

GENERAL REQUIREMENTS

1. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND SHALL NOTIFY THE ARCHITECT OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. SHOP DRAWINGS MUST BE SUBMITTED TO THE OWNER BEFORE PROCEEDING WITH FABRICATION OF STAIRS, ROOF AND/OR FLOOR TRUSSES.
1. DRAWINGS SHALL NOT BE SCALED FOR CONSTRUCTION. WHERE DRAWINGS ARE IN CONFLICT WITH OTHER DRAWINGS, SPECS OR DETAILS, THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION. LARGER SCALE DRAWINGS AND WRITTEN SPECIFICATION HAVE PRECEDENCE.
2. IN THE EVENT THAT CERTAIN FEATURES OR DETAILS ARE NOT FULLY SHOWN, CONTACT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
3. ALL PRODUCTS AND MATERIALS MUST BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS WRITTEN INSTRUCTIONS. IF A CONFLICT EXISTS BETWEEN THE DRAWINGS AND THE MANUFACTURERS RECOMMENDATION, CONTACT THE ARCHITECT FOR CLARIFICATION. THE CONTRACTOR SHALL VERIFY THAT ALL MATERIAL INSTALLED SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS.
4. PROVIDE 22 1/2" x 30" ATTIC ACCESS WITH SWITCHED LIGHT, UNLESS OTHERWISE NOTED.
5. PROVIDE HANDRAILS 34"-36" ABOVE NOSINGS ON ALL STAIRS W/ THREE OR MORE RISERS. RETURN RAILS TO WALL OR NEWEL. REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF STAIR. HANDRAILS MAY BE INTERRUPTED BY A NEWEL AT A TURN. PROVIDE GUARDRAILS AT RAISED FLOORS, BALCONIES, ETC. 30" OR MORE ABOVE GRADE OR FLOOR BELOW. GUARDS SHALL BE MIN. 36" HIGH (UNLESS NOTED OTHERWISE) AND HAVE CLOSURES SPACED TO PREVENT PASSAGE OF A 4" SPHERE. HANDRAILS SHALL HAVE MAX. 2 1/4" GRIP CROSS SECTION.
6. PROVIDE NOMINAL 2X FIRE PROTECT AT EVERY FLOOR INTERVAL, BULKHEADS, CHASES, AND MIN-HEIGHT FOR WALLS OVER 9" TALL. IF OPEN WEB FLOOR TRUSSES ARE UTILIZED, PROVIDE 1/4" GYP. BRD. DRAFTSTOPPING, NOT TO EXCEED 500 S.F. UNLESS DWELLINGS ARE FULLY SPRINKLERED.
7. PROVIDE A MINIMUM OF 6'-9" HEAD CLEARANCE FOR ALL STAIRS. STAIR RISERS SHALL NOT EXCEED 8 1/2" AND TREADS SHALL BE AT LEAST 9" WITH T' NOSING, UNLESS LOCAL JURISDICTION REQUIRES OTHERWISE. MAX. RISER AT EXTERIOR DOORS SHALL BE 7 1/4".
8. THE CONTRACTOR SHALL SEAL ALL PENETRATIONS AND OPENINGS IN FLOORS AND WALLS TO MINIMIZE THE TRANSFER OF DRAFTS & MOISTURE. SHEATHING PENETRATION SHALL BE PATCHED AND REPAIRED TO MANUFACTURERS SPECIFICATIONS.
9. SLOPE ALL CONCRETE STOOPS, PORCHES, WALKS AND GARAGE SLABS 1/8" IN 12" TO DRAIN, OR AS NOTED ON PLANS.
10. ALL DESIGNS FOR MANUFACTURED FLOOR JOISTS, RAFTERS, AND TRUSSES SHALL BE CERTIFIED BY THE MANUFACTURER. INSTALLATION OF SUCH ITEMS SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURERS SHOP DRAWINGS AND RECOMMENDATIONS.
11. CHIMNEYS SHALL EXTEND A MINIMUM OF 2' ABOVE ANY ROOF STRUCTURE WITHIN 10' FEET, BUT NO LESS THAN 3' AT POINT OF ROOF PENETRATION.
12. FLOOR JOISTS/TRUSSES AND ROOF TRUSSES SHALL ALIGN WITH BEARING STUDS +/- 1", OR PROVIDE TRIPLE PLATES.
13. PRIVATE GARAGES SHALL BE SEPARATED FROM ADJACENT DWELLING AND ATTIC WITH MINIMUM 5/8" GYP. BRD. ON GARAGE SIDE, AND 20 MINUTE SELF-CLOSING DOOR, WHEN BENEATH LIVING SPACE INSTALL 5/8" RATED G.B. ON CEILING & ALL SUPPORTING STRUCTURE.
11. GENERAL CONDITIONS
12. CONSTRUCTION SHALL COMPLY WITH THE LATEST EDITION OF THE CODES NOTED ON THE COVER SHEET AND ALL APPLICABLE LOCAL, STATE AND FEDERAL, AMENDMENTS, AND SAFETY REQUIREMENTS.
13. ALL CONSTRUCTION SHALL BE CLASSIFIED AS NOTED ON THE COVER SHEET.
14. DIMENSIONS GIVEN ON SCHEDULES ARE NOMINAL. GENERAL CONTRACTORS AND MANUFACTURERS ARE TO COORDINATE ALL DIMENSIONS CONCERNING DOORS, PANELS, WINDOWS AND THEIR OPENINGS PRIOR TO FABRICATION AND CONSTRUCTION.
15. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES, BOUNDARIES, AND CONSTRUCTION BEFORE PROCEEDING WITH THE WORK AND REPORT IMMEDIATELY ANY DISCREPANCIES TO THE ARCHITECT AND/OR OWNER.

SPECIFICATIONS

SITE WORK

21. PROVIDE HOUSE NUMBERS CLEARLY VISIBLE FROM THE STREET.
- 2.2 EXCAVATION SHALL BE SUFFICIENT TO PROVIDE FULL DESIGN DIMENSIONS OR TO ALLOW FORMING AS REQUIRED. NO FOOTINGS SHALL BE PLACED ON UNSUITABLE MATERIAL (PROVIDING LESS THAN 500 PSF CAPACITY).
- 2.3 SOIL BEARING CAPACITY SHALL BE VERIFIED BY THE CONTRACTOR.
- 2.4 BACKFILL SHALL ONLY BE CLEAN EARTH CONTAINING NO ORGANIC MATTER, GRADED WITH POSITIVE SLOPE, MIN. 6" IN FIRST 10'. FULL BENEATH STRUCTURE SHALL BE COMPACTED TO 90% DENSITY AS PER ASTM D1557 METHOD D.
- 2.5 PROVIDE 4" MINIMUM CONTINUOUS DRAIN TILE AROUND PERIMETER OF BASEMENT FOUNDATION. OPTIONAL INTERIOR DRAIN TILE MAY BE INSTALLED AT THE BUILDERS DISCRETION.
- 2.6 PROVIDE PASSIVE UNDER SLAB RADON VENTING W/ MIN. 3" DIA. VENT THRU ROOF WHEN REQUIRED BY LOCAL JURISDICTION AND IN ACCORDANCE WITH APPENDIX F OF THE IRC. SEE NOTE 12.5.
- 2.7 APPLY TERMITICIDE WITH 2 FEET OF ENTIRE STRUCTURE IN ACCORDANCE WITH LOCAL AND AREA STANDARDS. TREATMENT MUST HAVE A 5 YEAR GUARANTEE.
- 2.8 EXTREME CARE AND PROPER MEASURES SHALL BE USED WHILE INSTALLING BACKFILL SO AS NOT TO DAMAGE, BULGE, OR TIP WALL, SHORING, BRACING, ETC., SHALL BE EMPLOYED UNTIL THE FULL DEAD LOAD OF THE BUILDINGS IS ON THE WALLS.

CONCRETE

- 3.1 CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN CONCRETE INSTITUTE STANDARDS, ACI-301, ACI-308, & ACI-306.
- 3.2 CONCRETE FOOTINGS SHALL HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2500 PSI (UNLESS OTHERWISE NOTED).
- 3.3 ALL INTERIOR CONCRETE SLABS EXCEPT GARAGES SHALL HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2500 PSI.
- 3.4 FOUNDATION WALLS: SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI FOR MODERATE WEATHER & 3500 PSI FOR SEVERE WEATHER.
- 3.5 REINFORCING STEEL SHALL MEET ASTM A-615 AND A-305. MESH: 6x6 - 14/14 WWF ASTM A-185. REINFORCING IN FOOTINGS IS REQUIRED WHERE VARIATIONS IN SOIL CONDITIONS MAY EXIST OR AS NOTED ON COVER SHEET.
- 3.6 EXTERIOR CONCRETE AND GARAGE SLABS SHALL BE 5% TO 7% AIR ENTRAINED AND HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI FOR MODERATE WEATHER AND 3500 PSI FOR SEVERE WEATHER.
- 3.7 ALL INTERIOR CONCRETE SLABS 30 FEET OR MORE IN ANY DIMENSION SHALL HAVE WWF, CONTROL JOINTS, OR FIBER REINFORCEMENT, PROVIDED 1/4" EXPANSION MATERIAL AT ALL COLD POUR JOINTS.
- 3.8 PROVIDED VAPOR BARRIERS UNDER ALL SLABS; 6 MIL POLYETHYLENE, LAP ALL EDGES 6", LAY OVER 4" POROUS FILL.
- 3.9 THE BOTTOM OF ANY FOOTING SHALL BE PLACED AT MINIMUM FROST DEPTH AS NOTED ON COVER SHEET.
- 3.10 POURED WALL VERTICAL REINFORCING WHEN REQUIRED SHALL BE PLACED MIN. 5" FROM SOIL FACE.

VERTICAL MASONRY

- 4.1 ALL MASONRY CONSTRUCTION & MATERIAL SHALL CONFORM TO ACI-530-02 & ACI-530.1-02.
- 4.2 THE MAXIMUM VERTICAL DISTANCE OF UNBALANCED FILL MEASURED FROM THE TOP OF THE FLOOR SLAB TO THE OUTSIDE FINISHED GRADE SHALL NOT EXCEED THE FOLLOWING: HEIGHTS ARE FOR UNREINFORCED WALLS WHERE BACKFILL SOIL PROVIDES MEDIUM TO POOR DRAINAGE.
- | TYPE OF WALL | HEIGHT OF FILL 6" C.M.U. (HOLLOW) | 4'-0" |
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| 12" C.M.U. (HOLLOW) | 5'-0" | |
| 12" C.M.U. (SOLID) | 6'-0" | |
- HEIGHTS MAY BE INCREASED WITH THE APPROVAL OF THE LOCAL JURISDICTION, OR REINFORCING.
- 4.3 CONCRETE MASONRY UNITS SHALL BE MANUFACTURED TO MEET ASTM C-90, GRADE A SOLID BLOCK OR ASTM C-145, GRADE B STANDARDS AND BE 28 DAYS OLD BEFORE INSTALLATION. MINIMUM NET COMPRESSION STRENGTH OF BLOCK TO BE 2000 PSI.
- 4.4 PARKING OVER CMU WALLS TO BE NOT LESS THAN 3/8" PORTLAND CEMENT FARGING FROM FOOTING TO FINISHED GRADE.
- 4.5 MASONRY LINTELS: PROVIDE LIGHT WEIGHT PRE-CAST LINTELS FOR ALL OPENINGS AND RECESSES IN CMU WALLS. PROVIDE (1) 4x8 LINTEL FOR EACH 4' OF WALL THICKNESS. REINFORCE EACH LINTEL WITH TWO #4 BARS AT TOP AND BOTTOM AND WITH #2 TIES SPACED 9" O.C., UNLESS OTHERWISE NOTED. PRECAST LINTEL TO HAVE MINIMUM 6" BEARING AT EACH END, SUCH LINTELS SHALL NOT SUPPORT ANY SUPERIMPOSED LOADS.
- 4.6 USE TYPE 1M MORTAR FOR MASONRY IN CONTACT WITH EARTH.
- 4.7 USE TYPE 5" MORTAR FOR EXTERIOR ABOVE GRADE LOAD BEARING AND NON-LOAD BEARING WALLS, AND FOR OTHER APPLICATIONS WHERE ANOTHER TYPE IS NOT INDICATED.
- 4.8 MASONRY VENEER SHALL BE INSTALLED OVER A MOISTER BARRIER OR APPROVED WATER REPELLENT SHEATHING. THROUGH-WALL FLASHING AND WEEPS SHALL BE PROVIDED AT ALL LOCATIONS WHERE WATER MAY POTENTIALLY ENTER THE BUILDING ENVELOPE.
- 4.9 MASONRY VENEER SHALL BEAR ON MIN. 4" LEDGE W/ TIES TO BACK-UP AT 24" O.C. HORIZ. & 16" O.C. VERT., 12" FROM EDGE OF OPENINGS. VENEER SHOULD NOT EXCEED 30" ABOVE TOP OF FOUNDATION. EXCEPT GABLE ENDS MAY BE 36" MAX.
- 4.10 IF BRICK LEDGES ARE RECESSED INTO FOUNDATIONS WALLS, THE RESULTING STEEL WALL SHALL BE MIN. 6" THICK FOR CMU WALLS AND 6" FOR POURED IN PLACE W/ WALLS.
- 4.11 PROVIDE WEEP HOLES ABOVE ALL FLASHING AT A MAX. OF 33" O.C. MAINTAIN MIN. 1" AIR SPACE BETWEEN VENEER & SHEATHING.

- 4.12 ONLY IF APPLICABLE AND SHOWN IN THE DRAWINGS, FOR ATTACHED DWELLINGS, MASONRY FIREWALLS SHALL BE CONSTRUCTED OF CLASSIFICATION D-2, 6 CMU IN ACCORDANCE WITH UL-905 TO PROVIDE 2-HOUR SEPARATION ROOM FOUNDATION TO UNDERLIES OF ROOF SHEATHING.
- 4.13 BEAMS OR HEADERS BEARING ON MASONRY FIREWALLS SHALL HAVE A MIN. 4" MASONRY SEPARATION FROM ADJACENT DWELLING, AND SHALL BE FIRE CUT.
- 4.14 MANUFACTURED "THIN" STONE VENEER SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS AND NSR602.

METALS

- 5.1 ALL STRUCTURAL STL SHALL CONFORM TO ASTM SPECIFICATION A-36.
- 5.2 STRAP ANCHORS OR ANCHOR BOLTS SHALL BE BUILDING INSPECTOR APPROVED. MINIMUM (2) 1/2" DIA. BOLTS PER SECTION OR PLATING, 12" FROM EACH END WITH INTERMEDIATE BOLTS AT 6'-0" O.C. MAXIMUM STRAP SPACING NOT TO EXCEED MANUFACTURERS SPECIFICATIONS.
- 5.3 METAL JOIST HANGERS SHALL BE USED AT ALL FLUSH CONNECTIONS TO SUPPORT THE FULL CAPACITY OF THE JOIST OR BEAM. CONNECTORS USED FOR P.T. LUMBER SHALL BE CORROSION RESISTANT AS APPROVED BY THE MANUFACTURER. ALUM. FLASHING SHALL BE USED IN DIRECT CONTACT WITH P.T. LUMBER.
- 5.4 NAILS: USE NUMBER AND TYPE FOR EACH APPLICATIONS AS CALLED FOR IN THE CURRENT MODEL CODE OR MANUFACTURERS RECOMMENDED STANDARD.
- 5.5 VENEER TIES SHALL BE 1" WIDE, 22GA, GALVANIZED STEEL, INSTALLED 24" O.C. HORIZONTALLY AND 16" O.C. VERTICALLY.
- 5.6 PROVIDE STEEL LINTELS FOR ALL OPENINGS AND RECESSES IN BRICK OR BRICK FACED MASONRY WALL SO IF NOT SPECIFICALLY DETAILED PROVIDE (1) STEEL ANGLE FOR EACH 4' OF WALL THICKNESS. STEEL ANGLES TO HAVE MINIMUM 6" BEARING AT EACH END, HORIZONTAL LEG SHALL BE 3 1/2" UNLESS OTHERWISE SHOWN.
- 5.7 LINTEL SCHEDULE (UNLESS OTHERWISE NOTED ON PLANS):
- | L-1 | 3 1/2" x 3 1/2" x 5/16" | STEEL ANGLE UP TO 3' OPS. |
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| L-2 | 4" x 3 1/2" x 5/16" <th>STEEL ANGLE 3' TO 5' OPS.</th> | STEEL ANGLE 3' TO 5' OPS. |
| L-3 | 5" x 3 1/2" x 3/8" <th>STEEL ANGLE 5' TO 6'-6" OPS.</th> | STEEL ANGLE 5' TO 6'-6" OPS. |
| L-4 | 6" x 3 1/2" x 1/2" <th>STEEL ANGLE UP TO 9' OPS.</th> | STEEL ANGLE UP TO 9' OPS. |
- 5.8 LINTELS SHOWN SHALL NOT SUPPORT ANY SUPERIMPOSED LOADS.
- 5.9 ALL STEEL ANGLES IN MASONRY WALLS SHALL BE FLASHED AND PAINTED.
- 5.10 COAT ALL FERROUS METALS EXCEPT COMPLETELY PRE-FINISHED FACTORY ITEMS, WITH RUST INHIBITIVE PAINT.
- 5.11 ADJUSTABLE STEEL COLUMNS SHOWN ON THE DRAWINGS SHALL BE MANUFACTURED IN ACCORDANCE WITH CURRENT MODEL CODE STANDARDS IN O.D. SIZES SPECIFIED.
- 5.12 WOOD PLATE ATTACHMENT TO STEEL BEAMS SHALL BE WITH 1/4" DIA. BOLTS AT 24" STAGGERED O.C.

WOOD

- 6.1 ALL STRUCTURAL LUMBER SHALL BE STAMPED IN ACCORDANCE WITH THE "CONSTRUCTION MANUAL" OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION AND STORE IN DRY LOCATION.
- 6.2 PRESSURE TREATED LUMBER SHALL CONFORM WITH AWPA-U1 & M4, FOR THE SPECIES, PRODUCT, PRESERVATIVE, AND END USE.
- 6.3 JOISTS AND GIRDERS: SEE PLANS FOR SIZE, SPACING AND MINIMUM GRADE AND SPECIES. HEM FIR AND SPRUCE-PINE-FIR (SPF) SHALL BE NORTHERN SPECIES ONLY. MAX. MOISTURE CONTENT SHALL NOT EXCEED 19%.
- 6.4 PROVIDE DOUBLE SOLID JOISTS UNDER ALL PARALLEL PARTITIONS OVER 5'-0" IN LENGTH UNLESS MANUFACTURERS SHOP DRAWINGS SHOW OTHERWISE.
- 6.5 WHEN ENGINEERING BEAMS ARE SPECIFIED ON THE DRAWINGS AS LVL OR PSI, THEY ARE INTERCHANGABLE. (MIN. Fb = 2600 PSI) NO OTHER SUBSTITUTIONS ARE TO BE MADE WITHOUT ARCHITECTS APPROVAL. ALL SUCH BEAMS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS WRITTEN INSTRUCTIONS.
- 6.6 BEARING WALL STUDS SHALL BE MINIMUM SPF STUD GRADE, 10' OR BETTER AT 16" O.C. LAP ALL DOUBLE TOP PLATE JOINTS A MIN. OF 24".
- 6.7 EXTERIOR WALLS, UP TO 10' SUPPORTING (1) FLOOR & ROOF MAY BE 2x4 @ 16" O.C. SUPPORTING (2) FLOORS AND ROOF SHALL BE 2x6 @ 16" O.C., COMPLY W/ IRC-R602.3.
- 6.8 INTERIOR NON-BEARING WALLS MAY BE SPF #2 2x4 STUDS. 24" O.C.
- 6.9 LATERAL WALL BRACING SHALL BE PROVIDED BY CONTINUOUS, APPROVED STRUCTURAL SHEATHING INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECS. ALTERNATIVE WALL BRACINGS MUST COMPLY W/ SECTION 602.10 OF THE IRC.
- 6.10 RAFTERS- SEE PLANS FOR SIZE, SPACING, MINIMUM GRADE AND SPECIES.

- 6.11 DESIGN, FABRICATION AND INSTALLATION OF WOOD TRUSSES AND SHEET METAL CONNECTORS SHALL BE IN ACCORDANCE WITH TRUSS PLATE INSTITUTE TR-62. STRUCTURAL DESIGN OR MODIFICATION SHALL BE BY A REGISTERED PROFESSIONAL ENGINEER.
- 6.12 BRACING OF WOOD TRUSSES TO BE IN ACCORDANCE WITH THE APPROVED SHOP DRAWINGS AND THE TRUSS PLATE INSTITUTE, INC. PUBLICATION, BRACING WOOD TRUSSES COMMENTARY AND RECOMMENDATIONS - HB 91. INSTALL MIN. OF (2) 2x4 DIAGONAL BRACES AT APPROX. 45 DEGREES, FROM BOTTOM CHORD TO RIDGE IN EACH ROOF SECTION.
- 6.13 ALL PLYWOOD USED STRUCTURALLY SHALL MEET THE PERFORMANCE STANDARDS AND ALL OTHER REQUIREMENTS OF APPLICABLE U.S. COMMERCIAL STANDARDS FOR THAT TYPE, GRADE AND SPECIES OF WOOD, AND SHALL BE IDENTIFIED BY AN APPROVED TESTING AGENCY.
- 6.14 PLYWOOD SUBFLOORING SHALL BE GLUED AND NAILED TO JOISTS IN ACCORDANCE WITH APA RECOMMENDATIONS. LEAVE 1/8" SPACE AT ALL EDGES FOR EXPANSION OR AS PER MANUF. RECOMMENDATIONS.
- 6.15 PLYWOOD ROOF SHEATHING SHALL BE INSTALLED WITH PANEL CLIPS (1 PER BAY), LEAVE 1/8" SPACE AT PANEL ENDS.
- 6.16 REFERENCE TO NOMINAL THICKNESS SHALL MEAN THE FOLLOWING ACTUAL THICKNESS AND SPECIFICATIONS:
- | 3/4" ± 29/32" APA RATED STUCCO-FLOOR 24" O.C. EXPOSURE | 5/8" ± 19/32" APA RATED STUCCO-FLOOR 24" O.C. EXPOSURE | 1/2" ± 15/32" APA RATED SHEATHING 32/16 EXPOSURE |
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| 7/8" ± 17/8" RATED SHEATHING (OSB) 24/16, EXPOSURE | | |
- 6.17 ONLY IF APPLICABLE AND SHOWN ON THE DRAWINGS ATTACHED DWELLINGS W/ 2 HOUR RATED FIRE SEPARATION SHALL HAVE FIRE RESISTANT TREATED (F.R.T.) ROOF SHEATHING 4-FEET EACH SIDE OF THE PARTYWALL CENTERLINE. PLYWOOD SHALL BE CERTIFIED NOT TO CAUSE AD HYDROLYSIS AT MOST CONDITIONS AT TEMPERATURE BELOW 400 F. ALTERNATIVES TO THE USE OF F.R.T. SHALL ONLY BE AS APPROVED BY THE LOCAL JURISDICTION. THE INSTALLATION OF AN APPROVED FIRE SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH NFPA 13D MAY ALLEVATE THE NEED FOR F.R.T. IN CERTAIN JURISDICTIONS VERIFY WITH BUILDING CODE OFFICIAL.
- 6.18 ALL WOOD LESS THAN 6" FROM GRADE OR IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED PER CURRENT AWPA STANDARDS.
- 6.19 NOTCHES IN TOP OR BOTTOM OF SOLID JOIST SHALL NOT EXCEED 1/8" OF DEPTH AND SHALL NOT OCCUR IN CENTER THIRD OF SPAN.
- 6.20 HOLES BORED IN SOLID JOIST SHALL NOT BE WITHIN 2' OF TOP OR BOTTOM, AND SHALL NOT EXCEED 1/3 DEPTH.
- 6.21 UNLESS NOTED ELSEWHERE ON THESE DRAWINGS, STRUCTURAL WINDOW AND DOOR JACK STUDS SHALL BE MIN. SPF NO. 2 (Fb = 875 PSI) OF SIZE SPECIFIED ON DRAWINGS. OPENINGS 3' OR LESS SHALL HAVE MIN. (2) 2x10 HEADERS.
- 6.22 UNLESS NOTED ELSEWHERE ON THESE DRAWINGS, STRUCTURAL WINDOW AND DOOR JACK STUDS SHALL BE MIN. STUD GRADE, KD OR BETTER, PROVIDE SINGLE JACK STUDS AT OPENINGS LESS THAN 4'-0" AND DOUBLE JACK STUDS AT OPENINGS UP TO 7'-0".
- 6.23 ALL FASTENERS SHALL BE IN ACCORD WITH TABLE R602.3 AND R603.6 OF THE IRC. ATTACH BASEMENT WALL PLATES TO SLAB W/ 3" POWER DRIVEN DRIVE PINS @ 16" O.C.
- 6.24 MULTIPLE STUDS OR POSTS SHALL BE BLOCKED SOLID THROUGH FLOORS AS REQUIRED TO PROVIDE CONTINUOUS SUPPORT TO THE FOUNDATION.

THERMAL & MOISTURE PROTECTION

- 7.1 WATERPROOFING: APPLY (1) COAT OF BITUMINOUS 3#/ 5Y OF ACRYLIC MODIFIED CEMENT OR ANY APPROVED WATERPROOFING TO EXTERIOR OF ALL BELOW GRADE WALLS AT 85MT CONDITIONS.
- 7.2 SLAB VAPOR BARRIER: 6 MIL POLYETHYLENE SHEET WHERE NOTED ON DRAWINGS. OVERLAY ALL EDGES 6".
- 7.3 SILL SEALER: 1/2" x 5/8" COMPRESSIBLE FIBERGLASS BENEATH ALL EXTERIOR SILL PLATES, OR OTHER APPROVED SILL SEALER.
- 7.4 PROVIDE APPROVED CORROSION-RESISTIVE FLASHING AT THE INTERSECTIONS OF MASONRY AND WOOD FRAME CONSTRUCTION, OVER PROJECTING WOOD TRIM, WHERE DECKS, PORCHES, ETC. ARE ATTACHED TO WOOD FRAME CONSTRUCTION, AT WALL AND ROOF INTERSECTIONS, AT CHIMNEY AND ROOF INTERSECTIONS, IN ROOF VALLEYS, AT ALL ROOF PENETRATIONS, AND AT WALL OPENINGS IF RECOMMENDED BY WINDOW AND DOOR MANUFACTURER.
- 7.5 UNLESS OTHERWISE SPECIFIED ON DRAWINGS, PROVIDE AND INSTALL THERMAL INSULATION AS SHOWN ON THE COVER SHEET. ALL INSULATION SHALL INCLUDE AN INTEGRAL VAPOR BARRIER POSITIONED IN DIRECT CONTACT WITH THE WARM SIDE OF THE WALL/CEILING/FLOOR. EXPOSED INSULATION IN UNFINISHED SPACE SHALL HAVE A MIN. F5-25 FACING. BLOWN OR SPRAYED INSULATION SHALL BE INSTALLED PER N-101.3.1 OF THE IRC WITH DEPTH MARKERS. PROVIDE SLAB PERIMETER INSULATION WHERE FIN. GRADE IS LESS THAN 12" ABOVE SLAB.
- 7.6 ROOFING: UNLESS NOTED OTHERWISE, ROOFING SHALL BE MIN. CLASS 1C FIBERGLASS BASED ASPHALT BASED ASPHALT SHINGLES OVER 15 LBS. FELT. ATTACH 5/16" TRIP SINGLE W/ MIN. OF 4 FASTENERS. EAVE FLASHING TO A POINT 24" INSIDE OF INTERIOR FACE OF WALL LINE MAY BE INSTALLED AT THE OWNERS DISCRETION OR AS SPECIFIED ON THE COVER SHEET. USE DOUBLE UNDERLAYMENT FOR ROOF SLOPES LESS THAN 4:12 PITCH.
- 7.7 PROVIDE AND INSTALL CONTINUOUS STRUCTURAL WOOD PANEL SHEATHING IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS AND MODEL CODE REQUIREMENTS.
- 7.8 PROVIDE SIDING MATERIAL AS SHOWN ON DRAWINGS AND INSTALLED PER MANUFACTURERS INSTRUCTIONS. INSTALL OVER 15# FELT OR EQUIVALENT WEATHER RESISTIVE MATERIALS, AIR INFILTRATION BARRIER OR MOISTURE RESISTANT SHEATHING MEETING ASTM D719 STANDARDS.
- 7.9 GUTTERS SHALL BE .037 PREFINISHED ALUMINUM GUTTERS WITH .024" PREFINISHED ALUMINUM LEADERS. LEAD TO SPLASH BLOCKS OR AS REQUIRED BY THE LOCAL JURISDICTION. COORDINATE WITH SITE PLAN.
- 7.10 PROVIDE SOFFIT VENTS, RIDGE VENTS, OR GABLE END VENTS AS SHOWN ON THE DRAWINGS. MAINTAIN MINIMUM V300 FREE VENTILATION FOR HORIZONTALLY PROJECTED ROOF AREA. INSTALL PLASTIC OR CARDBOARD Baffles IN EACH TRUSS/RAFTER BAY TO MAINTAIN FREE AIR FLOW. ALL REVERSE GABLES SHALL BE OPEN TO MAIN ROOF ATTIC TO ALLOW FREE AIR FLOW.

DOORS AND WINDOWS

- 8.1 THE CONTRACTOR SHALL VERIFY & COORDINATE ROUGH OPENINGS FOR ALL DOORS & WINDOWS PRIOR TO START OF CONSTRUCTION. INSTALLATION SHALL BE IN ACCORD W/ MANUFACTURERS INSTRUCTIONS.
- 8.2 EACH SLEEPING ROOM AND BASEMENT SPACE (UNLESS APPOINTED OTHERWISE BY LOCAL JURISDICTION) SHALL HAVE AT LEAST ONE OPERABLE WINDOW PROVIDING 5.7 S.F. (5.4 S.F. AT GRADE CONDITIONS) OF NET CLEAR OPENINGS AS CERTIFIED BY THE MANUFACTURER, PERS. WITH ALL SILL HEIGHT NOT MORE THAN 44" A.F.F. OR OTHER CLEAR DIRECT MEANS OF EGRESS TO THE OUTSIDE. WINDOW WELLS, IF REQUIRED, SHALL BE MIN. 3' x 3'.
- 8.3 SAFETY (TEMPERED) GLAZING SHALL BE PROVIDED IN:
- GLASS DOORS, & SIDELIGHTS
 - SHOWER AND TUB ENCLOSURES AND WINDOWS WITHIN 6' OF TUB
 - GLAZING ON STAIR LANDINGS
 - FIXED PANELS GREATER THAN 9 S.F., WITHIN 15' A.F.F.
 - GLAZING WITHIN 12" OF A STAIR RAILING
 - GLAZING WITHIN 24" RADIUS OF CLOSED DOORS
- 8.4 IF APPLICABLE, PROVIDE SELF-CLOSING DOOR BETWEEN DWELLING AND GARAGE. DOOR SHALL BE 1 1/4" THICK SOLID WOOD OR INSULATED STEEL W/ MIN. 20 MIN. RATING.

FINISHES

- 9.1 DRYWALL: 1/2" TAPERED EGGE GYPSUM BOARD APPLIED, TAPED, AND FINISHED IN ACCORDANCE WITH GYPSUM ASSOCIATION 6A-276 AND ASTM C-840.
- 9.2 5/8" GYPSUM BOARD IS TO BE USED TO COMPLETELY SEPARATE GARAGE FROM LIVING AREA, APPLIED ON GARAGE SIDE PER THE PLANS, OR IN MANOR ACCEPTABLE TO LOCAL JURISDICTION.
- 9.3 IF APPLICABLE AND AS SHOWN ON THE DRAWINGS, PROVIDE FIRE RESISTANT RATED ASSEMBLIES AS DETAILED FOR PARTY WALLS OR OTHER RATED WALLS OR FLOORS. INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH THE TESTING AGENCY'S REQUIREMENTS.
- 9.4 UNDERSIDE & WALLS OF ACCESSIBLE, ENCLOSED SPACE UNDER STAIRS SHALL BE PROTECTED W/ 1/2" GYPSUM BOARD.
- 9.5 WHEN CERAMIC TILE IS USED, WATER RESISTANT GYPSUM BOARD 1/2" THICK, OR APPROVED EQUAL, IS REQUIRED AT TUB AND SHOWER SURROUNDS TO A HEIGHT OF 36" ABOVE TUB OR SHOWER PAN. GLASS MESH CEMENT BOARD IS A PREFERRED ALTERNATIVE. NOTE: W.R. GYP. BOARD SHALL NOT BE INSTALLED OVER A VAPOR BARRIER IN TUB OR SHOWER COMPARTMENTS.
- 9.6 PAINT (INTERIOR) UNLESS DIRECTED OTHERWISE:
- CEILING: (1) COAT PRIMER, (1) COAT FLAT LATEX
- FINISH WALLS: (1) COAT PRIMER, (1) COAT FLAT LATEX
- FINISH TRIM: (1) COAT PRIMER, (1) COAT SEMI-GLOSS ENAMEL FINISH
- 9.7 PAINT (EXTERIOR) UNLESS DIRECTED OTHERWISE: (1) TRIM, (1) COAT PRIMER, (1) COAT EXTERIOR GRADE EXTERIOR LATEX ENAMEL.
- 9.8 CERAMIC TILE WALLS SHALL BE GLAZED MOSAIC TILE OVER WATER RESISTANT GYPSUM BOARD OR GLASS MESH MORTAR UNITS. USE THIN SET ORGANIC ADHESIVE (ANSI A106.4) OVER GYPSUM BOARD AND DRY-SET LATEX PORTLAND MORTAR (ANSI A106.5) OVER CEMENT BOARD. FLOOR TILES SHALL BE GLAZED MOSAIC TILE OVER MINIMUM 5/8" PLYWOOD UNDERLAYMENT, SCREWED 12" O.C. TO SUBFLOOR OR AS RECOMMENDED BY MANUFACTURER. USE EPOXY MORTAR AND GROUP APPLICATION (ANSI A118.3). JOIST SPACING SHALL NOT EXCEED 19.2 O.C.
- 9.9 RESILIENT FLOORS SHALL BE SHEET VINYL, RESILIENT FLOORING, OVER 1/4" MINIMUM FIBERBOARD OR PLYWOOD UNDERLAYMENT OR AS DIRECTED BY THE OWNER.

SPECIALTIES

- 10.1 IF APPLICABLE, PRE BUILT FIREPLACES AND CHIMNEYS SHALL BE U.L. APPROVED AND INSTALLED ACCORDING TO THE MANUFACTURERS RECOMMENDATIONS AND CHAPTERS 10 & 24 OF THE IRC.
- 10.2 TOILET AND BATH ACCESSORIES SHALL BE AS SPECIFIED BY THE OWNER.
- 10.3 MIRRORS: MIRROR QUALITY & SIZES PER PLANS, OR AS SPECIFIED BY THE OWNER.
- 10.4 PROVIDE EITHER SHOWER RODS 80" A.F.F. OR TEMPERED OR SAFETY LAMINATE GLASS DOORS, AS SPECIFIED BY THE OWNER.

MECHANICAL

- 11.1 HVAC AND PLUMBING CONTRACTORS SHALL COORDINATE ALL OPENINGS IN JOISTS, TRUSSES, ETC. WITH GENERAL CONTRACTOR BEFORE PROCEEDING WITH ANY WORK. ALL WORK SHALL BE IN COMPLIANCE WITH ALL LOCAL MECHANICAL AND PLUMBING CODES.
- 11.2 PROVIDE ONE DAMPER REGISTER PER 400 SQUARE FEET OF UNFINISHED BASEMENT SPACE IF APPLICABLE.
- 11.3 PROVIDE EXHAUST FANS AT EACH BATH, AND VENT TO EXTERIOR OF DWELLING. MIN. 50 CFM.
- 11.4 IF APPLICABLE & REQUIRED BY THE GOVERNING LAWS, PROVIDE FIRE SUPPRESSION SYSTEMS IN ACCORDANCE WITH NFPA 13D. CONFIRM SUCH REQUIREMENTS WITH THE LOCAL JURISDICTION BEFORE PROCEEDING WITH ANY WORK.
- 11.5 ALL DUCTWORK THAT PENETRATES A RATED WALL OR FLOOR ASSEMBLY SHALL BE PROVIDED WITH FIRE DAMPERS.

- 11.6 DUCTWORK IN UNCONDITIONED SPACES SHALL BE INSULATED TO A MIN. R-8.
- 11.7 DEVELOPED LENGTH OF DRYER VENTS SHALL NOT EXCEED 25 FEET OR IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.
- 11.8 ALL VENTS AND FLUES SHALL BE INSTALLED WITH A MINIMUM OF 1" CLEARANCE TO ADJACENT WOOD FRAMING. GREATER IF SPECIFIED BY MANUFACTURER.
- 11.9 ANY PIPING PASSING UNDER FOOTINGS OR THROUGH A FOUNDATION WALL OR SLAB SHALL BE PROVIDED WITH A SLEEVE TWO PIPE SIZES LARGER THAN THE SUBJECT PIPE.
- 11.10 PROVIDE OVERFLOW PANS AND DRAINS FOR WASHER AND/OR DRYER WITH WATER HEATER WHEN LOCATED ON A WOOD FLOOR SYSTEM.
- 11.11 PROVIDE HOSE BIBBS (FREEZE-PROOF OR WITH SHUT-OFFS) AT FRONT AND REAR OF DWELLINGS, OR AS SHOWN IN THE DRAWINGS.
- 11.12 PROVIDE 1 1/2" CONDENSATE LINE FROM WATER HEATER AND AIR HANDLER TO POSITIVE OUTFALL OR TO SUMP PUMP IF PROVIDED OR AS DIRECTED BY LOCAL JURISDICTION.
- 11.13 PIPING SHALL BE INSULATED PER IRC-N103.5
- 11.14 IF APPLICABLE, CRAWL SPACES SHALL BE CONDITIONED W/ SUPPLIES AND RETURNS LOCATED TO INSURE EVEN AIR DISTRIBUTION.
- 11.15 PROVIDE A DUAL CHECK VALVE TYPE BACKFLOW PREVENTER CONFORMING TO ASSE 1024 OR CSA B64.6 WHERE WATER SERVICE ENTERS THE DWELLING, ADJACENT TO WATER METER.

ELECTRICAL

- 12.1 WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY, AND ALL APPLICABLE LOCAL REGULATIONS.
- 12.2 ALL RECEPTACLES AT KITCHEN COUNTERS, VANITIES AND REFRIGERATOR TO BE 42" A.F.F. ALL OTHERS TO BE 13" A.F.F. SWITCHES SHALL BE 48" MAX A.F.F.
- 12.3 PROVIDE G.F.I. RECEPTACLES AT ALL WET LOCATIONS AND IN ACCORDANCE WITH NEC REQUIREMENTS.
- 12.4 PROVIDE HARDWIRED SMOKE DETECTORS WITH BATTERY BACKUP IN EACH SLEEPING ROOM AND AT EACH FLOOR LEVEL WITHIN 10' OF EACH SLEEPING AREA, NOT CLOSER THAN 4' FROM RETURN AIR INLETS. ALL DETECTORS SHALL BE INTERCONNECTED TO SOUND SIMULTANEOUSLY.
- 12.5 IF REQUIRED BY THE LOCAL JURISDICTION, PROVIDE FOR FUTURE INSTALLATION OF AN ACTIVE RADON EXTRACTION FAN (W/ SWITCH) LOCATED IN ATTIC SPACE OR AS SPECIFIED BY THE OWNER.
- 12.6 ALL BRANCH CIRCUITS SERVING BEDROOMS SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTERS PER NEC.
- 12.7 ALL PERMANENT APPLIANCES SHALL BE PROVIDED WITH BRANCH CIRCUIT OVER CURRENT DISCONNECT DEVICES. FOR APPLIANCES RATED OVER 300 VOLTS-AMPS OR 1/8 HP, DISCONNECT SHALL BE WITHIN LINE OF SIGHT.
- 12.8 PROVIDED #14 BARE COPPER CONNECTOR TO PANEL.

Date: 6/15

Scale: N.A.

Drawn: TIM

Drawing: GENERAL REQUIREMENTS

Project: WILLIAMSBURG GROUP
DORCHESTER
ESTATE HOME

1067 D4E
Project No.

D4

REVISION:

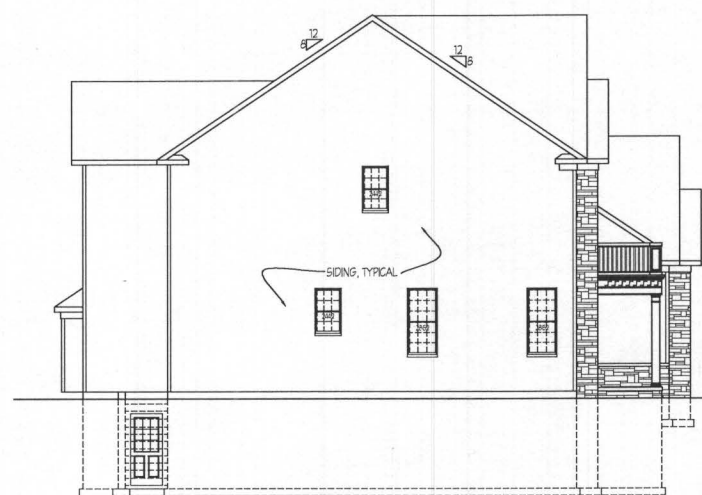
DATE:	REVISION:

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2500 Delaware Avenue, Suite 400
Baltimore, MD 21201

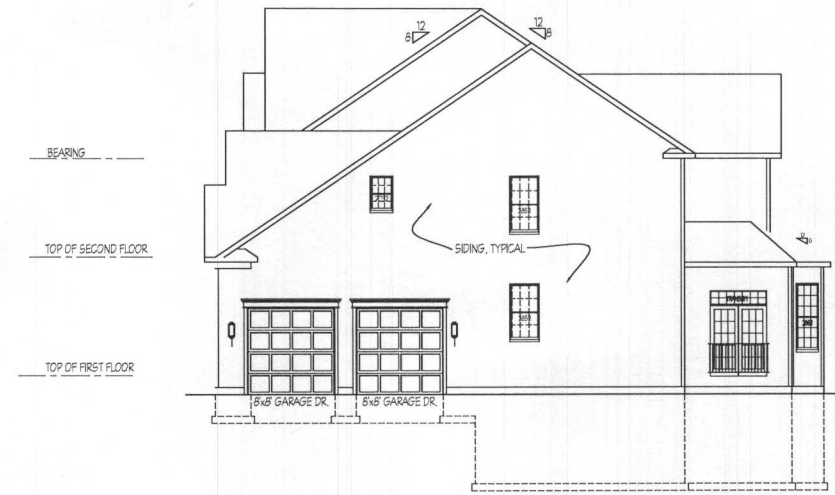
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LEFT SIDE ELEVATION 1/8" = 1'-0"



REAR ELEVATION 1/8" = 1'-0"
OPTIONAL MORNING RM.



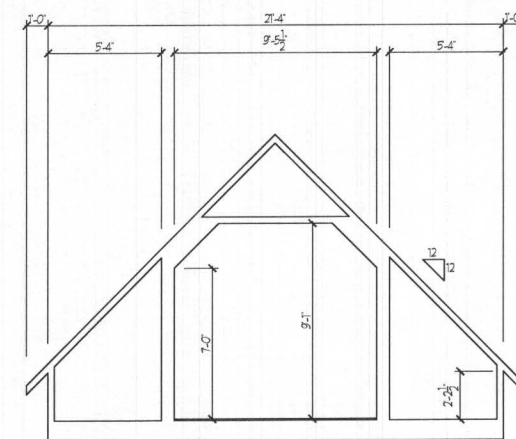
RIGHT SIDE ELEVATION 1/8" = 1'-0"
OPTIONAL MORNING RM.



FRONT ELEVATION 1/4" = 1'-0"



FRONT ELEVATION (SIDING)
1/8" = 1'-0"



GARAGE ROOM TRUSS

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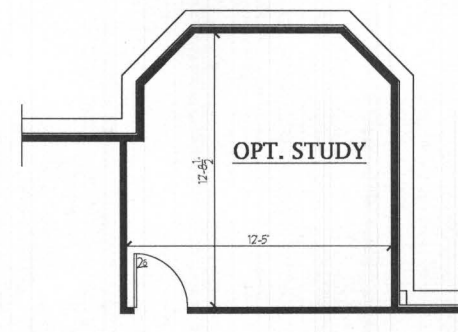
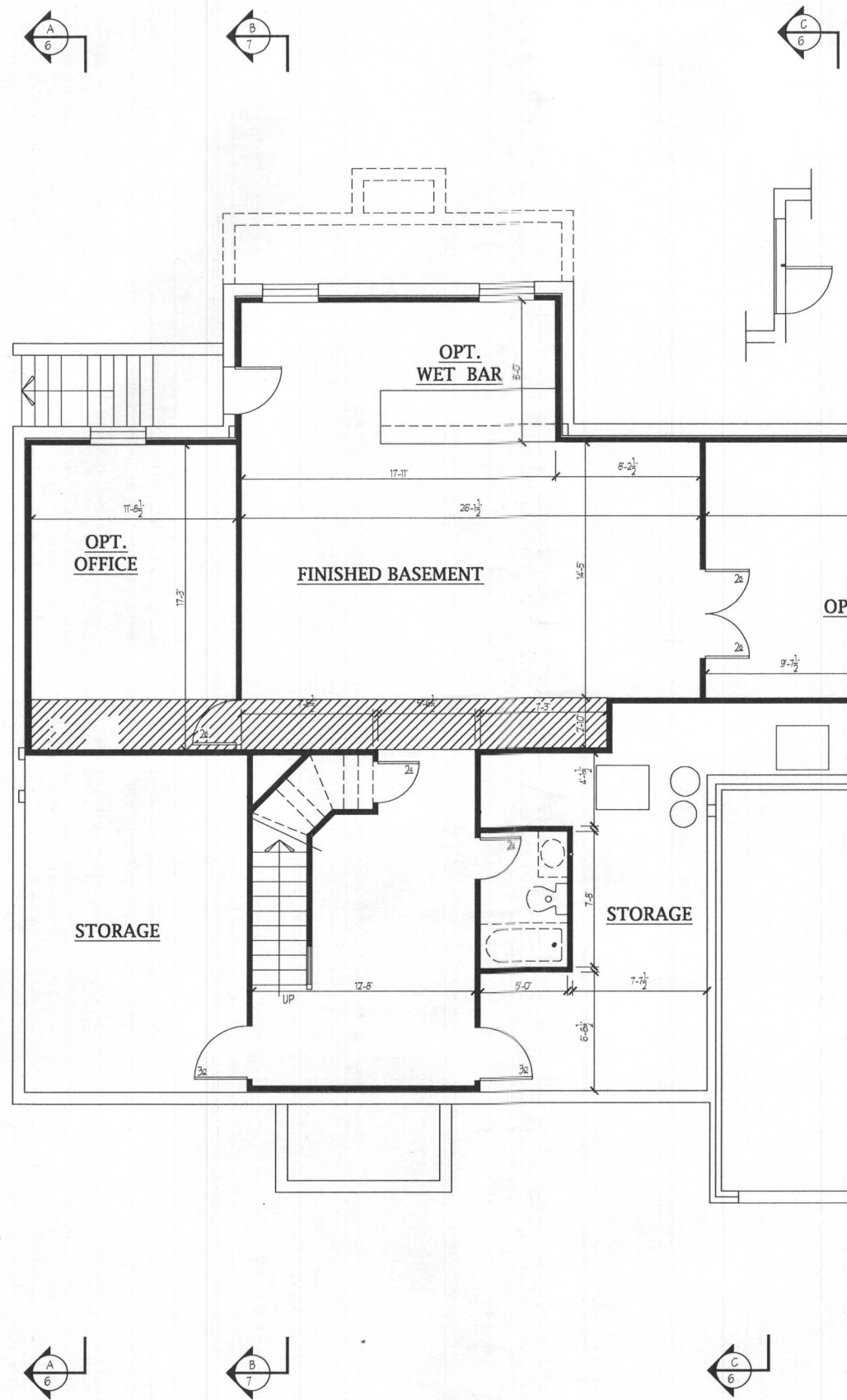
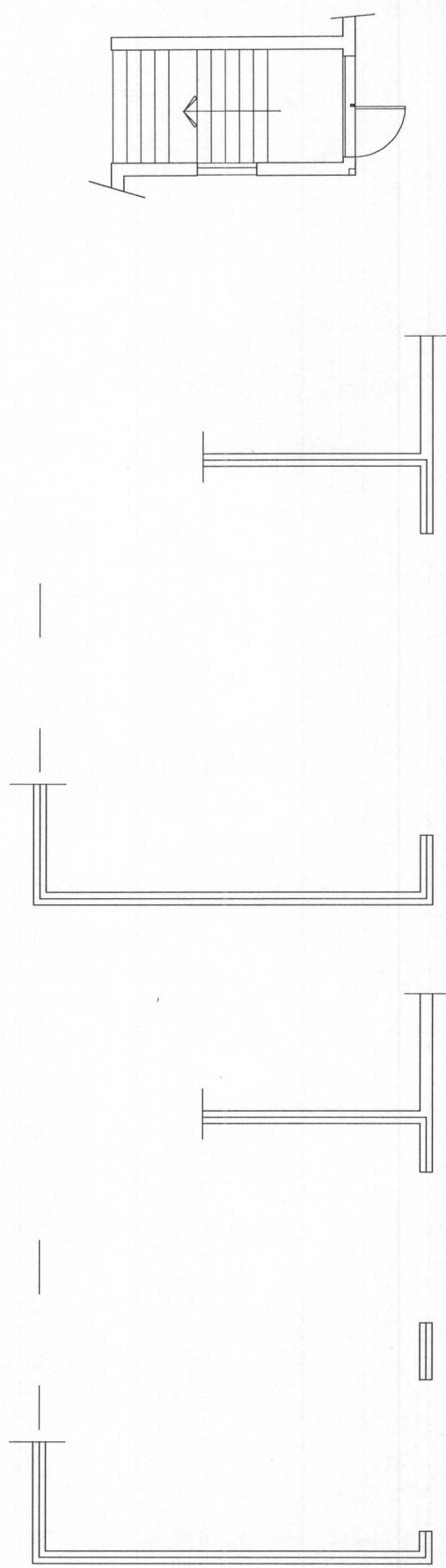
DATE: 6/15
REVISION: 1

Date: 6/15
Scale: NOTED
Drawn: TIM

Drawing: ELEVATION - 5
Project: WILLIAMSBURG GROUP
DORCHESTER 4
ESTATE HOME

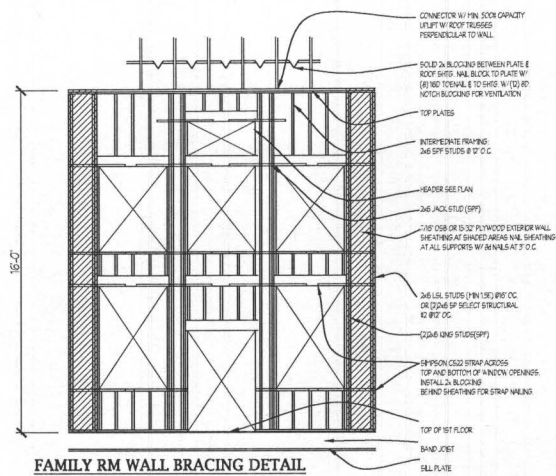
1067 D4E
Project No.

1e

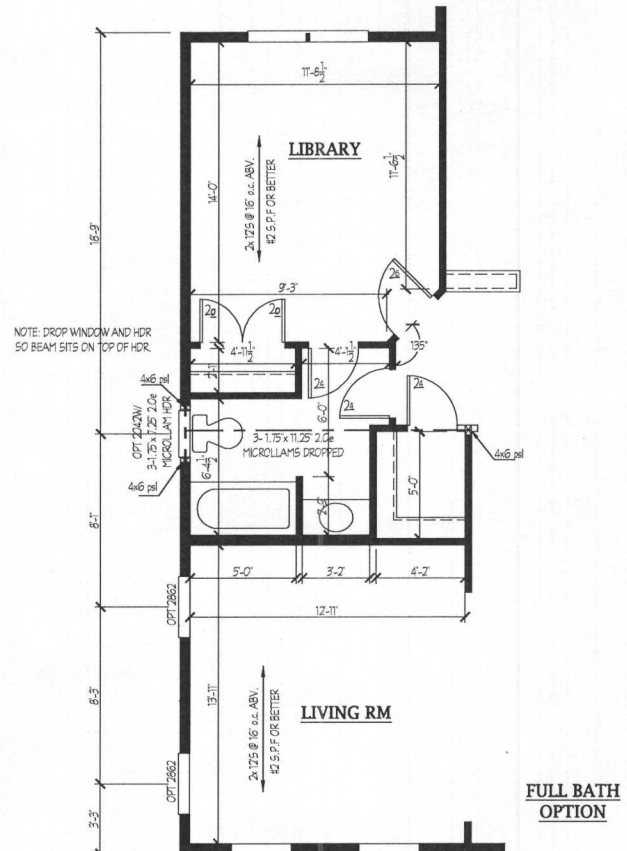


REVISED 12/16

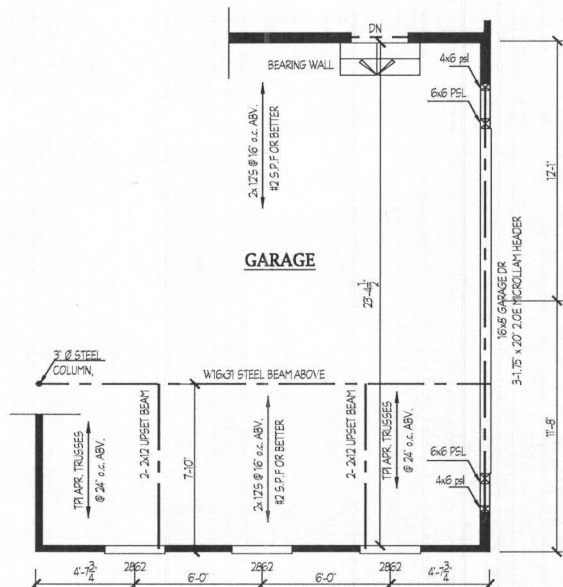
2b	1067.D4E Project No.	Project: WILLIAMSBURG GROUP DORCHESTER 4 ESTATE HOME		Drawing: FINISHED BSMT PLAN	
	Date: 6/15 Scale: 1/4" = 1'-0" Drawn: TIM				
Plymouth Road Architects 640 Plymouth Road, Catonsville, MD 21229 410-788-0281		DATE REVISION			



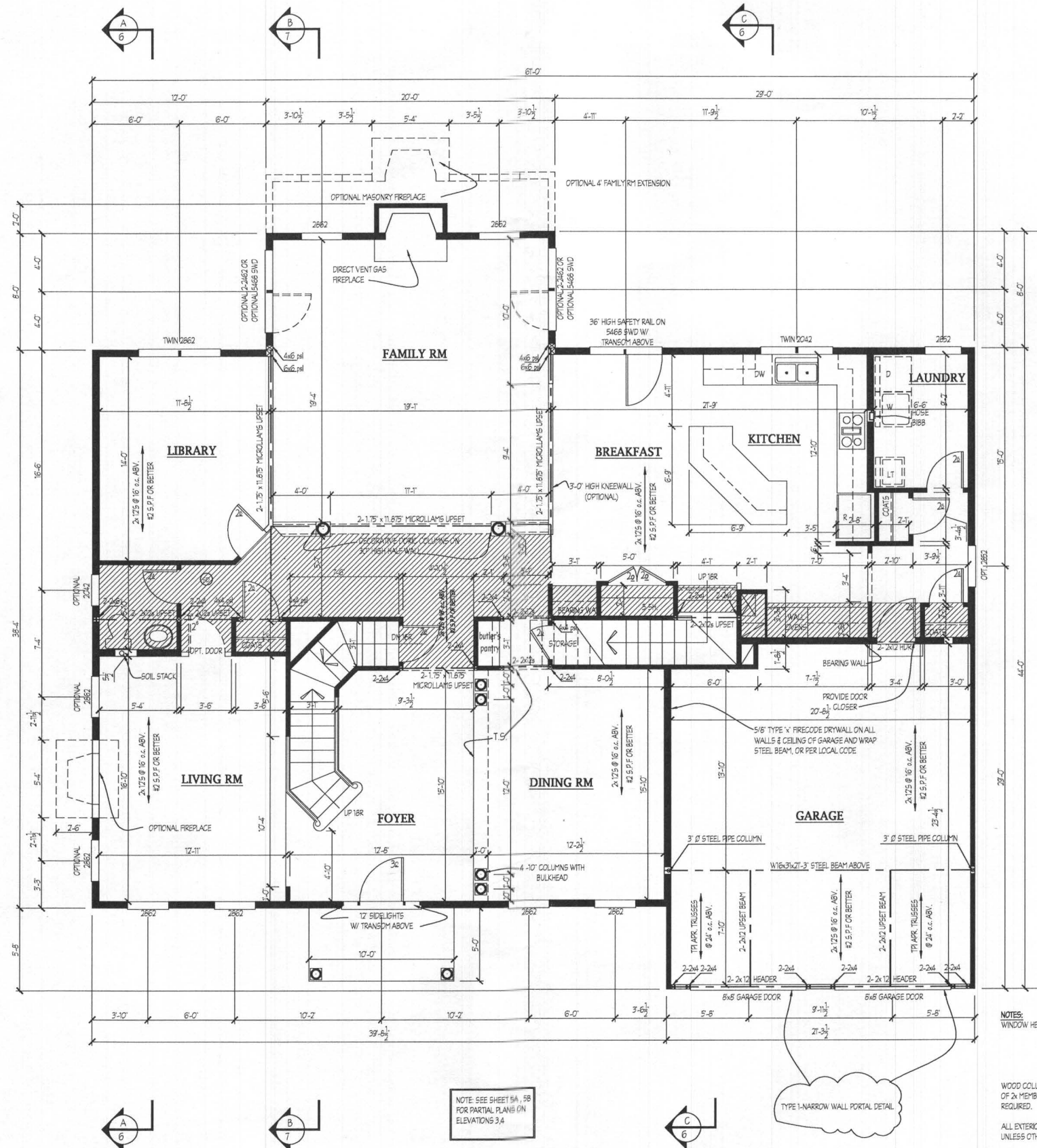
FAMILY RM WALL BRACING DETAIL



FULL BATH
OPTION



SIDE ENTRY GARAGE
OPTION



NOTE: SEE SHEET 5A, 5B
FOR PARTIAL PLANS ON
ELEVATIONS 3A

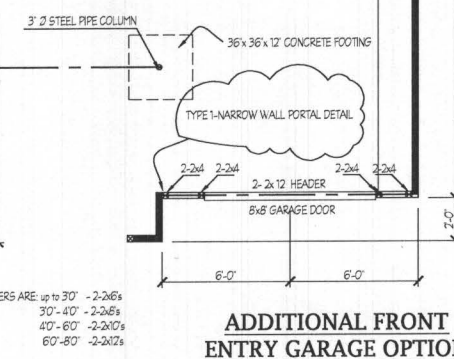
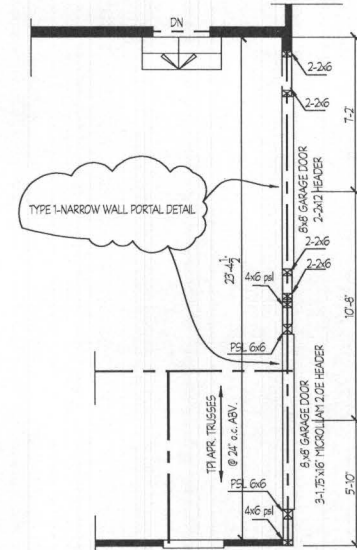
NOTES:
WINDOW HEADERS ARE: up to 30" - 2-2x6s
30" - 40" - 2-2x6s
40" - 60" - 2-2x10s
60" - 80" - 2-2x12s

WOOD COLUMNS SPECIFIED MAY BE BUILT UP
OF 2x MEMBERS, FASTENED TOGETHER AS
REQUIRED.

ALL EXTERIOR WALLS TO BE 2x6 @ 16" oc,
UNLESS OTHERWISE NOTED

NOTE: SUBSTITUTION OF ENGINEERED I-JOISTS
DESIGNED BY OTHERS IN LIEU OF DIMENSIONAL
2x LUMBER SPECIFIED FOR FLOOR FRAMING IS
ACCEPTABLE.

SIDE ENTRY GARAGE
OPTION



ADDITIONAL FRONT
ENTRY GARAGE OPTION

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DATE: 6/15
REVISION: 8/15
changed to 18"

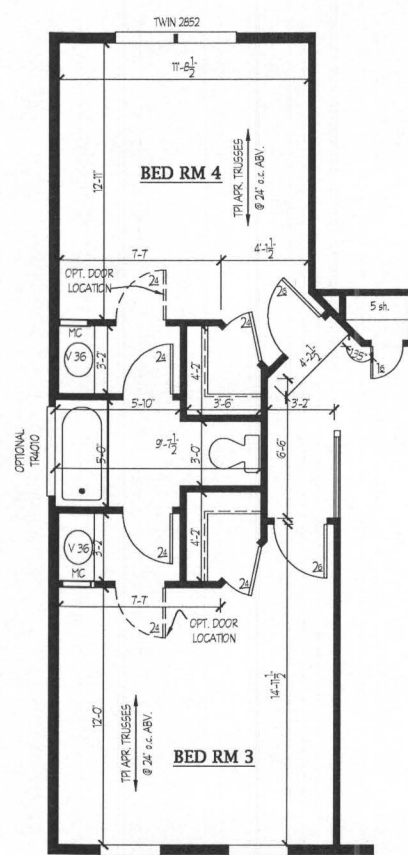
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Drawing: FIRST FLOOR PLAN
Project: WILLIAMSBURG GROUP
DORCHESTER
ESTATE HOME

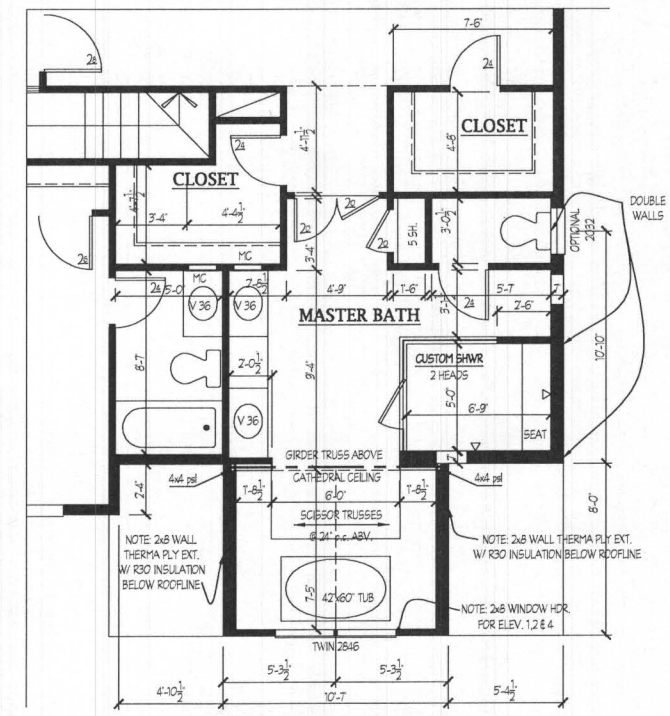
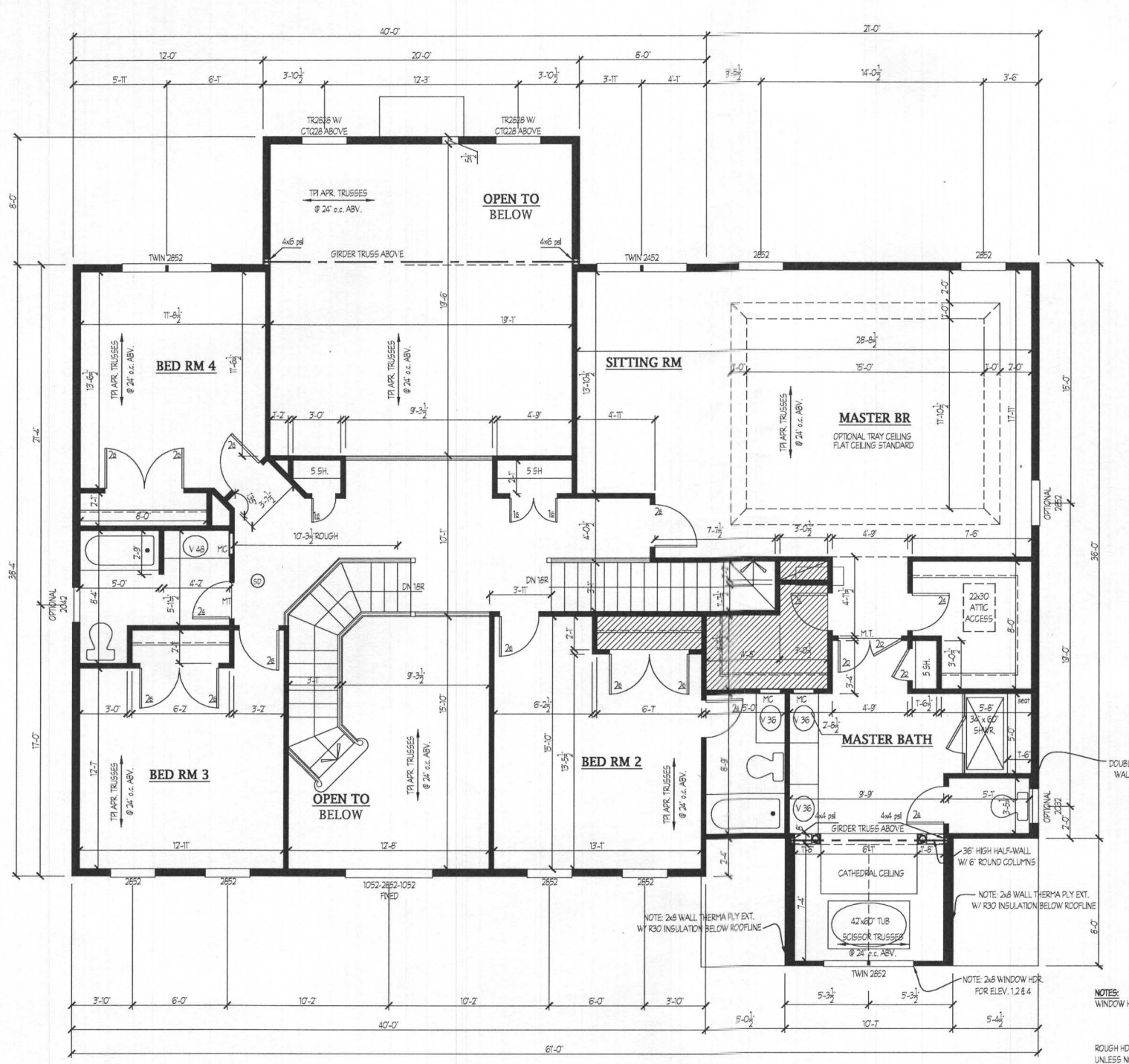
1067.D4E
Project No.

3

REVISED 3/17



OPTIONAL BUDDY BATH



MASTER BATH WITH SUPER SHOWER

NOTES:
 WINDOW HEADERS ARE: UP TO 30" - 2-2x6's
 30" - 40" - 2-2x6's
 40" - 60" - 2-2x10's
 60" - 80" - 2-2x12's
 ROUGH HD HIGHTS ARE AT 7'-6"
 UNLESS NOTED OTHERWISE
 ALL HEADERS IN BEARING WALLS ARE 2-2x12's
 UNLESS NOTED OTHERWISE
 WOOD COLUMNS SPECIFIED MAY BE BUILT UP
 OF 2x MEMBERS, FASTENED TOGETHER AS
 REQUIRED.
 ALL EXTERIOR WALLS TO BE 2x6 @ 16"oc.
 UNLESS OTHERWISE NOTED
 NOTE: SUBSTITUTION OF ENGINEERED I-JOISTS
 DESIGNED BY OTHERS IN LIEU OF DIMENSIONAL
 2x LUMBER SPECIFIED FOR FLOOR FRAMING IS
 ACCEPTABLE.

NOTE: SEE SHEET SA, SB
 FOR PARTIAL PLANS ON
 ELEVATIONS 3 & 4

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DATE	REVISION	DATE	REVISION
8/15	changed to 18r		

Date: 6/15
 Scale: 1/4" = 1'-0"
 Drawn: TIM

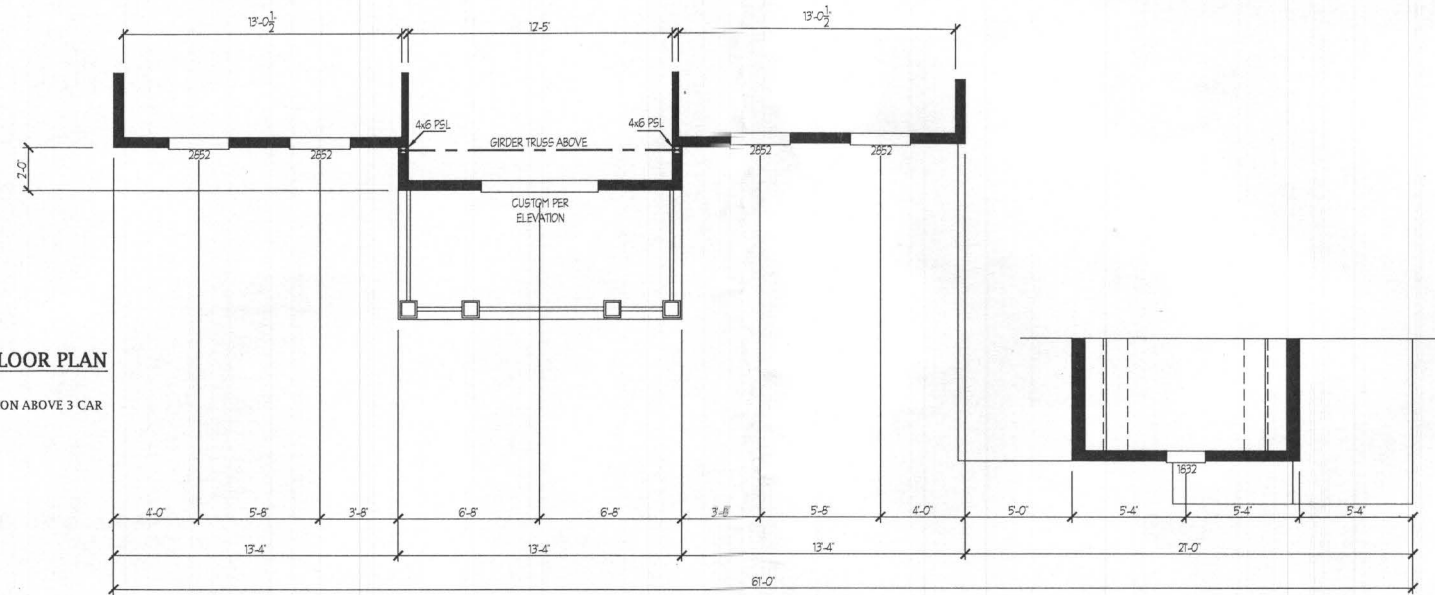
Drawing: SECOND FLOOR PLAN
 Project: WILLIAMSBURG GROUP
 DORCHESTER 4
 ESTATE HOME

1067.D4E
 Project No.

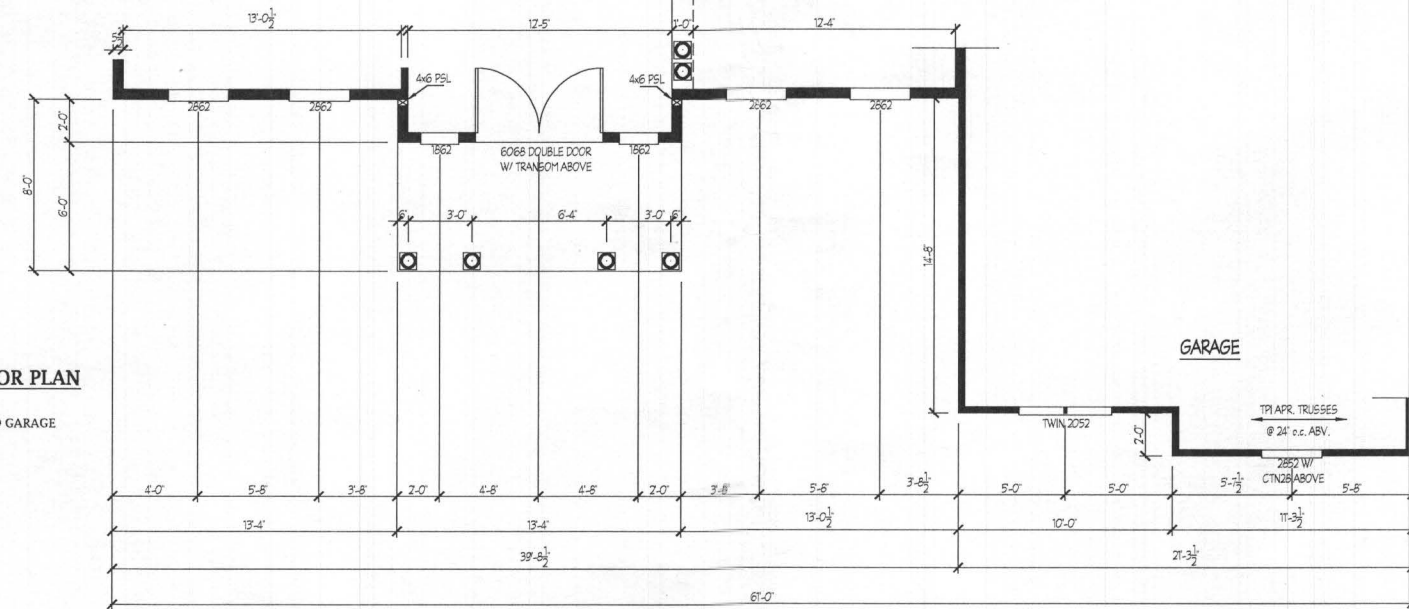
4

REVISED 2/18

**PARTIAL SECOND FLOOR PLAN
ELEVATION 5**
SHOWN WITH CLOSET EXTENSION ABOVE 3 CAR
SIDE LOAD GARAGE

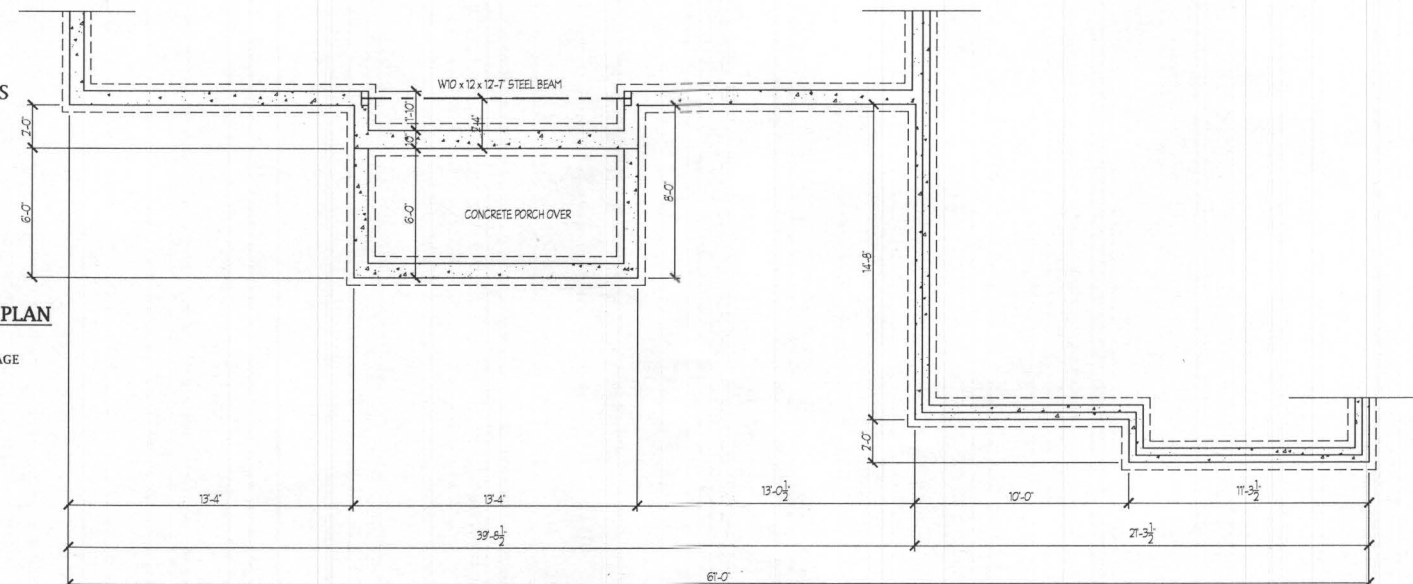


**PARTIAL FIRST FLOOR PLAN
ELEVATION 5**
SHOWN WITH 3 CAR SIDE LOAD GARAGE



OVERALL DEPTH -38'-4"
38'-8" W/ BRICK FRONT
39'-0" W/ BRICK ALL 4 SIDES

**PARTIAL FOUNDATION PLAN
ELEVATION 5**
SHOWN WITH 3 CAR SIDE LOAD GARAGE



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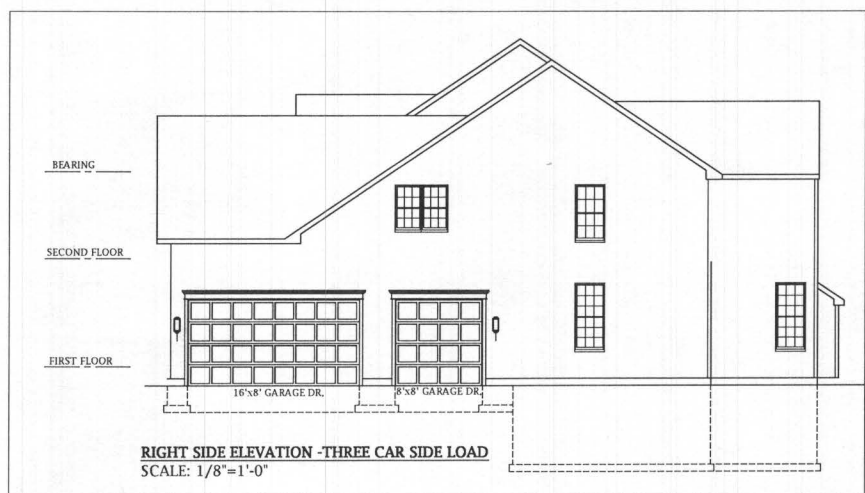
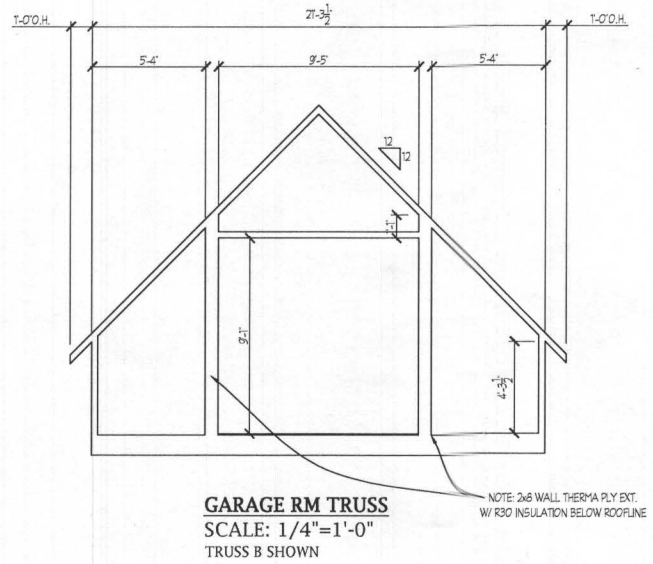
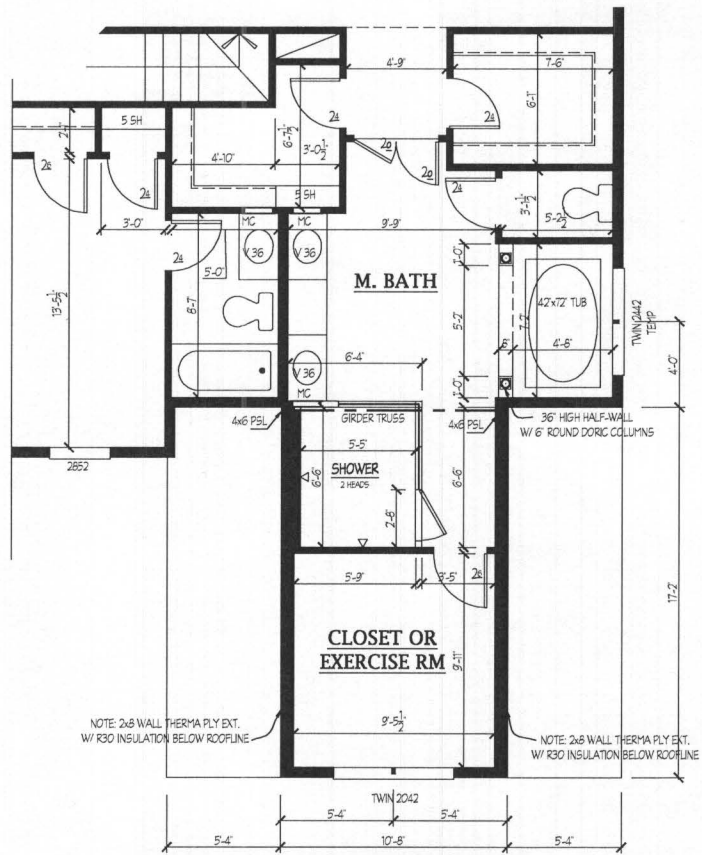
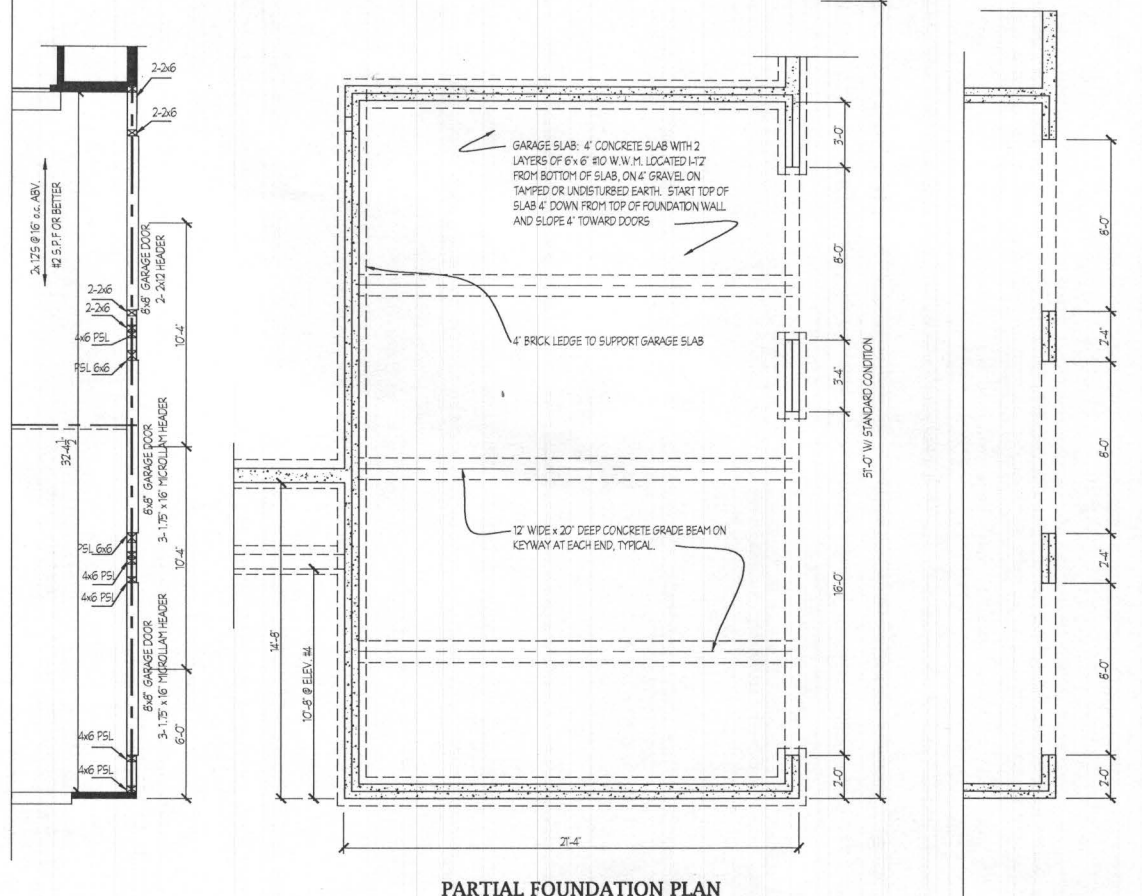
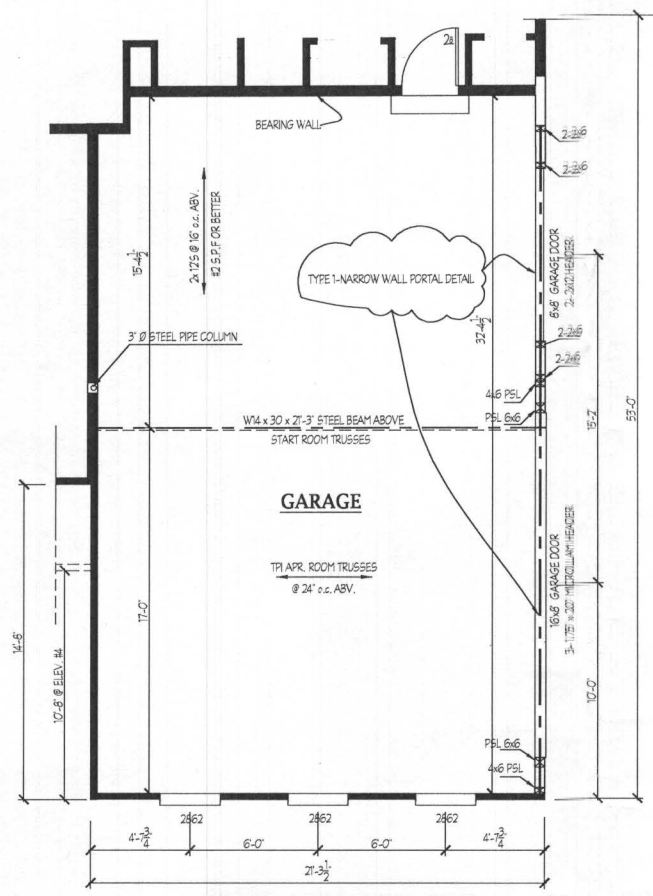
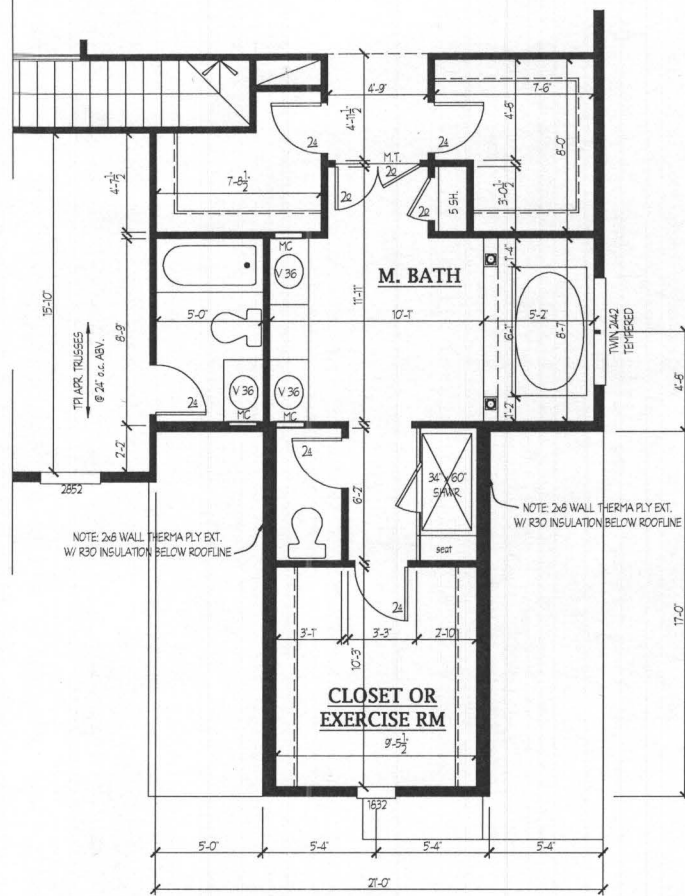
DATE	REVISION	DATE	REVISION

Date: 6/15
Scale: 1/4" = 1'-0"
Drawn: TIM

Drawing: PARTIAL PLANS- ELEVATION 5
Project: WILLIAMSBURG GROUP
DORCHESTER 4
ESTATE HOME

1067.D4E
Project No.

5c



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DATE	REVISION

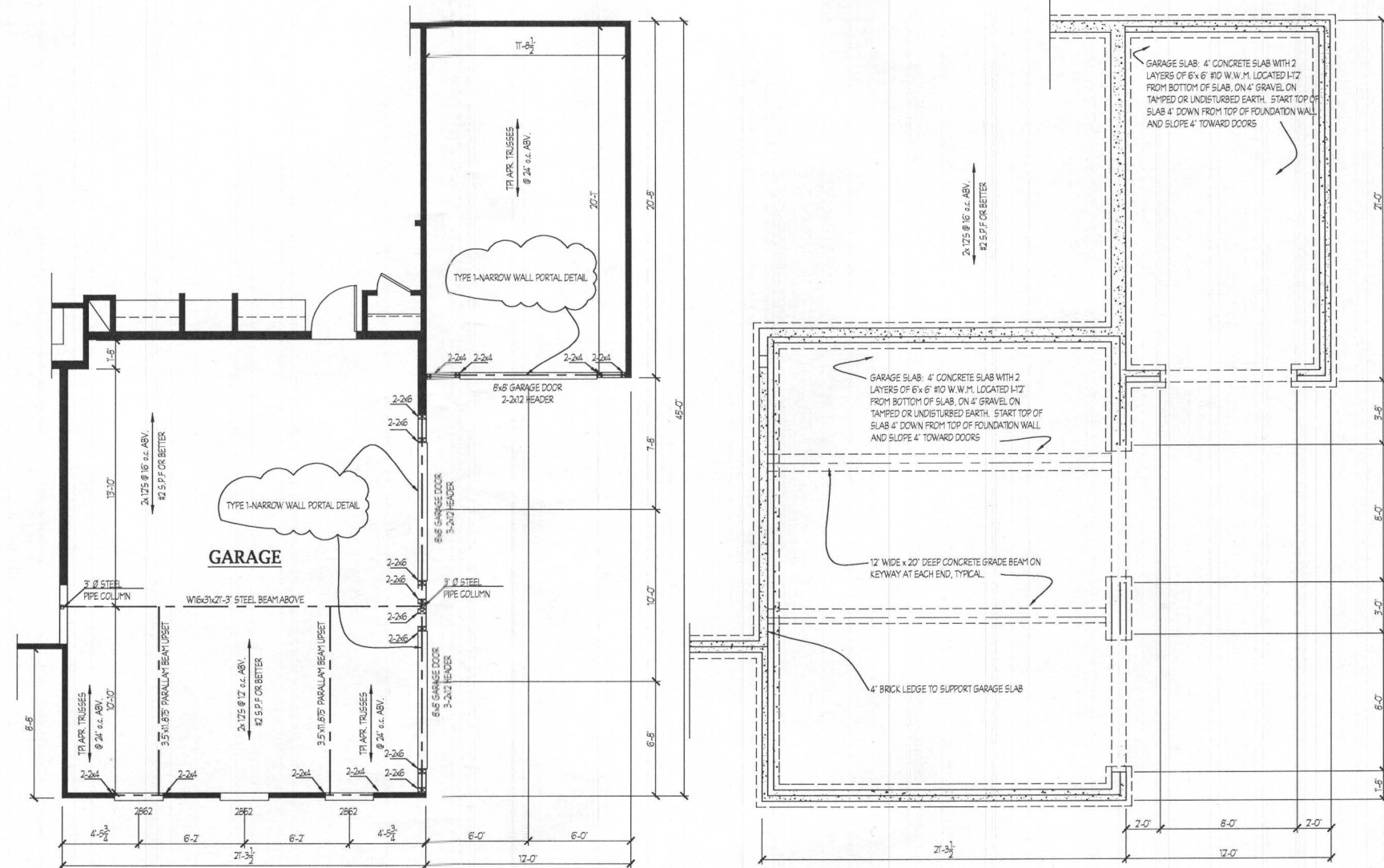
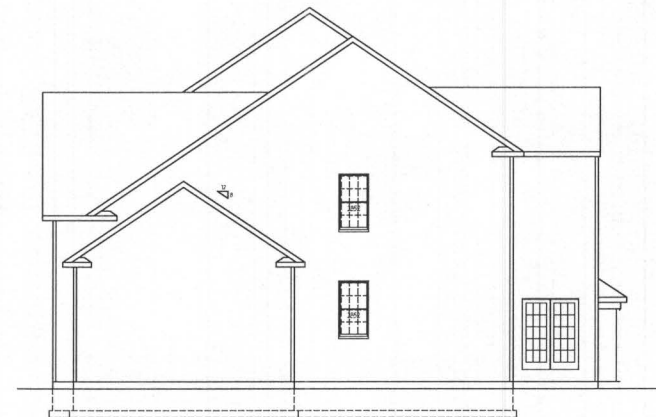
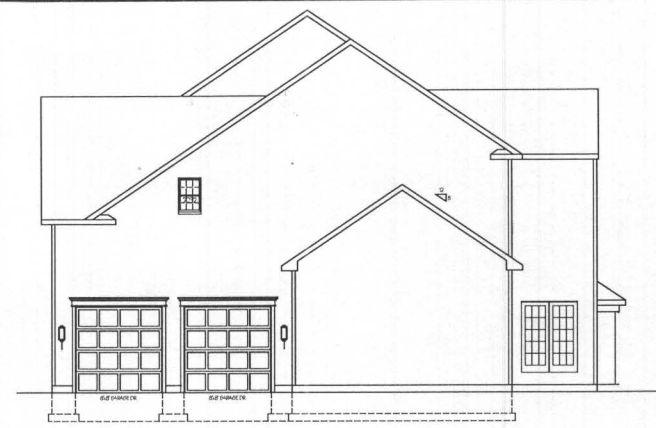
Date: 6/15
Scale: NOTED
Drawn: TIM

Drawing: 3 CAR SIDE LOAD GARAGE
Project: WILLIAMSBURG GROUP
DORCHESTER 4
ESTATE HOME

1067 D4E
Project No.

8a

REVISED 3/17



NOTE: GARAGE EXTENDS 3' IN THIS CONDITION

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[illegible]

Date: 6/15

Scale: 1/4"=1'-0"

Drawn: IIM

Drawing: 3RD CAR GARAGE ELEVS & PLANS

Project: WILLIAMSBURG GROUP
DORCHESTER
ESTATE HOME

1067 D4E
Project No.

8b



NOTE: SUBSTITUTION OF ENGINEERED I-JOISTS
DESIGNED BY OTHERS IN LIEU OF DIMENSIONAL
2x LUMBER SPECIFIED FOR FLOOR FRAMING IS
ACCEPTABLE.



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	DATE:	REVISION:	DATE:	REVISION:

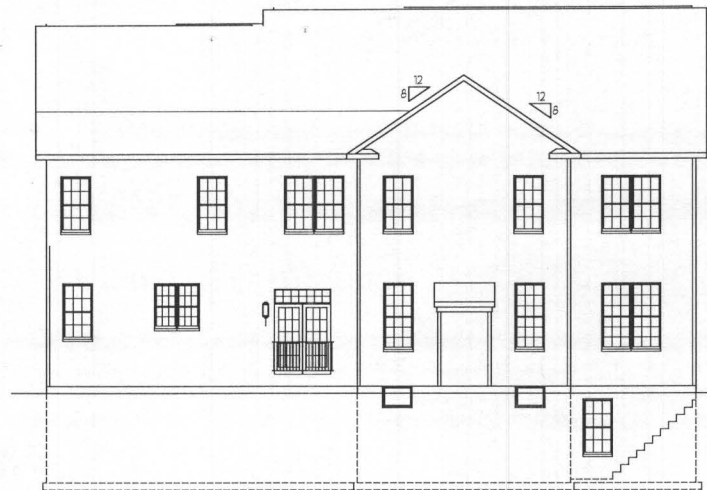
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Drawn: TIM

Drawing: CONSERVATORY PLANS & ELEVATIONS

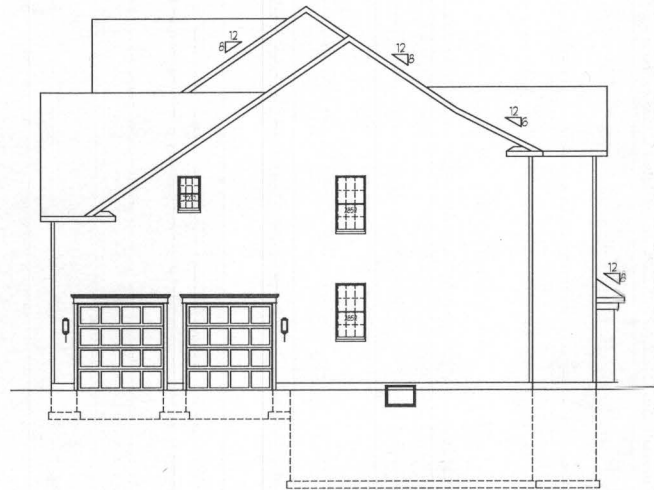
**Project: WILLIAMSBURG GROUP
DORCHESTER**

1067 D4E
Project No

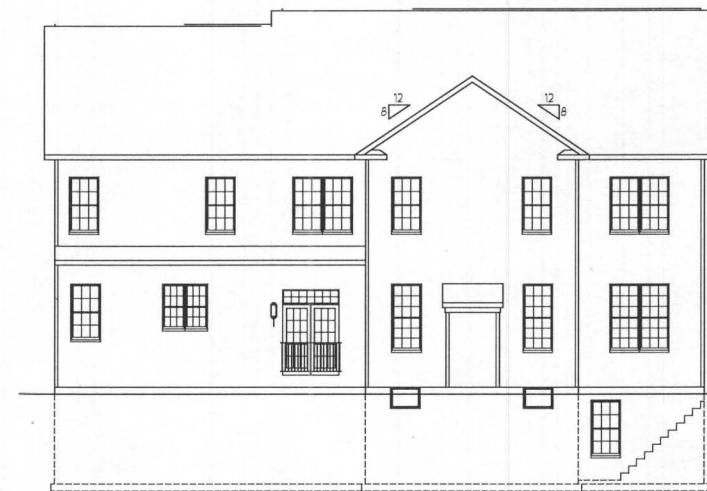
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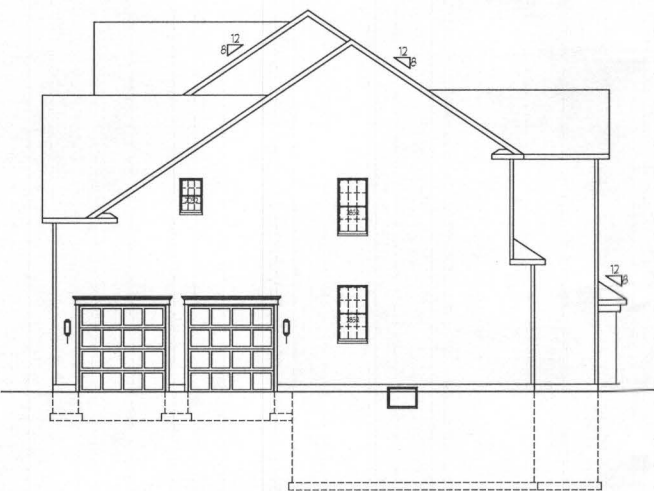
REAR ELEVATION 1/8"= 1'-0"
FULL 2' EXTENSION



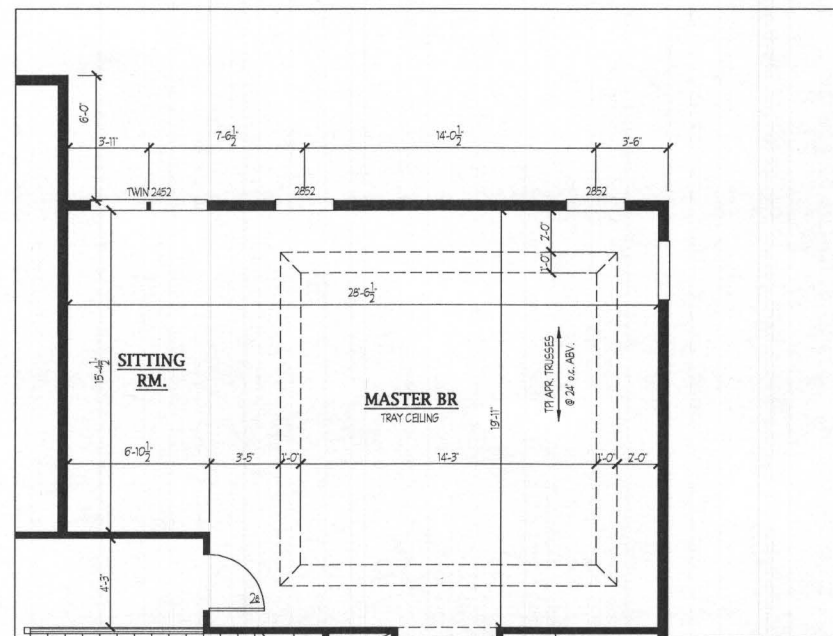
RIGHT SIDE ELEVATION 1/8"= 1'-0"
FULL 2' EXTENSION



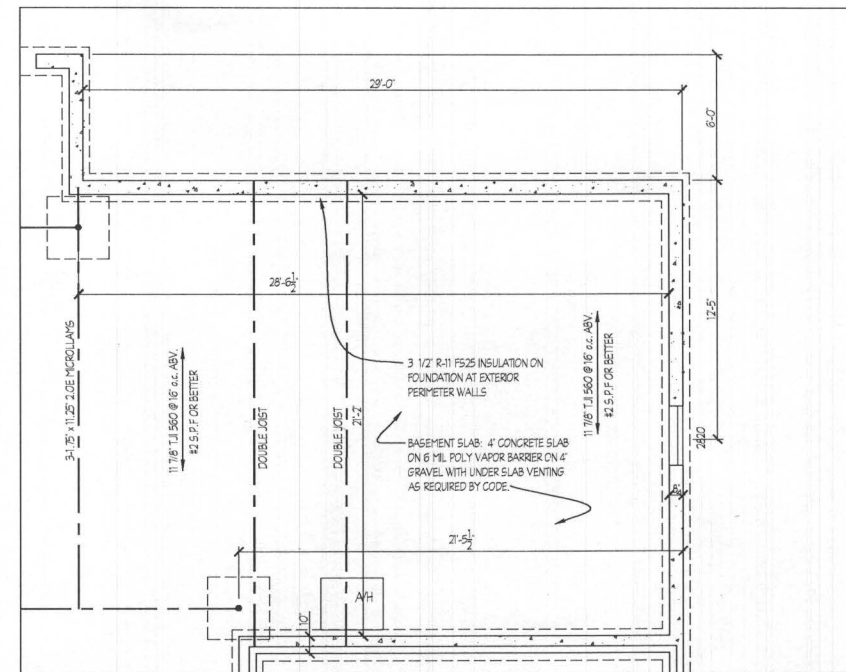
REAR ELEVATION 1/8"= 1'-0"
BSMT AND FIRST FL. EXTENSION



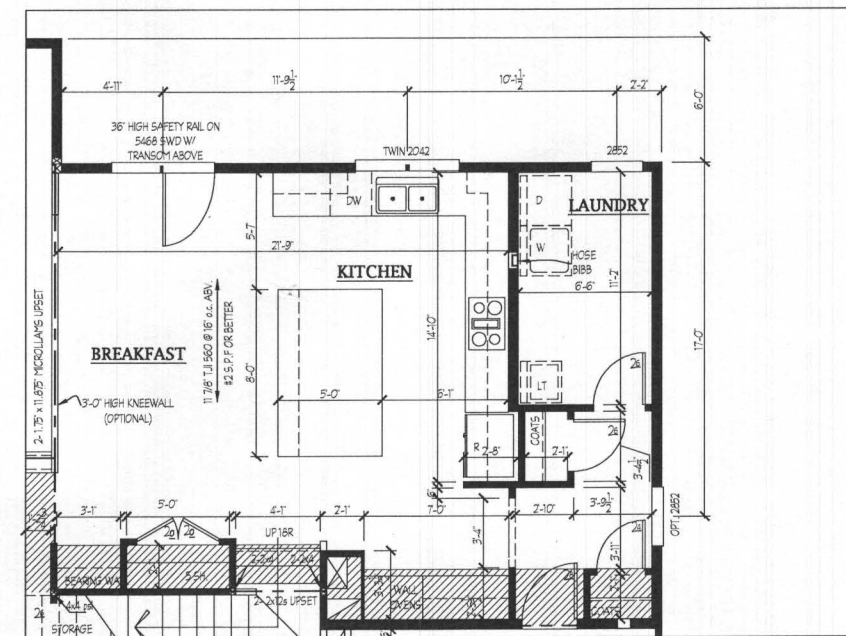
RIGHT SIDE ELEVATION 1/8"= 1'-0"
BSMT AND FIRST FL. EXTENSION



SECOND FLOOR PLAN 1/4"= 1'-0"
W/ 2' EXTENSION



FOUNDATION PLAN 1/4"= 1'-0"
W/ 2' EXTENSION



FIRST FLOOR PLAN 1/4"= 1'-0"
W/ 2' EXTENSION

REVISED 2/18

DATE	REVISION

Date: 2/18
Scale: NOTED
Drawn: TIM

Drawing: KITCHEN, BREAKFAST, MBRM + 2'
Project: WILLIAMSBURG GROUP DORCHESTER 4 ESTATE HOME

1067 D4E Project No.
