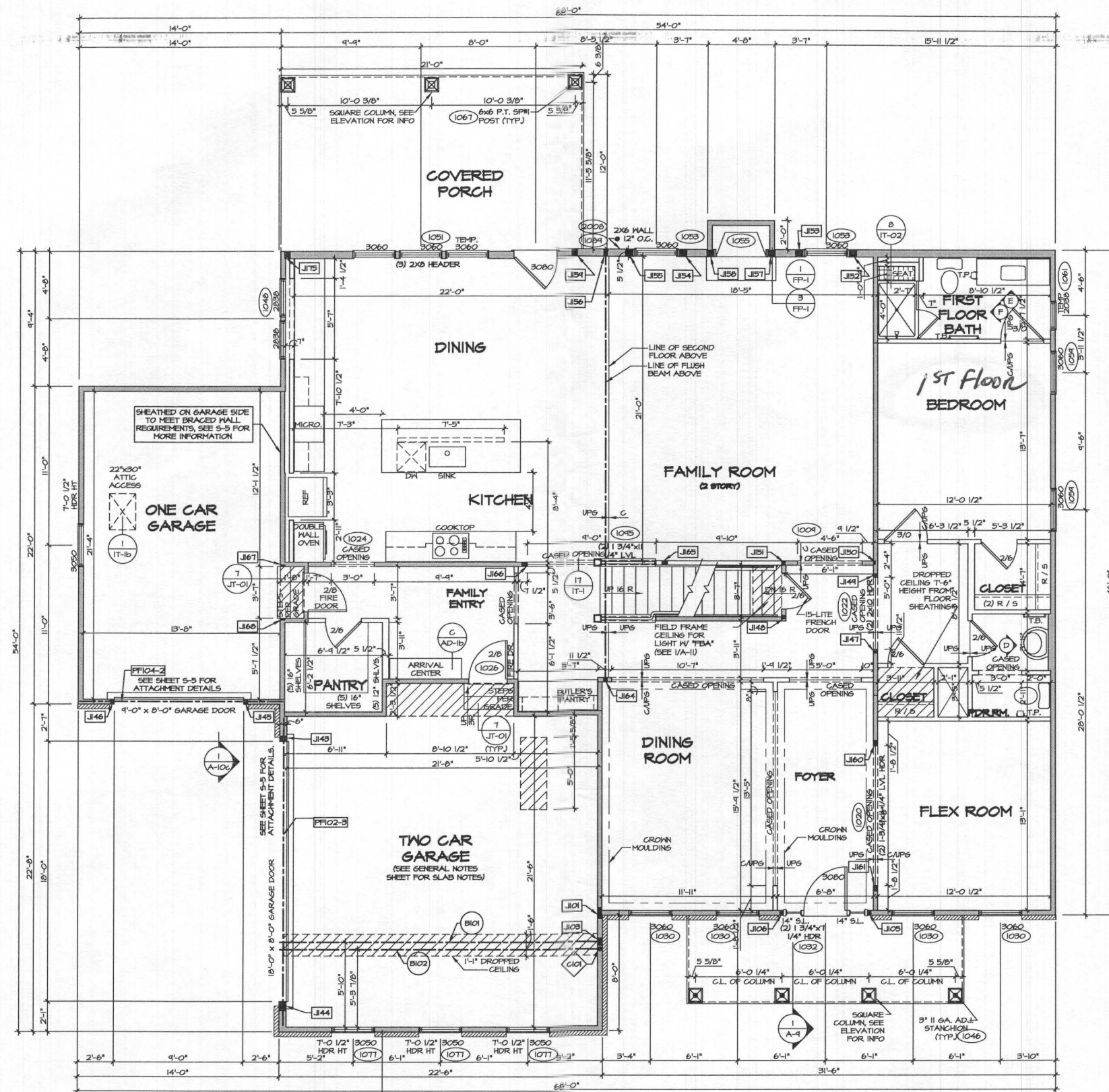
SEE FC DETAILS FOR FRAMING CONNECTORS

REV. NO.	DATE	REMARKS
1	01/24/11	TH - STANDARD DETAILS 3.0

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NVR
NVR, Inc.
5285 Westpark Drive, Suite 100
Frederick, MD 21703

SHEET NO.	MODEL	SET NO.	VERSION	DRAWN BY	DATE	OPTION
A-6	STRATFORD HALL	11900_01	01	BIM		
	DRAWING TITLE					
	BASEMENT FLOOR PLAN					
	OPTION DESCRIPTION					



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

FOR NOTES AND SCHEDULES SEE PAGE A-7b

SHEET NO.	MODEL	SET NO.	VERSION	DRAWN BY	DATE	OPTION	REMARKS
A-7	STRATFORD HALL	11900-01-WDE-1W-0019-1468311	A-7	BIM	11/12/19	OPTION	
	DRAWING TITLE	FIRST FLOOR PLAN					
	OPTION DESCRIPTION						

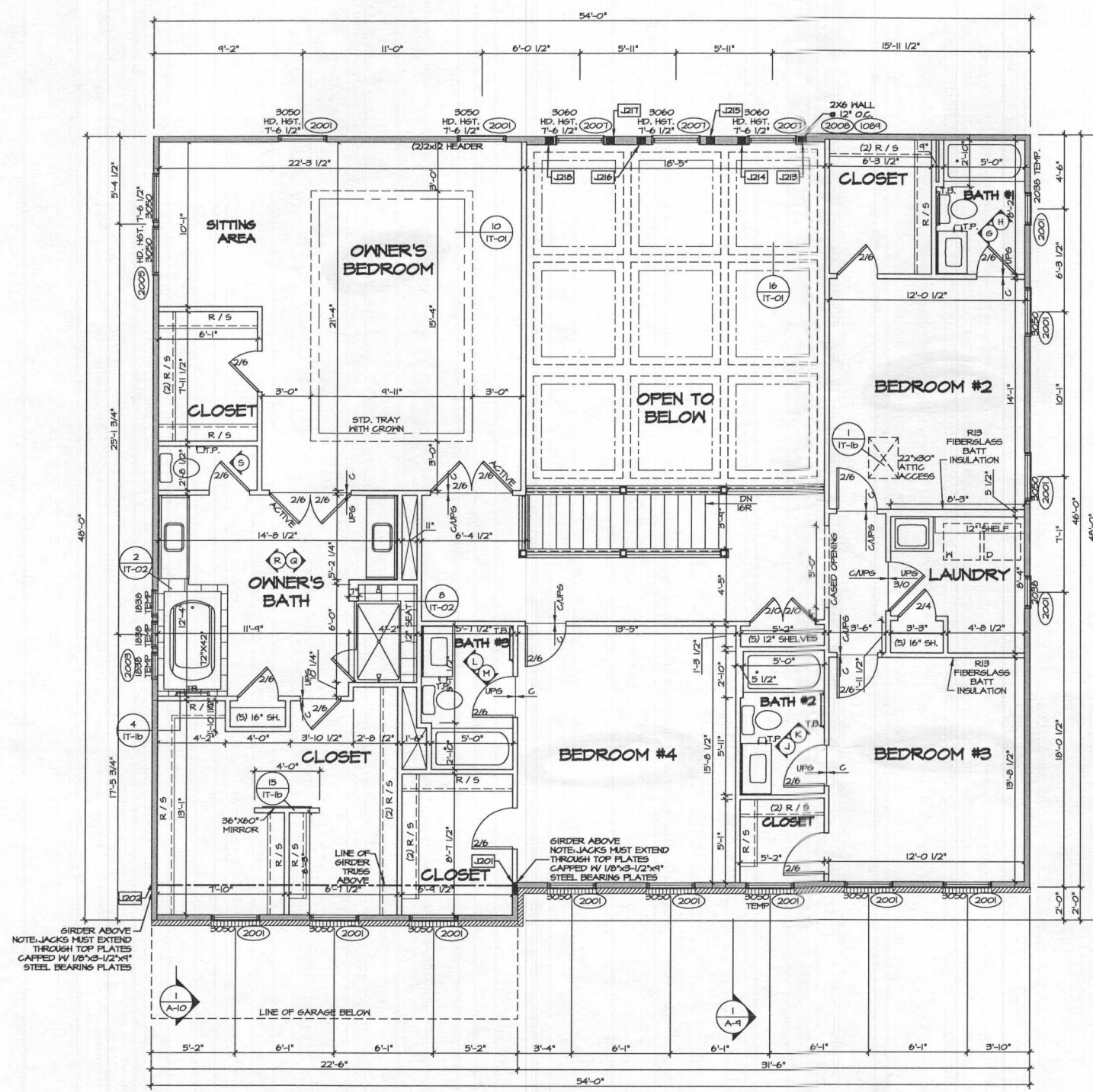
NVR, Inc. is a registered professional engineering firm. The owner, architect, engineer, contractor, and other parties in these plans are not responsible for the accuracy or completeness of the information provided in these plans. NVR, Inc. is not responsible for the accuracy or completeness of the information provided in these plans. NVR, Inc. is not responsible for the accuracy or completeness of the information provided in these plans.



5285 Westside, Suite 100
Frederick, MD 21703

11/12/19 - 4157.dwg

29



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

- FLOOR PLAN NOTES**
- ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (3) 2x6 w/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
 - ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
 - HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12' UNLESS OTHERWISE NOTED.
 - SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
 - SEE STANDARD DETAIL, CATEGORY "IT" SHEET(S) FOR INTERIOR TRIM DETAILS.
 - SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
 - ALL WINDOWS HAVE T-O 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
 - ALL CASED OPENINGS AT T-11, UNLESS OTHERWISE NOTED.

- LEGEND**
- BEARING WALL
 - NON BEARING WALL
 - INDICATES BEARING FROM POINT-LOAD ABOVE
 - JACKS
 - BEAM/HEADER
 - PAD FOOTING
 - STEEL COLUMN
 - PORTAL FRAME
 - JOIST/TRUSS
 - LVL
 - ENGINEERING PAGE NUMBER
- SEE FC DETAILS FOR FRAMING CONNECTORS

SECOND FLOOR JACK SCHEDULE				
IDENTIFIER	DESCRIPTION	OPTIONS	ENG. NUM.	REMARKS
J201	JACK - (6) 2x4 SPM		2005	
J202	JACK - (6) 2x4 SPM		2005	
J213	JACK - (4) 2x6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J214	JACK - (4) 2x6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J215	JACK - (4) 2x6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J216	JACK - (4) 2x6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J217	JACK - (4) 2x6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J218	JACK - (4) 2x6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS

REV. NO.	DATE	DESCRIPTION
1	01/24/17	TH - STANDARD DETAILS 9.0

The owner, NVR, Inc., expressly reserves the right to make any changes to these plans, drawings, or specifications, in whole or in part, without notice, and without liability to the owner, NVR, Inc., for any such changes.



SET NO. 11400
VERSION 01
DRAWN BY: BIM
DATE: 01/24/17
OPTION

MODEL: STRATFORD HALL
DRAWING TITLE: SECOND FLOOR PLAN
OPTION DESCRIPTION:

SHEET NO. A-8
32.1

1040 Stepping Place
Lot 19

STRATFORD HALL

Health Dept.
HEALTH

B19004199



NVR, Inc.
5285 Westview Drive, Suite 100
Frederick, MD 21703

	FULL BASEMENT												STANDARD DETAILS
	STD. DWGS.												
SPEC SHEET	55-1												AD-1
ELEVATIONS	4												AD-1b
FOUNDATIONS	14												DR-1
FOUNDATION HOLD DOWNS	22, 23, 24, 25												DR-2
PLUMBING	26												DR-3
BASEMENT FLOOR PLAN	27												DW-2
FIRST FLOOR PLAN	29												ET-1
SECOND FLOOR PLAN	32.1												ET-1b
BUILDING SECTIONS	34, 36												ET-1c
STAIR SECTIONS	38												ET-1e
KITCHEN - BATHS	41, 42, 43, 44												ET-1f
BASEMENT ELECTRICAL	45												ET-2
FIRST FLOOR ELECTRICAL	47												ET-3b
SECOND FLOOR ELECTRICAL	50												F-1
FIRST FLOOR FRAMING	52												F-1b
SECOND FLOOR FRAMING	54												F-2
ROOF FRAMING	55, 56												F-3
TRUSS BRACING	61												F-3b
WALL BRACING LAYOUT	63												FA-1
HVAC LAYOUT	67												FC-1
HVAC LAYOUT	68												FC-2
HVAC LAYOUT	69												FC-4
HVAC LAYOUT	70												FD-1
HVAC LAYOUT	71												FD-2
HVAC LAYOUT	72												FD-2b
HVAC LAYOUT	73												FD-3
HVAC LAYOUT	74												FP-1
													GB-1
													IT-1
													IT-1b
													IT-1c
													IT-2
													JT-1
													JT-3
													JT-3b
													KT-1
													RF-1
													RF-1b
													SEP-1
													SEP-2
													SEP-3
													SEP-4
													SP-1
													SP-2
													SP-3
													ST-1
													ST-2
													MB-1
													MB-2
													MD-1
													MD-2
													MD-3
													MB-1

FIRST FLOOR SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	2151 SF
	2151 SF

SECOND FLOOR SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
2ND FLOOR (BASE SF)	2133 SF
	2133 SF

GARAGE SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
TWO CAR GARAGE ELEV. 'A' OR 'K' OR 'R'	501 SF
ONE CAR SIDE ATTACHED GARAGE (ADD. SF)	314 SF
	821 SF

BASEMENT SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
FINISHED BASEMENT	1451 SF
	1451 SF

UNFINISHED SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
UNFINISHED STORAGE	424 SF
MECHANICAL ROOM	245 SF
	724 SF

TOTAL FINISHED SQUARE FOOTAGE

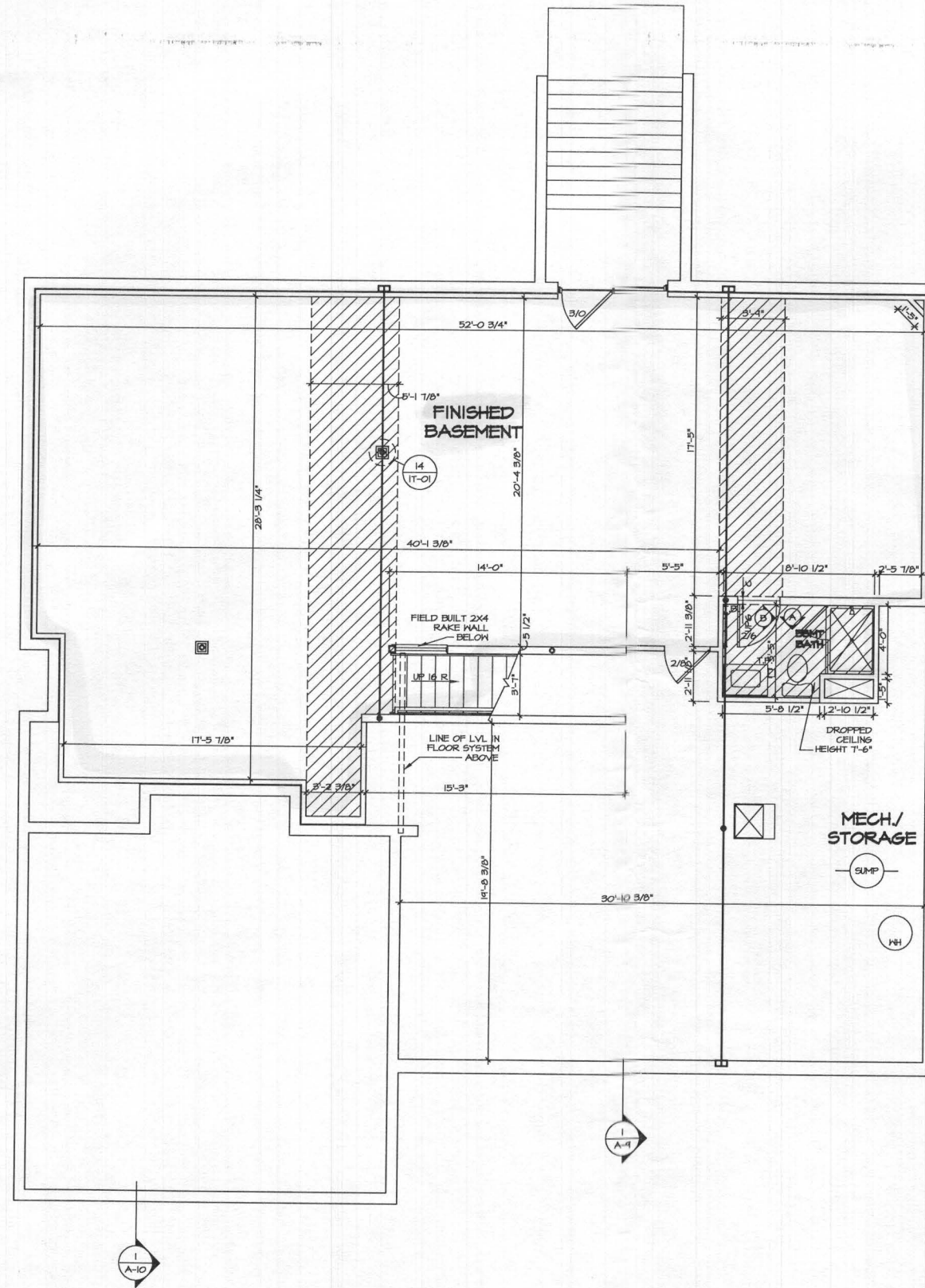
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	2151 SF
2ND FLOOR (BASE SF)	2133 SF
FINISHED BASEMENT	1451 SF
	5735 SF

SET - VERSION

11900 - 01

CS-1

C:\NVR\Software\STRATFORD HALL_11900_01\WDE-1W-0019\468311\Sheets\Lot Spec\CS-1 COVER SHEET.dwg 11/12/19 - 4:57 am



BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

1. ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (3) 2x6 W/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
2. ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
3. ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
4. HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
5. SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
6. SEE STANDARD DETAIL CATEGORY "1" SHEET(S) FOR INTERIOR TRIM DETAILS.
7. SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
8. ALL WINDOWS HAVE T-O 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
9. ALL CASED OPENINGS AT T-11", UNLESS OTHERWISE NOTED.

GYPSUM NOTES

AT GARAGE:

5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.

AT STAIRS:

1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET

WITH OPTION "SC1" - DRYWALL UNFINISHED BASEMENT CEILING AREA

NOTES:

- 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
- A MAXIMUM AREA OF 60 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0"x8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
- PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

LEGEND

- BEARING WALL
- NON BEARING WALL
- INDICATES BEARING FROM POINT-LOAD ABOVE
- JACKS
- BEAM/HEADER
- PAD FOOTING
- STEEL COLUMN
- PORTAL FRAME
- JOIST/TRUSS
- LVL
- ENGINEERING PAGE NUMBER

SEE FG DETAILS FOR FRAMING CONNECTORS

REMARKS

REV. NO. DATE
1 01/24/17 TM - STANDARD DETAILS 3.0

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Frederick, MD 21703

SET NO. 11900
VERSION 01

DRAWN BY BIM

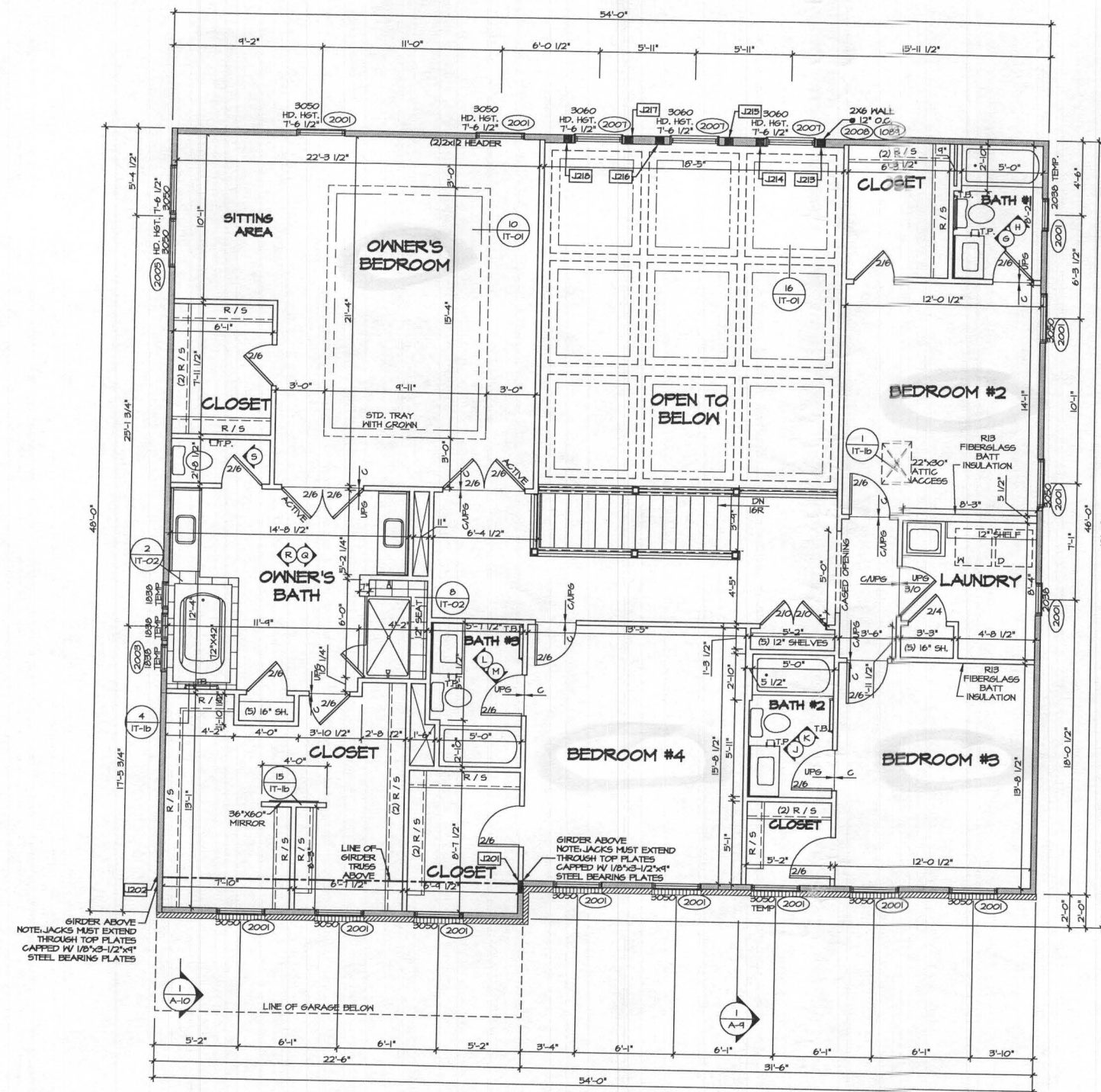
DATE:

OPTION

OPTION DESCRIPTION

27

[illegible]



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

- ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (3) 2x6 w/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
- ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
- ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
- HATCHED AREAS INDICATE DROPPED CEILING. ALL DROPPED CEILING ARE 12" UNLESS OTHERWISE NOTED.
- SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
- SEE STANDARD DETAIL CATEGORY "IT" SHEET(S) FOR INTERIOR TRIM DETAILS.
- SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
- ALL WINDOWS HAVE 7'-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
- ALL CASED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.

LEGEND

- BEARING WALL
 - NON BEARING WALL
 - INDICATES BEARING FROM POINT-LOAD ABOVE
 - JACKS
 - BEAM/HEADER
 - PAD FOOTING
 - STEEL COLUMN
 - PORTAL FRAME
 - JOIST/TRUSS
 - LVL
 - ENGINEERING PAGE NUMBER
- SEE FC DETAILS FOR FRAMING CONNECTORS

SECOND FLOOR JACK SCHEDULE

IDENTIFIER	DESCRIPTION	OPTIONS	ENG. NUM.	REMARKS
J201	JACK - (6) 2x4 SFF#1		2008	
J202	JACK - (6) 2x4 SFF#1		2008	
J213	JACK - (4) 2x6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J214	JACK - (4) 2x6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J215	JACK - (4) 2x6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J216	JACK - (4) 2x6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J217	JACK - (4) 2x6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J218	JACK - (4) 2x6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS

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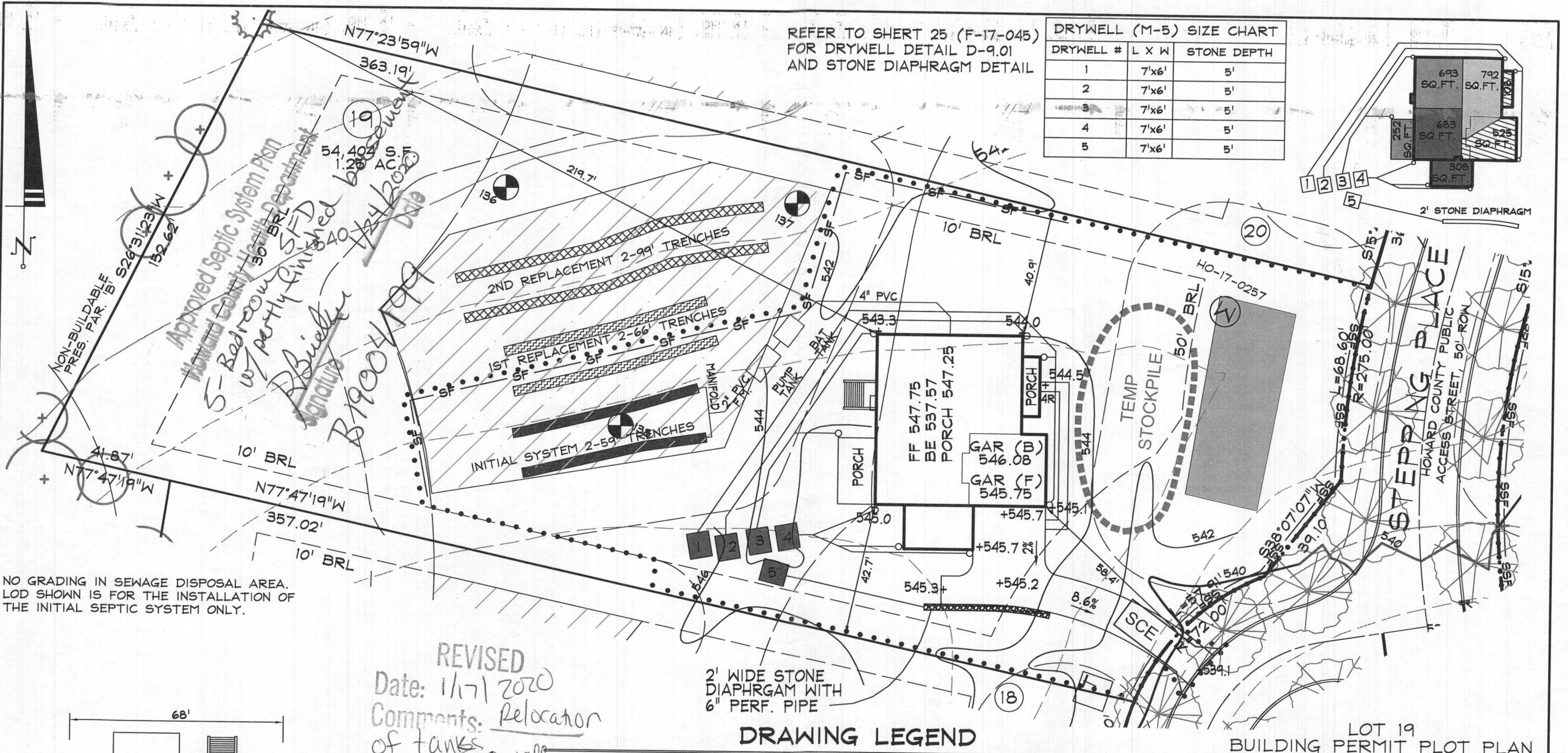


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Frederick, MD 21703

SHEET NO. **STRATFORD HALL**
DRAWING TITLE
SECOND FLOOR PLAN
OPTION DESCRIPTION

A-8

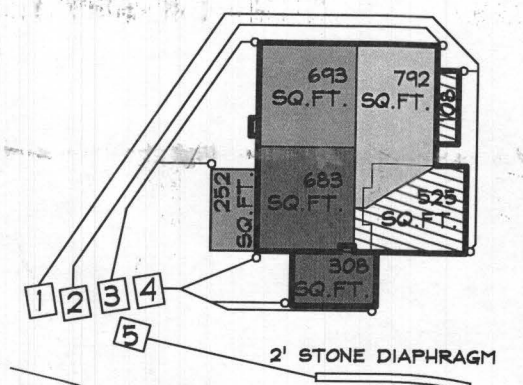
32.1



REFER TO SHERT 25 (F-17-045)
FOR DRYWELL DETAIL D-9.01
AND STONE DIAPHRAGM DETAIL

DRYWELL (M-5) SIZE CHART

DRYWELL #	L X W	STONE DEPTH
1	7'x6'	5'
2	7'x6'	5'
3	7'x6'	5'
4	7'x6'	5'
5	7'x6'	5'



DRAWING LEGEND

- ● ● ● ● ● LIMIT OF DISTURBANCE
- SF — SF — PROPOSED SILT FENCE
- SSF — SSF — PROPOSED SUPER SILT FENCE
- SCE STABILIZED CONSTRUCTION ENTRANCE
- T TRANSFORMER
- W WELL BOX WITH EXISTING WELL
- SEPTIC RESERVE AREA
- DRYWELL
- TEMP STOCKPILE
- TEMPORARY STOCKPILE

WALKER MEADOWS

LOT 19

1040 STEPPING PLACE

PLAT #24974-24979

DDC JOB#: 12064.3

DATE: 12/3/19

SCALE: 1" = 30'

CHK. BY: PGC

DRN. BY: LJC

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THE FRONT DOOR FOR LOT 19 FACES EAST