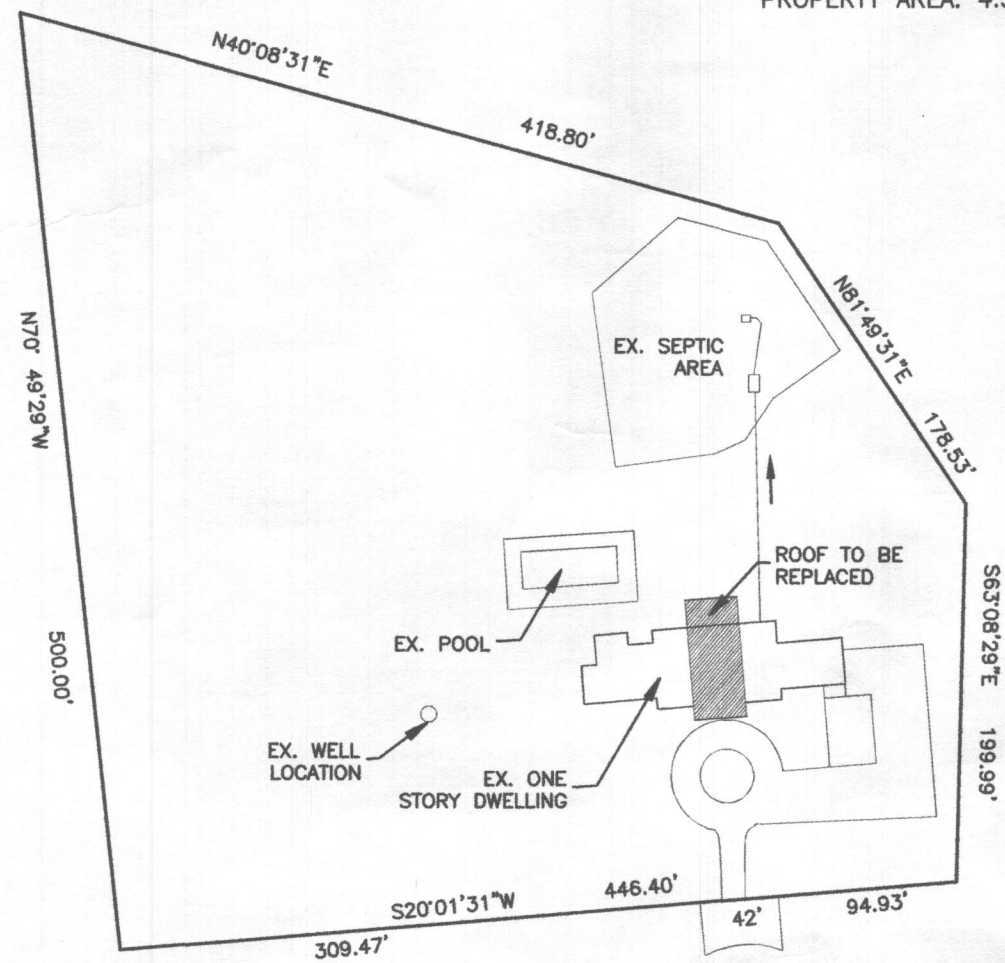
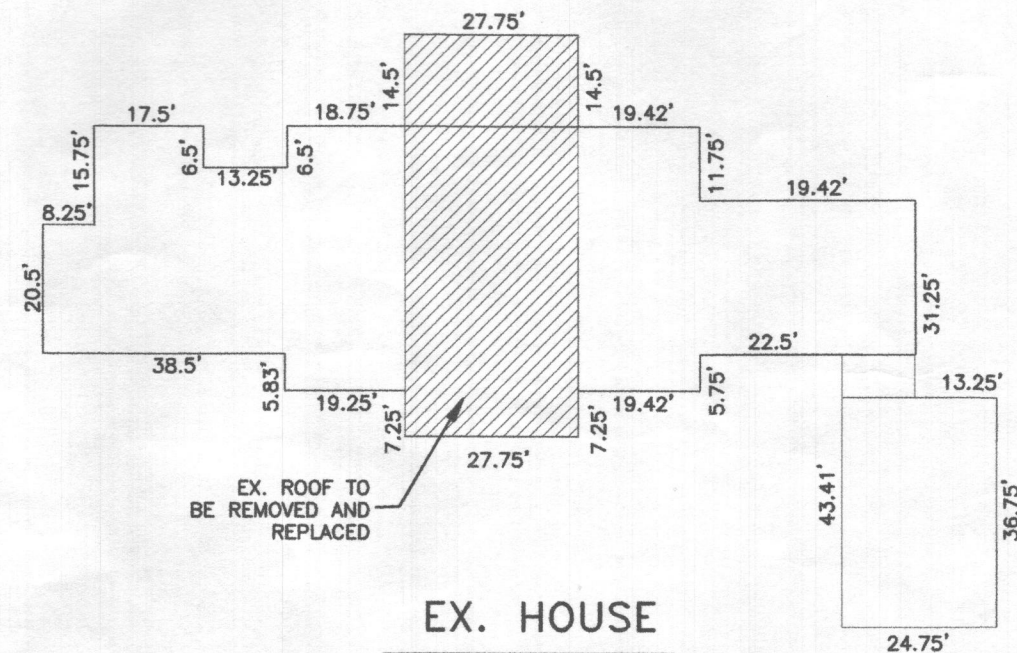


ADDRESS: 5000 WILD OLIVE CT
ELLICOTT CITY, MD 20759
MAP: 0028
DEED REFERENCE: /18342/00474
PROPERTY AREA: 4.303 AC



SITE PLAN

SCALE: 1" = 100'



EX. HOUSE

SCALE: 1" = 30'

THIS PERMIT APPLICATION IS FOR INTERIOR RENOVATION EXISTING HOUSE.
EXISTING SEPTIC SYSTEM IS DESIGNED FOR 5 BEDROOM HOUSE AND NEW REVISED RENOVATION FLOOR PLAN FOR EXISTING HOUSE WILL BE 4 BEDROOM HOUSE.
THERE IS NO CHANGE IN EXISTING CONDITION OUTSIDE OF THE HOUSE AND ALL EXISTING SEPTIC SYSTEM AND TANK REMAIN UNTOUCHED IN THE GROUND.



5000 WILD OLIVE DT
ELLICOTT CITY, MD 21042
RENOVATION

C1

SITE PLAN

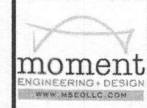
ARENCO, LLC

ARCHITECTURAL ENGINEERING CONSULTANTS
12430 HILL CREST
FULTON, MD 20759

SCALE 1" = 100'	WORK REQUEST # 20-233	SHEET 1 OF 1	DRAWING NO. 20-233-01
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B19002540

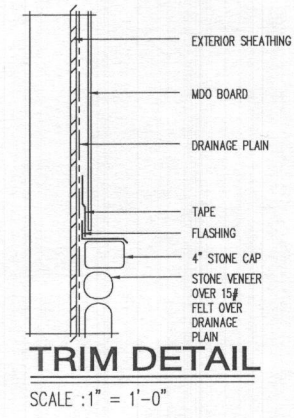
"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE #28670, EXPIRATION DATE: 3/27/2021"



DC • VIRGINIA • MD
8229 BOONE BLVD., SUITE 410
VIENNA, VA 22182
Phone: 703.982.2350 • Email: info@mseglc.com
Website: www.mseglc.com



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



22x34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8" = 1'-0"
ZIBERTY HOMES - 5000 WILD OLIVE COURT
FRONT ELEVATION

DRAWN BY:	
MCR	
DATE: 07/01/19	
REV No.	DATE
XXX	XX-XX-XX

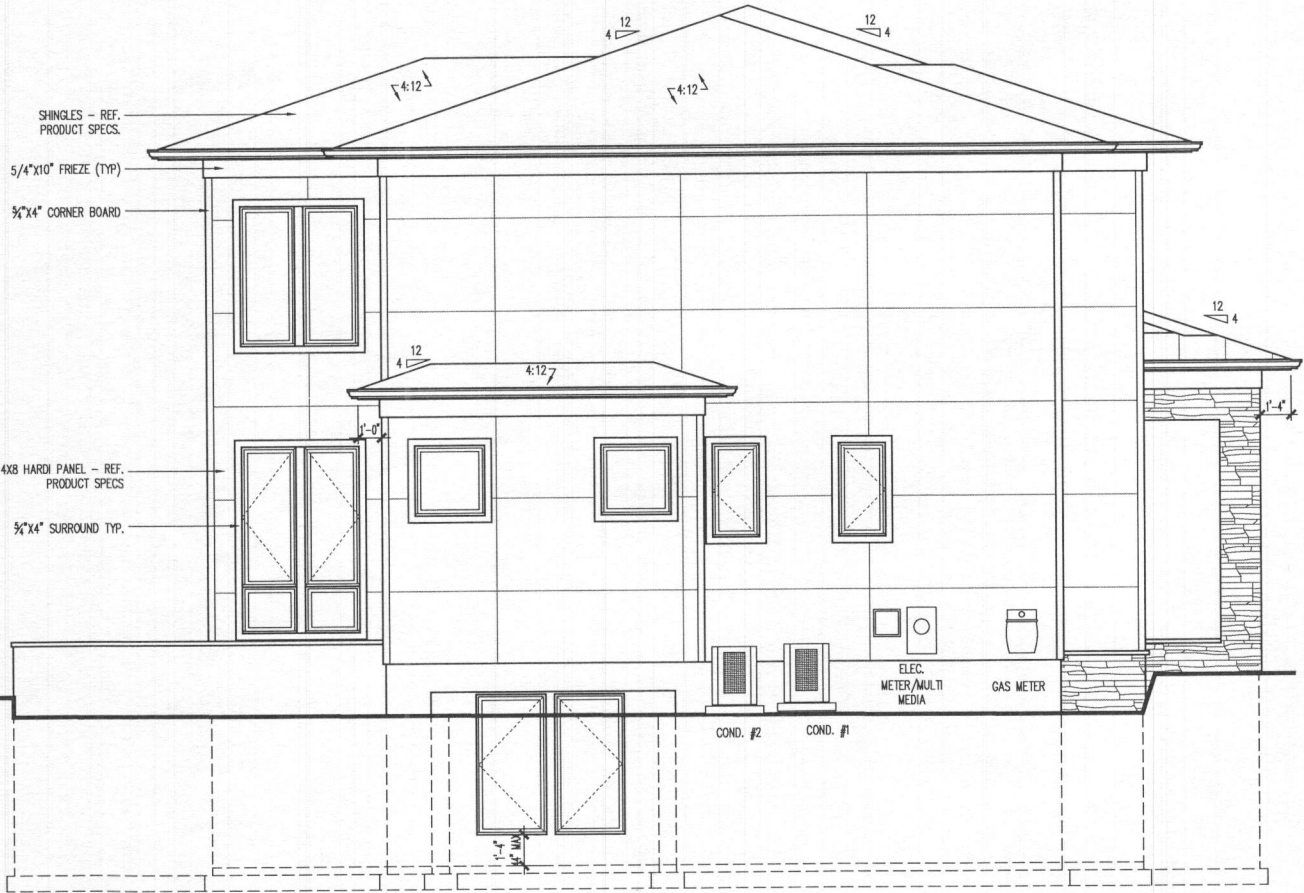
19-100

SHEET No.
A4.1

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT
THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME,
AND I AM A DULY LICENSED PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE
#28670, EXPIRATION DATE: 3/27/2021"



DC • VIRGINIA • MD
8229 BOONE BLVD., SUITE 410
VIENNA, VA 22182
Phone: 703.988.2350 • Email: info@msegllc.com
Website: www.msegllc.com



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

22x34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8" = 1'-0"
LIBERTY HOMES - 5000 WILD OLIVE COURT
RIGHT SIDE ELEVATION

DRAWN BY:	
MCR	
DATE:	07/01/19
REV No.	DATE
XXX	XX-XX-XX

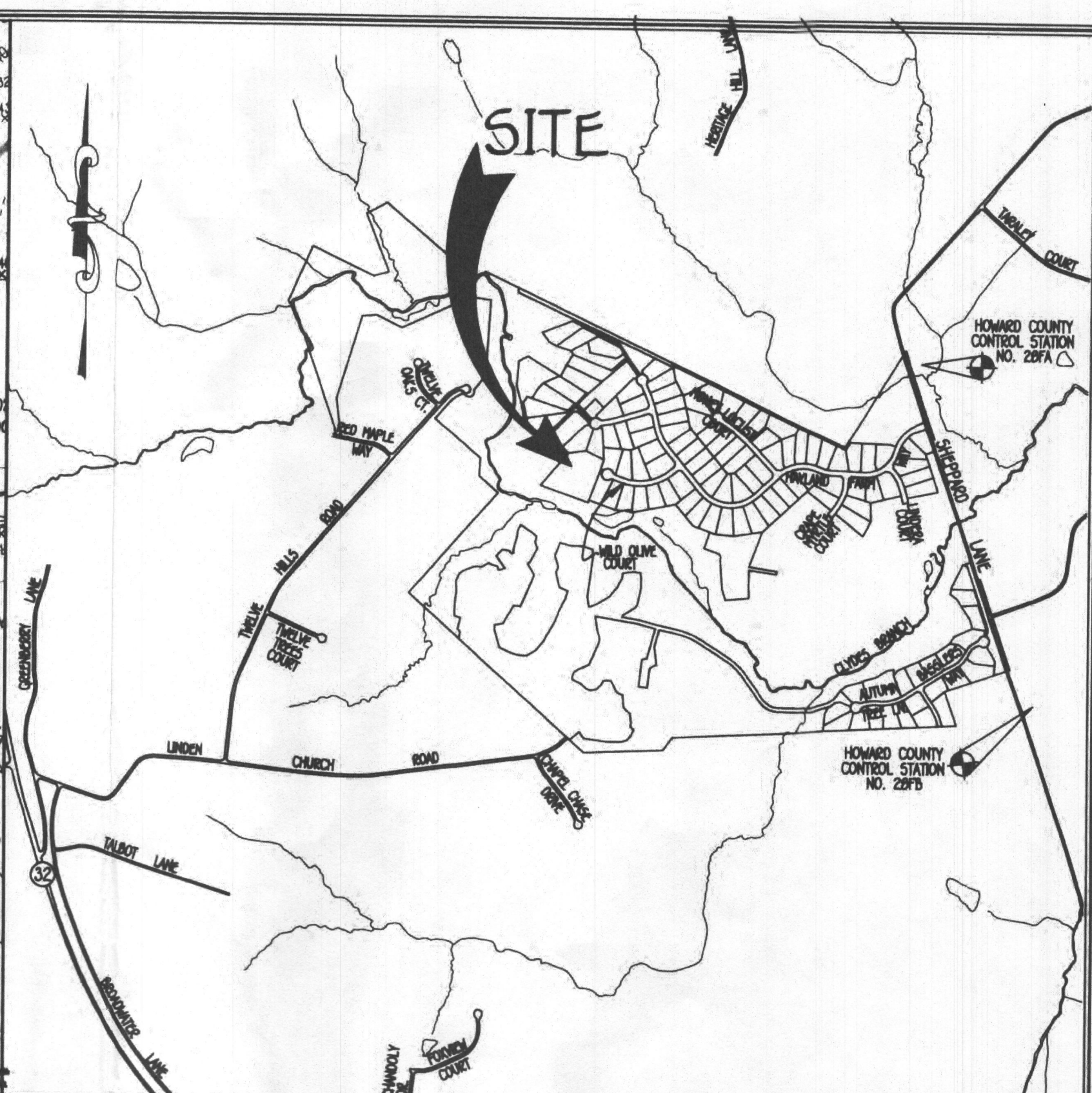
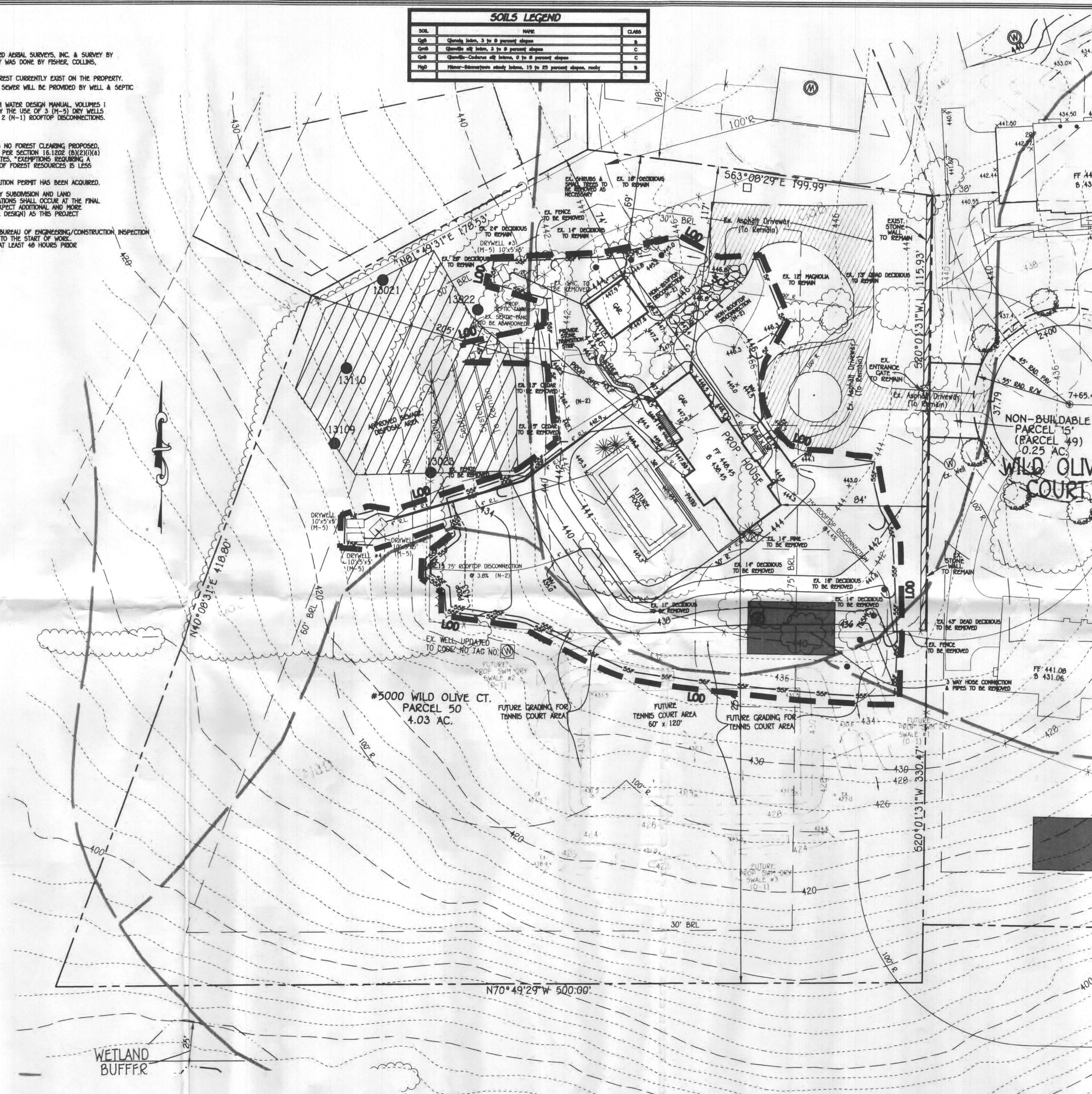
19-100

SHEET No.
A4.2

GENERAL NOTES

- SUBJECT PROPERTY ZONED: RC-DEO.
- TOTAL AREA OF PROPERTY: 4.303 ACRES.
- ONE SINGLE FAMILY HOUSE IS PROPOSED FOR THIS LOT.
- TOPOGRAPHIC INFORMATION IS BASED ON AERIAL, PROVIDED BY HARFORD AERIAL SURVEYS, INC. & SURVEY BY FISHER, COLLINS & CARTER, INC. IN APRIL, 2019. BOUNDARY SURVEY WAS DONE BY FISHER, COLLINS & CARTER, INC. IN AUGUST 2004.
- NO WETLANDS, WETLAND BUFFERS, STREAMS, STREAM BUFFERS, OR FOREST CURRENTLY EXIST ON THE PROPERTY.
- THE PROPOSED WATER & SEWER SYSTEMS WILL BE PRIVATE. WATER & SEWER WILL BE PROVIDED BY WELL & SEPTIC CURRENTLY IN PLACE (SERVED THE FORMER EXISTING HOME).
- STORM WATER MANAGEMENT IS IN ACCORDANCE WITH THE M.D.E. STORM WATER DESIGN MANUAL, VOLUMES 1 & 2, REVISED 2009. WE ARE PROVIDING STORM WATER MANAGEMENT BY THE USE OF 3 (N-2) DRY WELLS AND 4 AREAS OF (N-2) NON-ROOFTOP DISCONNECTION CREDITS, AND 2 (N-1) ROOFTOP DISCONNECTIONS. ALL ARE TO BE MAINTAINED BY THE HOMEOWNER.
- PREVIOUS HOWARD COUNTY FILES: NONE.
- THERE ARE NO SPECIMEN TREES ON THIS PROPERTY. SINCE THERE IS NO FOREST CLEARING PROPOSED, THIS PROJECT IS EXEMPT FROM FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1202 (b)(2)(iv)(4) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WHICH STATES, "EXEMPTIONS REQUIRING A DECLARATION OF INTENT: THE TOTAL CUTTING, CLEARING OR GRADING OF FOREST RESOURCES IS LESS THAN 20,000 SQUARE FEET."
- THE EXISTING HOUSE WILL BE REMOVED FROM THIS LOT AND A DEMOLITION PERMIT HAS BEEN ACQUIRED.
- REVIEW OF THIS PROJECT FOR COMPLIANCE WITH THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE HOWARD COUNTY ZONING REGULATIONS SHALL OCCUR AT THE FINAL PLAN STAGE. THEREFORE, THE APPLICANT AND CONSULTANT SHOULD EXPECT ADDITIONAL AND MORE DETAILED COMMENTS (INCLUDING THOSE THAT MAY ALTER OVERALL SITE DESIGN) AS THIS PROJECT PROGRESSES.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT 410-313-1800 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK. THE CONTRACTOR SHALL NOTIFY (MSS UTILITY) AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.

SOILS LEGEND		
SOIL	NOTE	CLASS
Clb	Clayey loam, 3 to 8 percent slopes	B
Clb	Clayey silt loam, 3 to 8 percent slopes	C
Clb	Clayey-sand loam, 6 to 8 percent slopes	C
Fla	Fluvial-silt loam, 15 to 25 percent slopes, rocky	B



DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

CHRISTOPHER BARTH 7/24/19
DATE

PROFESSIONAL CERTIFICATION

"I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 20746, EXPIRATION DATE: 02/22/21."

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITION AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

ALDO M. VITUCCI 7/24/19
DATE



GRADING PLAN 5000 WILD OLIVE COURT

ZONED: RC-DEO
TAX MAP NO.: 28 GRID NO.: 11 PARCEL NO.: 50 & 49
5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1"=30' DATE: JULY 23, 2019
SHEET 1 OF 2

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALDWIN NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 461-1299

OWNER
HARRISON P. CHAMPA
& COURT CHAMPA
5000 WILD OLIVE COURT
ELLCOTT CITY, MARYLAND 21042
PHONE: C/O CHRISTOPHER BARTH: 703-468-8423

BUILDER/DEVELOPER
ZIBERTY INC.
1766 PROFFIT ROAD
VIENNA, VIRGINIA 22182
PHONE: 703-468-8423

THIS DEVELOPMENT IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
APPROVED: *John E. Klueter* 7/24/19
HOWARD SOIL CONSERVATION DISTRICT

ADDRESS CHART	
PARCEL	STREET ADDRESS
50	5000 WILD OLIVE COURT

CODE:
1. INTERNATIONAL RESIDENTIAL BUILDING CODE-- 2015 EDITION

GENERAL NOTES:

1. WINDOWS IN ALL BEDROOMS ARE DOUBLE HUNG. WHEN THE LOWER SASH IS RAISED FROM INSIDE THESE WINDOWS THEY PROVIDE EMERGENCY AND RESCUE OPENINGS THAT ARE AT LEAST 24 INCHES IN HEIGHT AND 20 INCHES WIDE.
2. SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR LOCATIONS ARE AS SHOWN ON PLANS.
3. ALL NEW EXTERIOR LOAD BEARING WALLS ARE 2X6" STUDS @ 16" O/C WITH 5/8" SHEATHING BOARDS ON EXTERIOR AND 1/2" GB ON INSIDE FACE.
4. ALL INTERIOR NON LOAD BEARING WALLS ARE 2"x4" STUDS @ 16" O/C WALLS WITH 1/2" GB ON EACH FACE EXCEPT NOTED OTHERWISE.
5. NEW SECOND FLOOR AND ROOF AS SHOWN ON STRUCTURAL PLAN.
6. SEE STRUCTURAL DRAWINGS FOR FLOOR FARMING INCLUDING LOAD BEARING WALLS LOCATIONS.
7. ALL NEW DOORS AND WINDOWS ARE AS SHOWN ON PLANS AND FRAMING CONTRACTOR SHALL PROVIDE OPENING INTO WALLS WITH HEADERS AND JAMS PER CODE AND DETAILS.
8. THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS PRIOR TO CONSTRUCTION.
5. ALL DIMENSIONS, LOCATIONS AND ELEVATIONS OF STRUCTURES SHOWN ON THE CONTRACT DRAWINGS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
10. ALL WORK SHALL BE DONE ACCORDANCE WITH HOWARD COUNTY BUILDING CODE.
11. THE CONTRACTOR SHALL HOLD HARMLESS THE ARCHITECT/ENGINEER FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEY'S FEE ARISING FROM THE PERFORMANCE OF THE WORK DONE BY THE CONTRACTOR.
12. ALL WORK AND MATERIALS SHALL MEET THE REQUIREMENTS OF THE LOCAL AND STATE BUILDING CODES AND THE SPECIFICATIONS OF THE NATIONAL BOARD OF UNDERWRITERS. THE DRAWINGS SHOWING THE GENERAL AGREEMENTS AND EXTENT OF WORK. AS THE WORK PROGRESSES THE CONTRACTOR AT NO EXTRA COST SHALL MAKE MODIFICATIONS TO MAKE PART ALIGN.
13. CHANGES TO THE PLAN BY THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE PERSONS MAKING SUCH CHANGES. CONTRACTOR SHALL CHECK AND VERIFY ALL PLAN DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION.
14. DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS SHALL GOVERN.
15. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE PROPER INSTALLATION OF ALL METAL FASTENERS PER MANUFACTURER'S SPECIFICATIONS.
16. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS FOR COMPATIBILITY AND SHALL NOTIFY ARCHITECT ON ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
17. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK AND DETERMINE THE LOCATION OF ALL ADJACENT UNDERGROUND UTILITIES PRIOR TO COMMENCING EXCAVATION AND NOTIFY ARCHITECT OF DISCREPANCIES AND CONFLICTS.
18. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETE IN ACCORDANCE WITH THE PLANS.
19. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE WORK. THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISIONS/AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES OF THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.

2018 IECC CODE COMPLIANCE

- R301.1 CLIMATE ZONE 4A
- R401.2 COMPLIANCE METHOD:
MANDATORY AND PRESCRIPTIVE PROVISIONS
- R402.1.1 VAPOR RETARDER:
WALL ASSEMBLIES IN THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH VAPOR RETARDER REQUIREMENTS OF SECTION R702.7 OF THE INTERNATIONAL RESIDENTIAL CODE, 2015 EDITION.
- R402.1.2 ATTIC INSULATION: RAISED HEEL TRUSSES
R-49 R-38
- R402.1.2 WOOD FRAME WALL:
R-20 OR R13 + R5 CONTINUOUS INSULATION.
- R402.1.2 BASEMENT WALL INSULATION:
R-13/R-10 FOIL FACED CONTINUOUS, U
NINTERRUPTED BATTS FULL HEIGHT
- R402.1.2 CRAWL SPACE WALL INSULATION:
R-13/R-10 FOIL FACED CONTINUOUS BATTS
FULL HEIGHT EXTENDING FROM FLOOR ABOVE TO
FINISH GRADE LEVEL AND THEN VERTICALLY OR
HORIZONTALLY AN ADDITIONAL 2' -0".
- R402.1.2 FLOOR INSULATION OVER UNCONDITIONED SPACE:
R-19 BATT INSULATION.
- R402.1.2 WINDOW U-VALUE/SHGC
.35 (U-VALUE)
.40 (SHGC)
- R402.2.10 SLAB ON GRADE FLOORS LESS THAN 12" BELOW
GRADE:
R-10 RIGID FOAM BOARD UNDER SLAB EXTENDING
EITHER 2' -0" HORIZONTALLY OR 2'-0"
VERTICALLY
- R402.2.4 ATTIC ACCESS:
ATTIC ACCESS SCUTTLE WILL BE
WEATHERSTRIPPED AND INSULATED R-49
- R402.4 BUILDING THERMAL ENVELOPE (AIR LEAKAGE):
EXTERIOR WALLS AND PENETRATIONS WILL BE
SEALED PER THIS SECTION OF THE 2015 IECC
WITH CAULK, GASKETS, WEATHERSTRIPPING OR AN
AIR BARRIER OF SUITABLE MATERIAL. SEALING
METHODS BETWEEN DISSIMILAR MATERIALS SHALL
ALLOW SEALING FOR DIFFERENTIAL EXPANSION
AND CONTRACTION.
- R402.4.1.2 BUILDING THERMAL ENVELOPE TIGHTNESS TEST:
BUILDING ENVELOPE SHALL BE TESTED AND
VERIFIED AS HAVING AN AIR LEAKAGE RATE OF
NOT EXCEEDING 3 AIR CHANGES PER HOUR.
TESTING SHALL BE CONDUCTED IN ACCORDANCE
WITH ASTM E 779 OR ASTM E 1827 WITH
(BLOWER DOOR) AT A PRESSURE OF 0.2 INCHES
W.G. (50 PASCALS). TESTING SHALL BE
CONDUCTED BY AN APPROVED THIRD PARTY. A
WRITTEN REPORT OF THE RESULTS OF THE TEST
SHALL BE SIGNED BY THE PARTY CONDUCTING
THE TEST AND PROVIDED TO THE BUILDING
INSPECTOR.
- R402.4.2 FIREPLACES: NEW WOOD BURNING FIREPLACES
WILL HAVE TIGHT-FITTING FLUE DAMPERS OR
DOORS, AND OUTDOOR COMBUSTION AIR.
FIREPLACE DOORS SHALL BE LISTED AND LABELED
IN ACCORDANCE WITH UL 127 (FACTORY BUILT
FIREPLACE) AND UL 907 (MASONRY FIREPLACE).
- R402.4.4 ROOMS CONTAINING FUEL-BURNING APPLIANCES
WHERE OPEN COMBUSTION AIR DUCTS PROVIDE
COMBUSTION AIR TO OPEN COMBUSTION FUEL
BURNING APPLIANCES, THE APPLIANCES AND
COMBUSTION AIR SHALL BE LOCATED OUTSIDE
THE BUILDING THERMAL ENVELOPE OR ENCLOSED
IN A ROOM ISOLATED FROM INSIDE THE THERMAL
ENVELOPE.

EXCEPTIONS: 1. DIRECT VENT APPLIANCES WITH BOTH
INTAKE AND EXHAUST PIPES INSTALLED
CONTINUOUS TO THE OUTSIDE.
2. FIREPLACES AND STOVES COMPLYING WITH
SECTION R402.4.2 AND SECTION R1006 OF THE
IRC.

R402.4.5 RECESSED LIGHTING
RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL
ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE.

R403.1.1 THERMOSTAT
ALL DWELLING UNITS WILL HAVE AT LEAST (1) PROGRAMMABLE
THERMOSTAT FOR EACH SEPARATE HEATING AND COOLING
SYSTEM PER 2015 IECC SECTION 403.1.1.

R403.1.2 WHERE A HEAT PUMP SYSTEM HAVING SUPPLEMENTARY ELECTRIC
RESISTANCE HEAT IS USED THE THERMOSTAT SHALL PREVENT
THE SUPPLEMENTARY HEAT FROM COMING ON WHEN HEAT PUMP
CAN MEET HEATING LOAD.

R403.3.1 MECHANICAL DUCT INSULATION
SUPPLY AND RETURN DUCTS IN ATTIC R-8 MINIMUM, R-6 WHEN
LESS THAN 3 INCHES.
SUPPLY AND RETURN DUCTS OUTSIDE OF CONDITIONED SPACES
R-8 MINIMUM.
ALL OTHER DUCTS EXCEPT THOSE LOCATED COMPLETELY INSIDE
THE BUILDING THERMAL ENVELOPE R-6 MINIMUM. DUCTS
LOCATED UNDER CONCRETE SLABS MUST BE R-6 MINIMUM.

R403.3.2 DUCT SEALING
ALL DUCTS, AIR HANDLERS, FILTER BOXES WILL BE SEALED.
JOINTS AND SEAMS WILL COMPLY WITH SECTION M1601.4.1 OF
THE IRC.

A DUCT TIGHTNESS TEST ("DUCT BLASTER" DUCT TOTAL LEAKAGE
TEST) WILL BE PERFORMED ON ALL HOMES AND SHALL BE
VERIFIED BY EITHER A POST CONSTRUCTION TEST OR A
ROUGH-IN TEST. DUCT TIGHTNESS TEST IS NOT REQUIRED
IF THE AIR HANDLER AND ALL DUCTS ARE LOCATED
WITHIN THE CONDITIONED SPACE.

R403.6 MECHANICAL VENTILATION
OUTDOOR (MAKE-UP AND EXHAUSTS) AIR DUCTS TO BE
PROVIDED WITH AUTOMATIC OR GRAVITY DAMPER THAT CLOSE
WHEN THE VENTILATION SYSTEM IS NOT OPERATING.

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICIENCY
TO COMPLY WITH TABLE R403.6.1.

R403.7 EQUIPMENT SIZING SHALL COMPLY WITH R403.7.

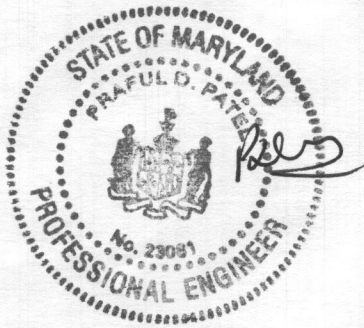
R404.1 LIGHTING EQUIPMENT
A MINIMUM OF 75% OF ALL LAMPS (LIGHTS) MUST BE
HIGH-EFFICACY LAMPS.

THIS CONTRACTOR ALSO RESPONSIBLE FOR GENERATING
CERTIFICATE OF COMPLIANCE AND AFFIXING TO ELECTRICAL
PANEL OR WITHIN 6 FEET OF THE ELECTRICAL PANEL AND BE
READILY VISIBLE.

R-VALUE AND U-FACTOR

ELEMENT	MAIN HOUSE	SUNROOM
U-FACTOR		
DOORS/WINDOWS	0.35	0.50
R-VALUE		
CEILINGS	49	30
WALLS (WOOD FRAMED)	19	19
WALLS (CONCRETE)	13	19
FLOORS	19	-
BASEMENT WALLS	13	13
SLAB ON GRADE	10	-

* INSULATION MUST EXTEND FROM THE SLAB EDGE TO A
LENGTH OF 24" VERTICALLY AND/OR HORIZONTALLY.



DISCLAIMER
PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE
DOCUMENTS WERE PREPARED OR
APPROVED BY ME AND THAT I AM
A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF
THE STATE OF MARYLAND, LICENSE
NO. 23081 EXPIRATION DATE:
04/04/2021

PROJECT NUMBER
2020-233

DRAWN BY
RP

APPROVED BY
PP

DATE
07-12-20

ORIGINAL SHEET SIZE
36X48
(SHOULD MEASURE 1")

SCALE
AS SHOWN

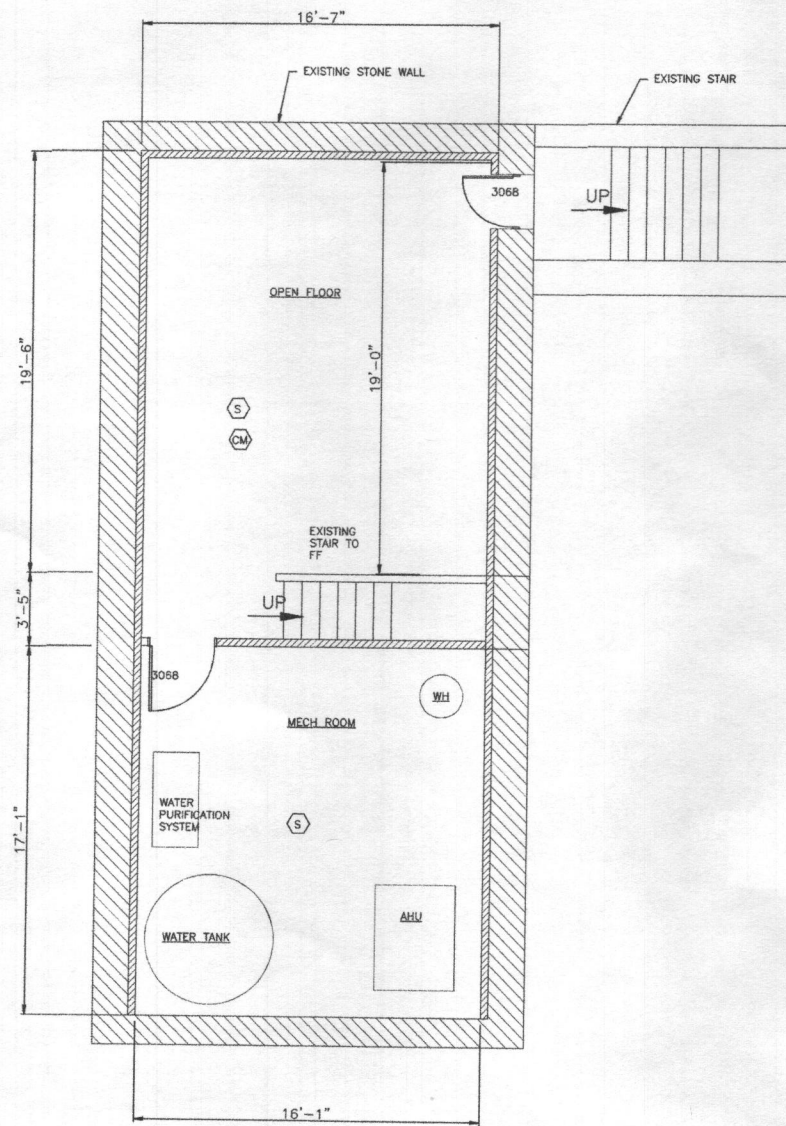
DRAWING
A1

ARENCO LLC

18430 HILL CREST
FULTON, MD 20769
TEL: (301) 415-1389 FAX: (800) 374-5418

PROJECT TITLE
RENOVATION
PROJECT ADDRESS
5000 WILD OLIVE CT
ELLICOTT CITY, MD 21042
SHEET TITLE
GENERAL NOTES

PROJECT
SINGH RESIDENCE
5000 WILD OLIVE CT
ELLICOTT CITY, MD 21042



PROPOSED BASEMENT PLAN
SCALE: 1/4" = 1'-0"

- NOTES
- FOR GENERAL NOTES SEE DRAWING A-1.
 - FINISH EXISTING BASEMENT WITH NEW 2X4 STUD WALLS AND DRY WALLS AND CEILINGS.

WALL SYMBOLS

TYPE	DESCRIPTION
[Symbol]	EXISTING STONE WALL
[Symbol]	EXISTING WALLS
[Symbol]	PROPOSED STUD WALL
[Symbol]	NEW CONCRETE WALL
[Symbol]	DEMOLITION WALLS

- [Symbol] HARDWIRED AND INTERCONNECTED SMOKE ALARM
- [Symbol] HARDWIRED AND INTERCONNECTED CARBON MONOXIDE ALARM -UL 2034

WINDOWS SCHEDULE:

MARK	WIDTH	HEIGHT	HEADER	NOTES
CXW185	3'-0"	5'-5"	2-2X10	-
CX135	2'-8"	3'-5"	2-2X10	-
CXW15	3'-0"	3'-5"	2-2X10	-
P4080	4'-0"	6'-0"	2-2X10	FIXED

NEW DOORS SCHEDULE:

MARK	WIDTH	HEIGHT	HEADER	NOTES
3068	3'-0"	6'-8"	2-2X10	FRONT ENTRANCE DOUBLE DOORS
2808	2'-6"	6'-8"	2-2X10	-
2808P	2'-6"	6'-8"	2-2X10	POCKET DOOR
6088	6'-0"	6'-8"	2-2X10	DOUBLE DOOR



PROJECT
SINGH RESIDENCE
5000 WILD OLIVE CT
ELLICOTT CITY, MD 21042

ARENCO LLC

18450 HILL CREST
POTOMAC, MD 20854
TEL: (301) 410-1308 FAX: (301) 974-5418

PROJECT TITLE
RENOVATION
PROJECT ADDRESS
5000 WILD OLIVE CT
ELLICOTT CITY, MD 21042
SHEET TITLE
PROPOSED BASEMENT PLAN

DISCLAIMER
PROFESSIONAL CORPORATION
I HEREBY CERTIFY THAT THESE
DRAWINGS WERE PREPARED BY
A duly licensed PROFESSIONAL
ENGINEER UNDER THE LAWS OF
THE STATE OF MARYLAND, LICENSE
NO. 23081 EXPIRATION DATE:
04/24/2021

PROJECT NUMBER
2020-233

DRAWN BY
RP

APPROVED BY
PP

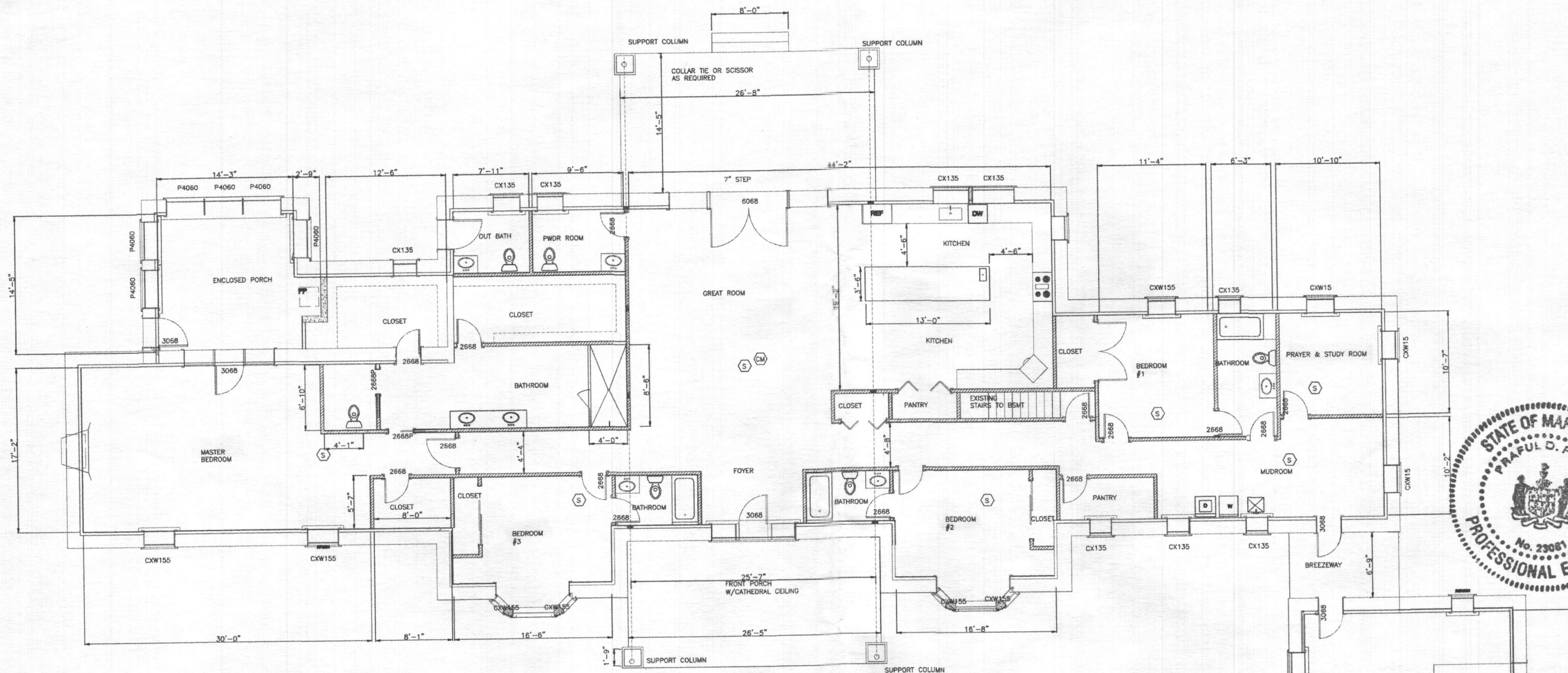
DATE
07-12-20

ORIGINAL SHEET SIZE
20X24
SHOULD MEASURE 1":
[Scale bar]

SCALE
AS SHOWN

DRAWING

A3



WALL SYMBOLS

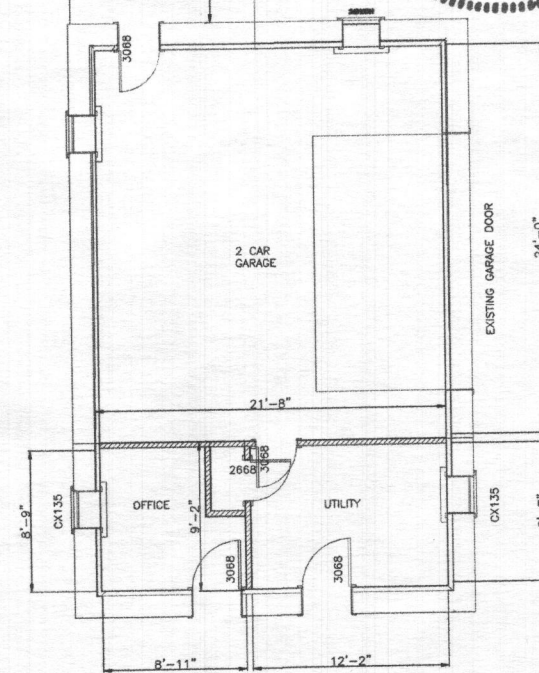
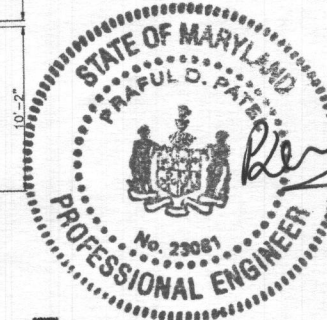
TYPE	DESCRIPTION
[Symbol]	EXISTING STONE WALL
[Symbol]	EXISTING WALLS
[Symbol]	PROPOSED STUD WALL
[Symbol]	NEW CONCRETE WALL
[Symbol]	DEMOLITION WALLS

PROPOSED FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"

[Symbol] HARDWIRED AND INTERCONNECTED SMOKE ALARM
[Symbol] HARDWIRED AND INTERCONNECTED CARBON MONOXIDE ALARM -UL 2034

NOTES

1. FOR GENERAL NOTES SEE DRAWING A-1.
2. ALL NEW INTERIOR NON LOAD BEARING WALLS SHALL BE 2X4 STUDS WITH 1/2" GB ON EACH FACE.
3. SEE STRUCTURAL DRAWINGS FOR PARTIAL NEW ROOF FRAMMING.



PROJECT

SINGH RESIDENCE

5000 WILD OLIVE CT

ELLICOTT CITY, MD 21042

ARENCO LLC

15450 HILL CREST

FULTON, MD 20719

ARCHITECTS

CONSTRUCTION MANAGERS

TEL (410) 412 1399 FAX (410) 374 8415

PROJECT TITLE

RENOVATION

PROJECT ADDRESS

5000 WILD OLIVE CT

ELLICOTT CITY, MD 21042

SHEET TITLE

PROPOSED FIRST FLOOR PLAN

DISCLAIMER

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE

DOCUMENTS WERE PREPARED OR

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A DULY LICENSED PROFESSIONAL

ENGINEER UNDER THE LAWS OF

THE STATE OF MARYLAND, LICENSE

NO. 23081 EXPIRATION DATE:

04/24/2021

PROJECT NUMBER

2020-233

DRAWN BY

RP

APPROVED BY

PP

DATE

07-12-20

ORIGINAL SHEET SIZE

3004

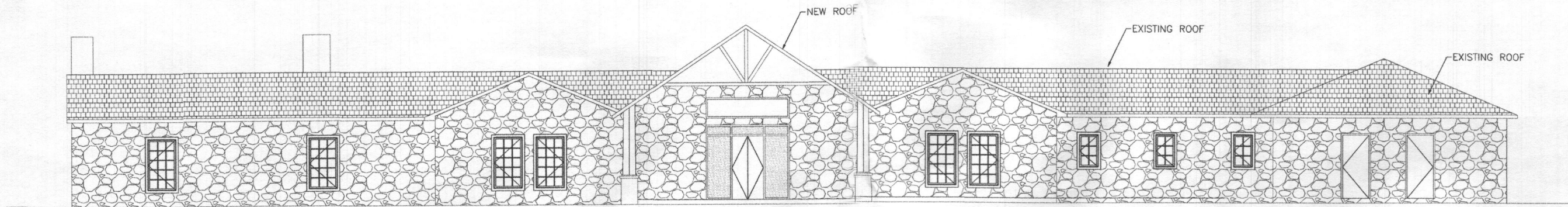
SHOULD MEASURE 1":

SCALE

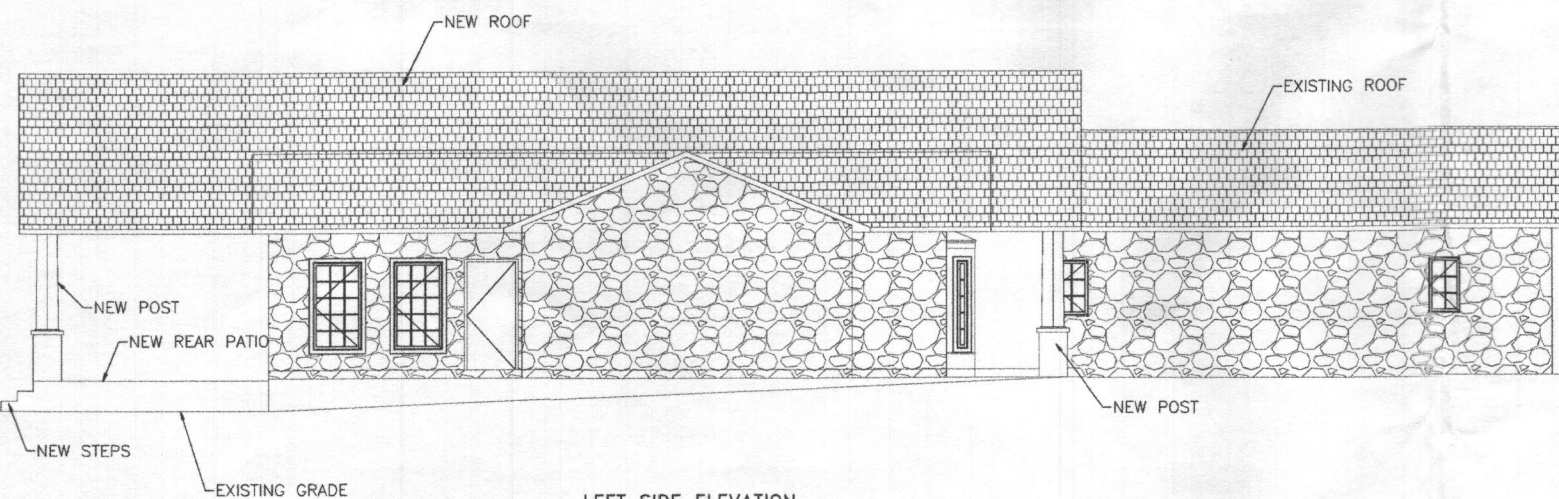
AS SHOWN

DRAWING

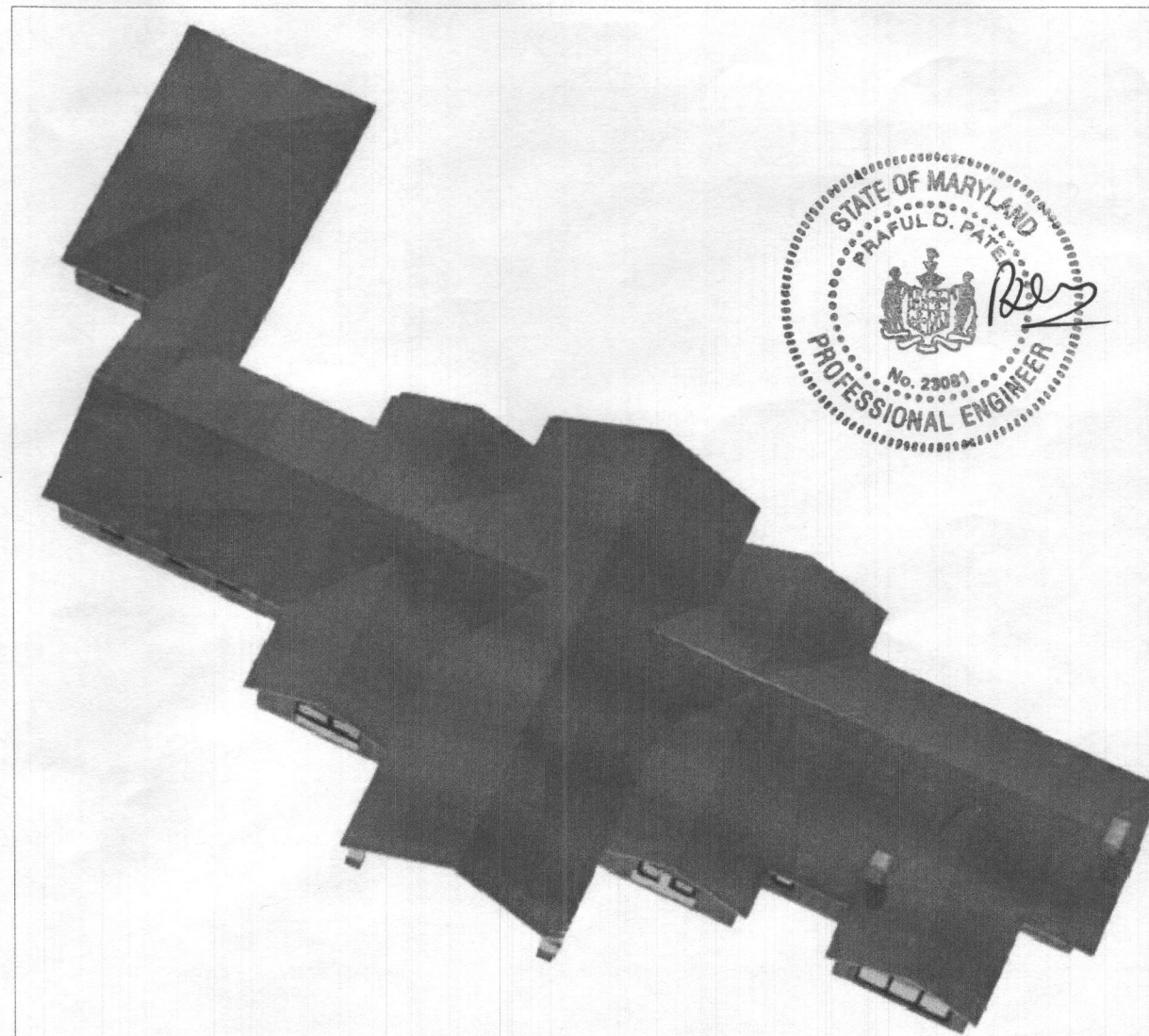
A3



FRONT ELEVATION
SCALE: 3/16" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 3/16" = 1'-0"



ROOF VIEW
NOT TO SCALE



PROJECT
SINGH RESIDENCE
5000 WILD OLIVE CT
ELICOTT CITY, MD 21042

ARENCO LLC
ARCHITECTS
ENGINEERS
CONSTRUCTION MANAGERS
13400 HILL CREST
PULASKI, MD 20799
TEL: (301) 418-1339 FAX: (301) 974-5419

PROJECT TITLE
RENOVATION
PROJECT ADDRESS
5000 WILD OLIVE CT
ELICOTT CITY, MD 21042
SHEET TITLE
ELEVATION-1

DISCLAIMER
PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE
DOCUMENTS WERE PREPARED OR
APPROVED BY ME, AND THAT I AM
A FULLY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF
THE STATE OF MARYLAND, LICENSE
NO. 23081 EXPIRATION DATE:
04/24/2021

PROJECT NUMBER
2020-233

DRAWN BY
RP

APPROVED BY
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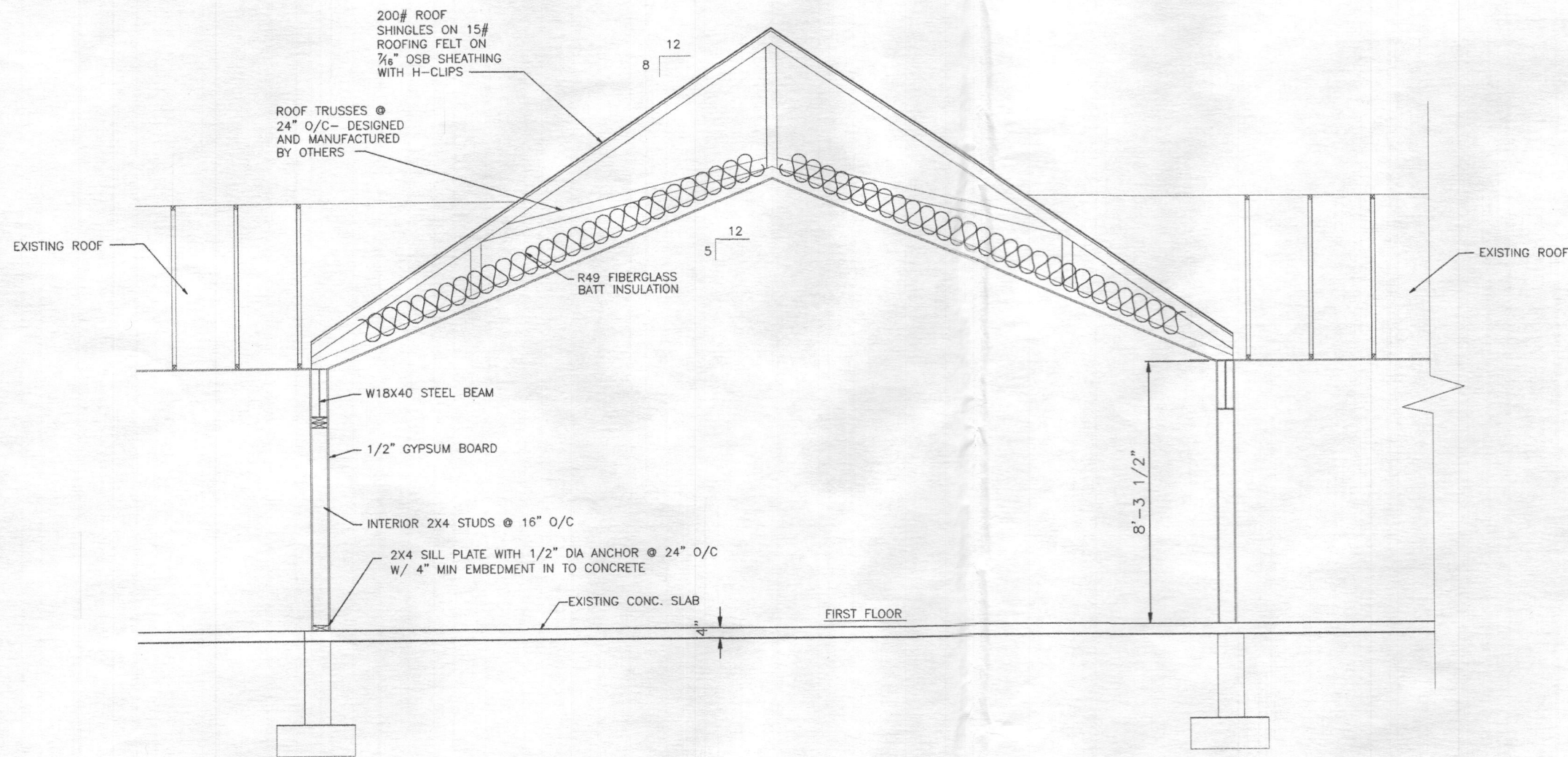
DATE
07-12-20

ORIGINAL SHEET SIZE
36x24
SHOULD MEASURE 1":
1" = 1"

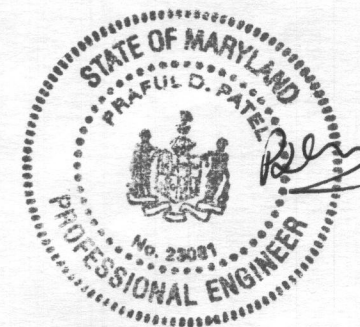
SCALE
AS SHOWN

DRAWING

A4



BUILDING SECTION A-A
SCALE: 1/2" = 1'-0"



PROJECT
SINGH RESIDENCE
5000 WILD OLIVE CT
ELLICOTT CITY, MD 21042

ARENCO LLC

13430 BELLE CREEK
PULASKI, MD 20796
ARCHITECTS
TEL (301) 438-1300 FAX (301) 438-1301
CONSTRUCTION MANAGERS

PROJECT TITLE
RENOVATION
PROJECT ADDRESS
5000 WILD OLIVE CT
ELLICOTT CITY, MD 21042
SHEET TITLE
SECTIONS DETAILS

DISCLAIMER
I HEREBY CERTIFY THAT THE
SIGNATURE AND SEAL ARE
A TRULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF
THE STATE OF MARYLAND, LICENSE
NO. 23081 EXPIRATION DATE
04/24/2021

PROJECT NUMBER
2020-233

DRAWN BY
RP

APPROVED BY
PP

DATE
07-12-20

ORIGINAL SHEET SIZE
36X24
SHOULD MEASURE 1"

SCALE
AS SHOWN

DRAWING
A5

CONCRETE:

1. REINFORCED CONCRETE SHALL BE DETAILED AND CONSTRUCTED IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE, (ACI 301) "SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS" AND ACI 318 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE".
2. NEW CONCRETE FOR FOOTING AND FILLED IN CMU SHALL BE MINIMUM OF 3000 PSI AT 28 DAYS.
3. ALL REINFORCEMENT SHALL CONFORM TO ASTM SPECIFICATION A185.
4. NEW FOOTING AND SLAB SHALL BE POURED ON 4" GRAVEL OR CR6 AS SHOWN ON SECTION.
5. NEW ROOF SHALL BE CONSTRUCTED ACCORDING WITH STRUCTURAL FRAMING PLAN AND ARCHITECTURAL DETAILS.
6. THE OWNER SHALL RETAIN THE SERVICES OF A SOIL CONSULTANT APPROVED BY THE ARCHITECT TO CHECK AND VERIFY THE REQUIRED SOIL BEARING PRESSURE OF EACH FOOTING.
7. ALL CONTINUOUS REINFORCING SHALL BE SPLICED WITH "B" SPLICE STAGGERED, UNLESS NOTED OTHERWISE. FOOTING AND OTHER CONCRETE POURED AGAINST EARTH -3"
8. FORMED CONCRETE EXPOSED TO EARTH -2" FOR BEARS LARGER THAN #5, 1/2" FOR #5 AND SMALLER BARS.
9. WHERE DISCREPANCIES EXIST BETWEEN THE STANDARD COMMENTS, NOTES FROM THE DESIGN PROFESSIONAL OR THE CODE, THE MOST RESTRICTIVE SHALL APPLY. ALL CONSTRUCTION SHALL COMPLY WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE (IRC).
10. FOUNDATION WALLS ENCLOSING BASEMENTS OR OTHER HABITABLE SPACE SHALL BE DAMPPROOFED PER IRC - WHERE A HIGH WATER TABLE OR OTHER SEVERE WATER CONDITION EXISTS, THE WALLS SHALL BE WATERPROOFED.
11. PROVIDE A MINIMUM 4-INCH PERFORATED DRAIN AROUND USABLE SPACE BELOW GRADE OR OTHER EQUIVALENT MATERIALS PER IRC. THE PIPE SHALL BE COVERED WITH NOT LESS THAN 6 INCHES OF WASHED GRAVEL OR CRUSHED ROCK. THE DRAIN SHALL DAYLIGHT TO THE EXTERIOR BELOW THE FLOOR LEVEL OR TERMINATE IN A MINIMUM 20-GALLON SUMP PIT.
12. INTERIOR BEARING WALLS AND COLUMNS SHALL BE ISOLATED FROM THE BASEMENT FLOOR SLAB.
13. AT WALKOUTS THE FOUNDATION WALL SHALL BE INSULATED WITH A MINIMUM R-13 INSULATION FOR A MINIMUM OF 3 FEET BELOW THE BOTTOM OF THE SLAB.
14. ANCHOR BOLTS - MINIMUM 1/2-INCH ANCHOR BOLTS WITH 7" EMBEDMENT AT MAXIMUM 6 FEET O.C. AND WITHIN 6 INCHES OF THE END OF EACH SILL PLATE.
15. WHERE FLOOR JOISTS ARE PARALLEL TO THE FOUNDATION WALL, THE WALL SHALL BE SUPPORTED Laterally AT THE TOP BY SOLID BLOCKING FOR A MINIMUM OF TWO JOIST SPACES, SPACED NOT MORE THAN 2'-10" FEET O.C.

WOOD NOTES:

1. FRAMING LUMBER SHALL BE KILN DRIED OR MC-15, AND GRADED AND MARKED IN COMFORMANCE WITH WCLIB STANDARD GRADING RULES FOR WEST COAST LUMBER NO. 17, LATEST EDITION. ALL WOOD FRAME CONSTRUCTION SHALL CONFORM TO THE STANDARDS OR THE IBC AS A MINIMUM REQUIREMENT. FURNISH THE FOLLOWING MINIMUM STANDARDS:
JOISTS: (2X8 AND SMALLER) HEM-FIR NO. 2
MINIMUM BASE VALUE, FB=850 PSI

BEAMS AND STRINGERS: DOUGLAS FIR NO. 1
(2X10 AND LARGER) MINIMUM BASE VALUE, FB=1350 PSI

POSTS AND TIMBERS: DOUGLAS FIR NO. 2
(4X4 AND LARGER) MINIMUM BASE VALUE, FB=1200 PSI

STUDS, PLATES & MISC. FRAMING: DOUGLAS FIR OR HEM-FIR
STANDARD GRADE

TOP AND BOTTOM PLATES DOUGLAS FIR-LARCH CONSTRUCTION
AT BEARING WALLS GRADE

2X6 STUDS AND PLATES: HEM-FIR NO.3/ STUD GRADE
2. ENGINEERED LUMBER SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
3. ENGINEERED LUMBER MEMBERS SHALL BE MANUFACTURED UNDER A PROCESS BY THE NATIONAL RESEARCH BOARD. EACH PIECE SHALL BEAR A STAMP OR STAMPS NOTING THE NAME AND PLANT NUMBER OF THE MANUFACTURER, THE GRADE, THE NATIONAL RESEARCH BOARD NUMBER, AND THE QUALITY CONTROL AGENCY. ALL LUMBER SHALL BE MANUFACTURED IN ACCORDANCE WITH THE APPROPRIATE NER REPORT AND GLUED WITH A WATERPROOFING ADHESIVE MEETING THE REQUIREMENTS OF ASTM D2559 WITH ALL GRAIN PARALLEL WITH THE LENGTH OF THE MEMBER.

PSL FB=2900 PSI E=2000 PSI FV =290 PSI NER-292
LVL FB=2600 PSI E=1900 PSI FV =285 PSI NER-126
LSL FB=1700 PSI E=1300 PSI FV =150 PSI NER-481
4. DESIGN SHOWN ON PLANS IS BASED ON LUMBER MANUFACTURED BY THE GEORGIA-PACIFIC. ALTERNATE MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE JOIST HANGERS AND OTHER HARDWARE MAY BE SUBSTITUTED FOR ITEMS SHOWN PROVIDED THEY HAVE ICBO APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. ALL JOIST HANGERS AND OTHER HARDWARE SHALL BE COMPATIBLE IN SIZE WITH MEMBERS PROVIDED.

5. GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH ANSI/AITC A190.1 AND ASTM D3737. EACH MEMBER SHALL BEAR AND AITC IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN ATTIC CERTIFICATE OF CONFORMANCE. ALL SIMPLE SPAN BEAMS SHALL BE DOUGLAS FOR COMINATION 24F-V4, FB=2400 PSI, FV=190 PSI. CAMBER ALL GLULAM BEAMS TO A 2,000 FOOT RADIUS UNLESS NOTED OTHERWISE ON THE PLANS.
6. ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE OR (2) LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER SHALL BE PROVIDED BETWEEN UNTREATED WOOD AND CONCRETE OR MASONRY. ALL WOOD EXPOSED TO WEATHER WITHOUT THE ADEQUATE PROTECTION OF A ROOF OR EAVE SHALL BE APPROVED WOOD OF NATURAL RESISTANCE TO DECAY OR PRESSURE TREATED. SUCH MEMBERS INCLUDE HORIZONTAL MEMBERS SUCH AS GIRDERS, JOISTS, DECKING, OR VERTICAL MEMBERS SUCH AS POSTS, POLES AND COLUMNS.
7. PLYWOOD SHEATHING SHALL BE GRADE C-D, EXTERIOR GLUE OR STRUCTURAL II, EXTERIOR GLUE SHALL BE IN CONFORMANCE WITH APA STANDARDS. ORIENTED STRAND BOARD OF EQUIVALENT THICKNESS, EXPOSURE RATING AND PANEL INDEX MAY BE USED IN LIEU OF PLYWOOD.
8. FLAT 2X BLOCKING AT ALL UNFRAMED PLYWOOD PANEL EDGES AND NAIL WITH EDGE NAILING SPECIFIED.
9. FLOOR SHEATHUNG SHALL BE 3/4" (NOM) WITH SPAN RATING 40/20
10. WALL SHEATHING SHALL BE 1/2" (NOM) WITH SPAN RATING 24/0
11. PLYWOOD OOF AND FLOOR SHEATHING TO BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED WITH 8D NAILS AT 6" O.C. TO FRAMED PANEL EDGES AND OVER STUD WALLS AS SHOWN ON PLANS AND AT 12" O.C. TO INTERMEDIATE SUPPORTS UNLESS NOTED OTHERWISE. PROVIDE APPROVED PLYWOOD EDGE CLIPS AT 16" O.C. AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED TONGUE-AND-GROOVE JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. TOENAIL BLOCKING TO SUPPORTS WITH 16D @ 12" O.C. UNLESS NOTED OTHERWISE. AT BLOCKED FLOOR AND ROOF DIAPHRAGMS PROVIDE FLAT 2X BLOCKING AT ALL UNFRAMED PLYWOOD PANEL EDGES AND NAIL WITH EDGE NAILING SPECIFIED.
12. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING JOINTS, TOENAIL JOISTS TO SUPPORTS WITH TWO 16D NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS.
13. ALL COLUMNS AND POSTS SUPPORTING BEAMS NOT SPECIFIED FOR SIZE ON PLAN SHALL CONSIST OF 2 STUDS SPIKE LAMINATED TOGETHER WITH 16D NAILS AT 9" O/C.

WOOD FRAMING:

- 1.FRAMING LUMBER FOR BEAMS AND JOISTS SHALL HAVE FB= 1100 PSI, E=1,300.00, AND FOR STUDS AND POSTS, FC= 500 PSI, E = 1,200.000 PSI
- 2.PROVIDE 2-2 X 6 @ EACH SIDE OF OPENINGS UNLESS NOTED OTHERWISE.
- 3.ALL WOOD LINTEL SHALL BE 2-2 X 8 UNLESS OTHERWISE NOTED.
- 4.PROVIDED CROSS-BRIDGING FOR JOISTS AT 8'-0" INTERVALS.
- 5.WOOD JOISTS AND BEAMS SHALL NOT BE CUT OR DRILLED UNLESS SO AUTHORIZED BY THE ARCHITECT.
- 6.PROVIDE APPROVED HURRICANE CONNECTIONS BETWEEN FRAMING MEMBERS.
- 7.LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED AGAINST DECAY.
- 8.PROVIDED DOUBLE JOISTS BELOW NON-BEARING PARTITIONS PARALLEL TO JOISTS.
- 9.FRAMING LUMBER SHALL HAVE 19% MAXIMUM MOISTURE CONTENT.
- 10.BRUSH PRESERVATIVE SOLUTION ON ALL EDGES THAT ARE CUT IN MEMBERS THAT ARE IN CONTACT WITH CONCRETE OR MASONRY.
- 11.PROVIDE MANUFACTURERS' STANDARD JOIST OR STANDARD BEAM HANGERS AT WALL WOOD TO WOOD CONNECTIONS THAT REQUIRE JOISTS OR BEAMS FRAMING INTO THE SIDE OR FACE OF THE SUPPORTING MEMBER. THE CAPACITY OF THE HANGER SHALL BE FOR THE MAXIMUM SHEAR CAPACITY OF THE JOISTS OR BEAM.

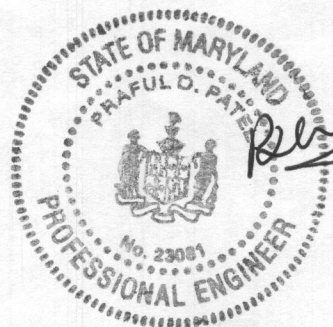
PLYWOOD SHEATHING:

- 1.ALL PLYWOOD SHEATHING SHALL BE CD-GRADE, UNLESS OTHERWISE SHOWN, WITH EXTERIOR GLUE MANUFACTURED INACCORDANCE WITH PRODUCT STANDARD PS183, LATEST ADDITION, ROOF AND WALL SHEATHING.
- 2.PLYWOOD SHEATHING SHALL BE LAID WITH END JOINT STAGGERED.
- 3.BLOCK ALL WALL SHEATHING WITH 2X4 FLAT BLOCKING AT ALL EDGES.
- 4.LAYOUT PLYWOOD TO ELIMINATED ANY WIDTH LESS THAN 1'-0"

DESIGN LOADS:

FLOOR LIVE LOAD = 40 PSF
FLOOR DEAD LOAD = 10 PSF
STAIR LIVE LOAD = 100 PSF
DECKS LIVE LAOD = 40 PSF
ROOF LIVE LOAD = 40 PSF
ROOF DEAD LOAD = 10 PSF
GROUND SNOW LOAD = 30 PSF
WIND SPEED - 120 MPH MAX
HANDRAIL - 200 LB CONCENTRATED
LATERAL LOAD

SOIL BEARING CAPACITY = 1500 PSF



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PROJECT NUMBER
2020-233

DRAWN BY
RP

APPROVED BY
PP

DATE
07-12-20

ORIGINAL SHEET SIZE
30X42
SHOULD MEASURE 1":
[Scale bar showing 0, 10, 20, 30, 40, 50, 60, 70, 80, 90, 100 feet]

SCALE
AS SHOWN

DRAWING
S1

ARENCO LLC

PROJECT TITLE
RENOVATION
PROJECT ADDRESS
5000 WILD OLIVE CT
ELLICOTT CITY, MD 21042
SHEET TITLE
STRUCTURAL NOTES

PROJECT
SINGH RESIDENCE
5000 WILD OLIVE CT
ELLICOTT CITY, MD 21042

18400 BELLA CREST
POTOMAC, MD 20854
ARCHITECTS
PROPOSED
CONSTRUCTION MANAGERS
TEL: (301) 410-1996 FAX: (301) 974-6418

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT
THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME,
AND I AM A DULY LICENSED PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE
#28670, EXPIRATION DATE: 3/27/2021"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



DC • VIRGINIA • MD
8229 BOONE BLVD., SUITE 410
VIENNA, VA 22182
Phone: 703.988.2350 • Email: info@msedllc.com
Website: www.msedllc.com

22x34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8" = 1'-0"
ZIBERTY HOMES - 5000 WILD OLIVE COURT
REAR ELEVATION

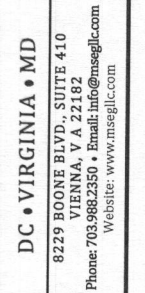
DRAWN BY:
MCR
DATE: 07/01/19
REV No. DATE
XXX XX-XX-XX

19-100

SHEET No.
A4.3

REFERENCE FOUNDATION PLAN SHEET "FND"
FOR ADDITIONAL DIMENSIONS AND
INFORMATION NOT SHOWN

NOTE: ALL DOORS TO
BE 6'-8" TALL U.N.O.



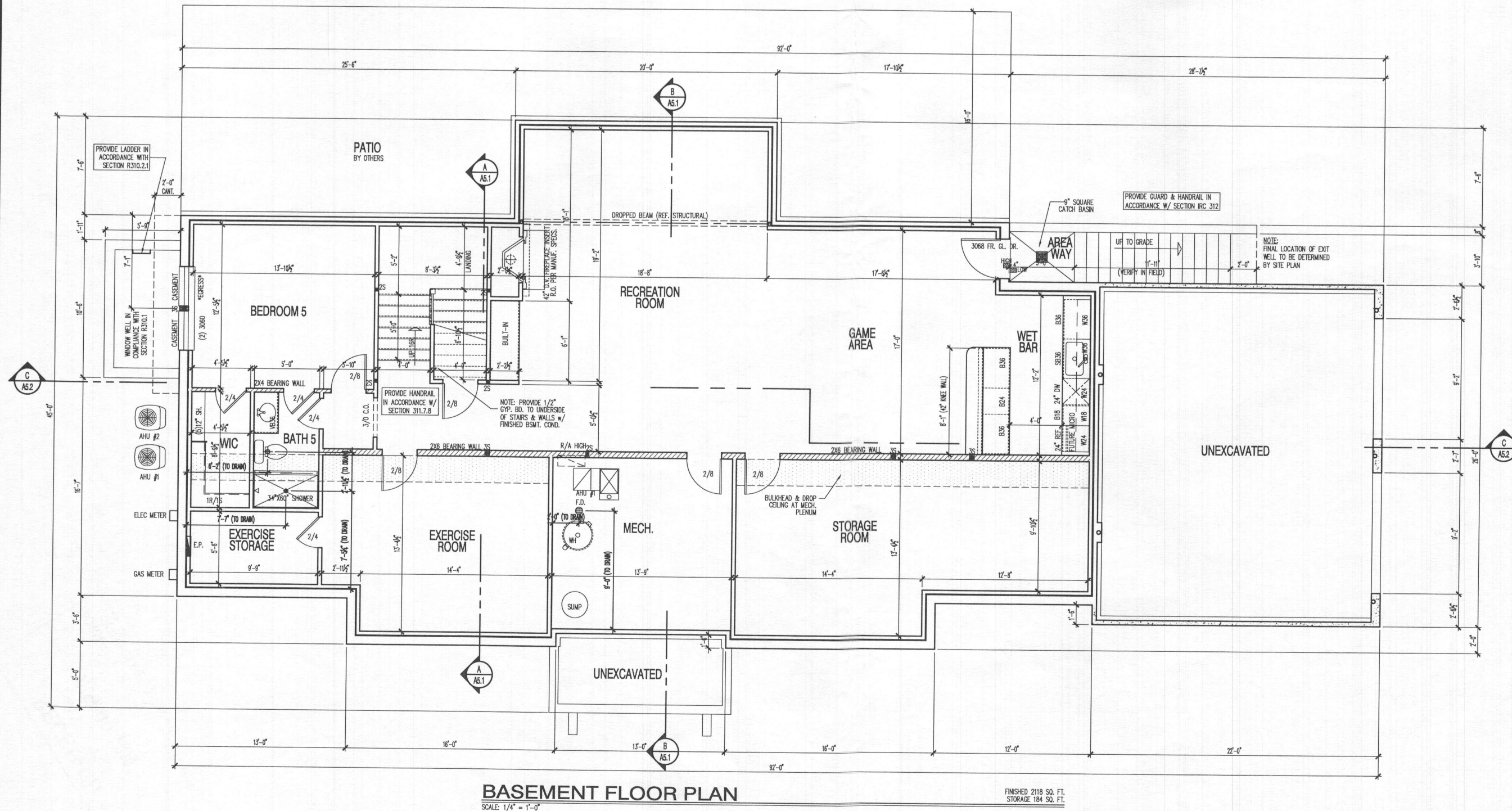
— 22x34 Plotted at $1/4''=1'-0''$ — 11x17 Plotted at $1/8''=1'-0''$

DRAWN BY:	
MCR	
DATE: 07/01/19	
REV No.	DATE
XXX	XX-XX-XX

19-100

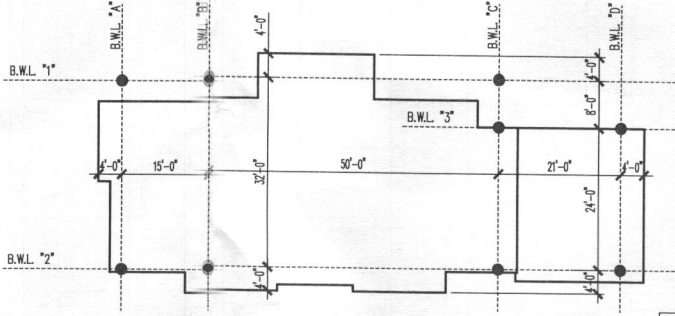
SHEET No.

A0.1



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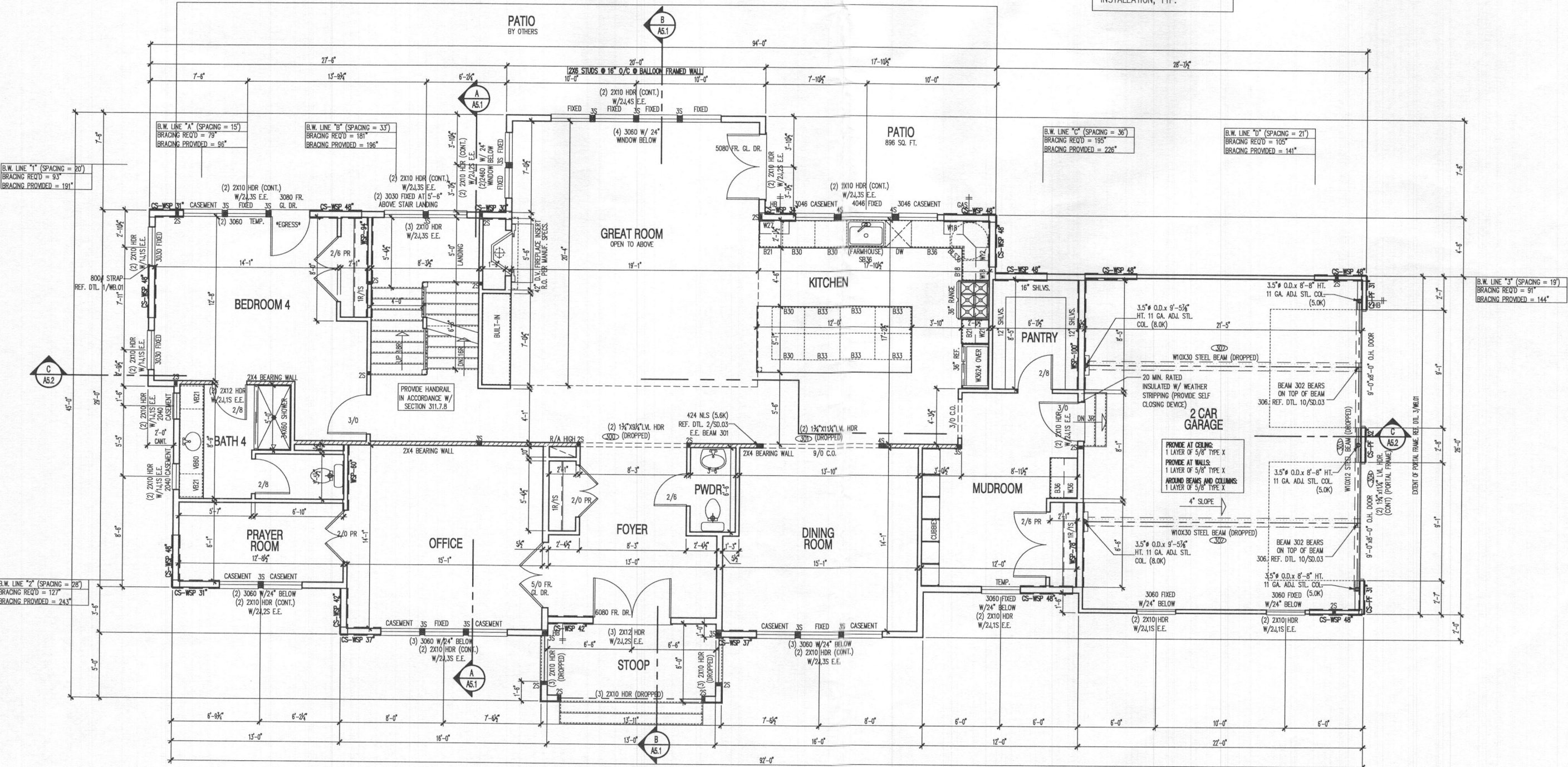
"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE #28670, EXPIRATION DATE: 3/27/2021"



BRACED WALL LINE KEY

SCALE: 1/16" = 1'-0"
NOTE: REFERENCE PLAN FOR TEXT BOXES THAT INDICATE SPACING AND BRACING REQUIRED/PROVIDED PER BRACED WALL LINE
• NODES INDICATE INTERSECTION OR END POINTS

NOTE:
WHERE BRACED WALL PANELS MEET ROOF TRUSSES, REF. DTL. 4/WB.01 FOR BLOCKING INSTALLATION, TYP.



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

LIVING AREA: 2288 SQ. FT.
FRONT STOOP: 85 SQ. FT.
GARAGE: 565 SQ. FT.

moment
ENGINEERING • DESIGN
www.momentllc.com

DC • VIRGINIA • MD
8229 BOONE BLVD., SUITE 410
VIENNA, VA 22182
Phone: 703-982-5500 • Email: info@momentllc.com
Website: www.momentllc.com

22x34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8" = 1'-0"

ZIBERTY HOMES - 5000 WILD OLIVE COURT

FIRST FLOOR PLAN

DRAWN BY:

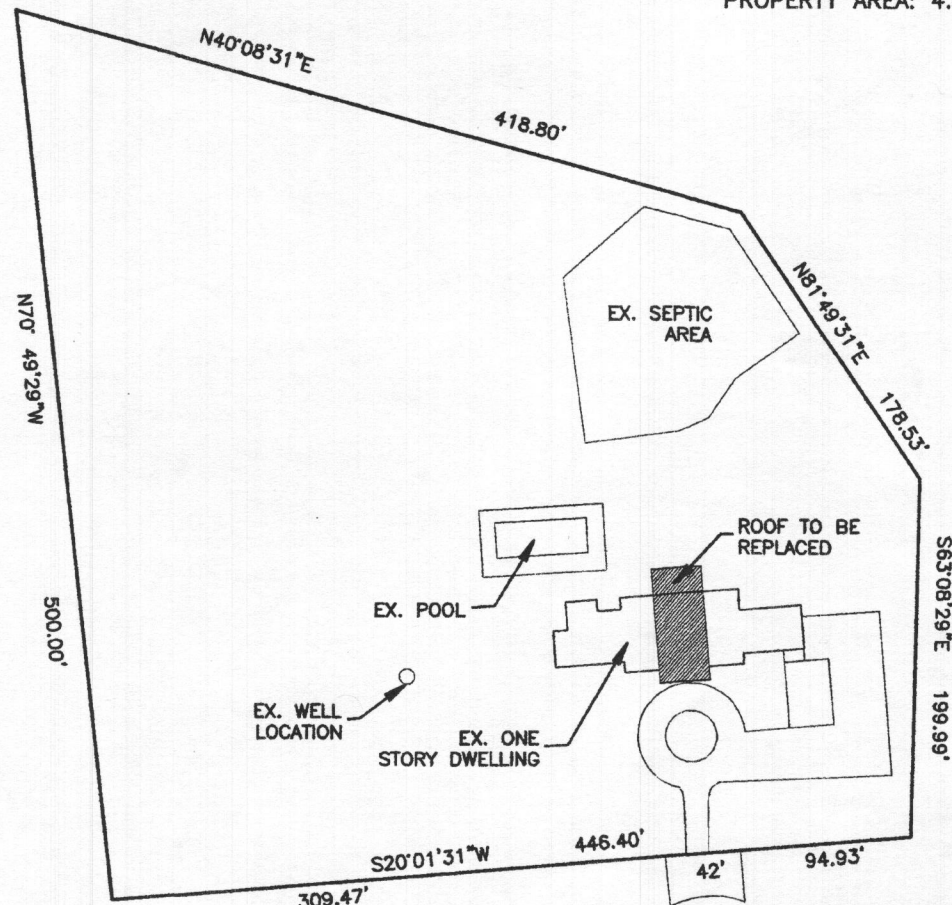
MCR
DATE: 07/01/19
REV No. DATE
XXX XX-XX-XX

19-100

SHEET No.
A1.1

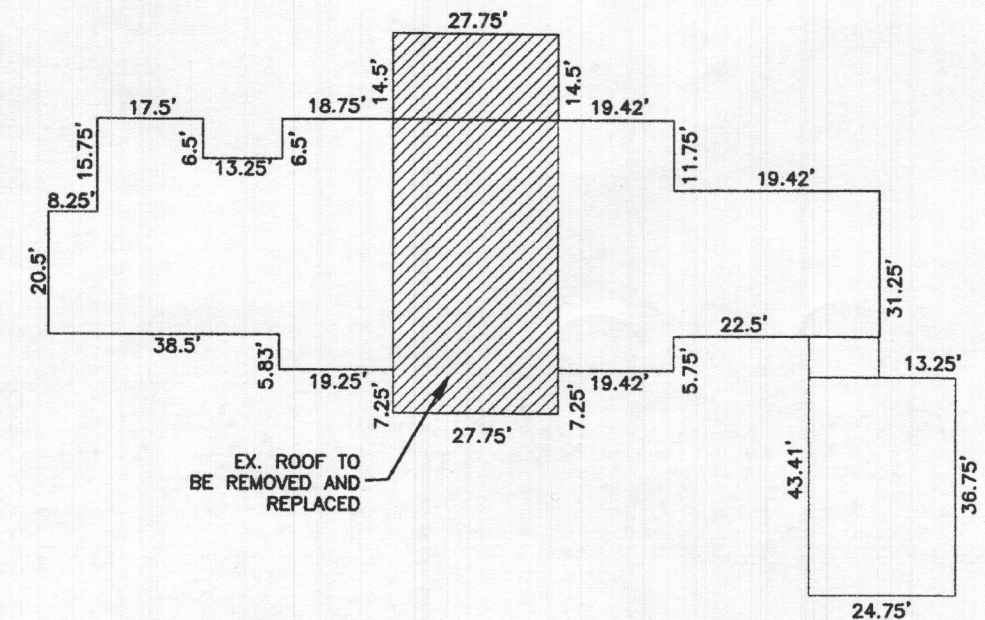
REVISED
Date: 8/20/20
Comments: B2-2001

ADDRESS: 5000 WILD OLIVE CT
ELLICOTT CITY, MD 20759
MAP: 0028
DEED REFERENCE: /18342/00474
PROPERTY AREA: 4.303 AC



SITE PLAN

SCALE: 1" = 100'



EX. HOUSE

SCALE: 1" = 30'



5000 WILD OLIVE CT
ELLICOTT CITY, MD 21042
RENOVATION

C1

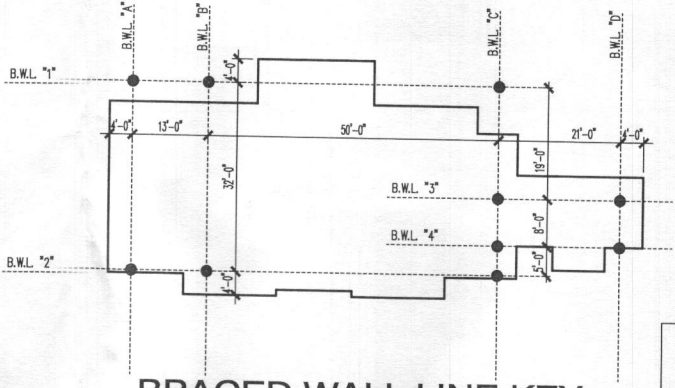
SITE PLAN

ARENCO, LLC
ARCHITECTURAL ENGINEERING CONSULTANTS
12430 HILL CREST
FULTON, MD 20759

SCALE 1" = 100'	WORK REQUEST # 20-233	SHEET 1 OF 1	DRAWING NO. 20-233-01
--------------------	--------------------------	-----------------	--------------------------

FORM 08-23-97

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE #28670, EXPIRATION DATE: 3/27/2021"



BRACED WALL LINE KEY

SCALE: 1/16" = 1'-0"
NOTE: REFERENCE PLAN FOR TEXT BOXES THAT INDICATE SPACING AND BRACING REQUIRED/PROVIDED PER BRACED WALL LINE
• NODES INDICATE INTERSECTION OR END POINTS

NOTE:
WHERE BRACED WALL PANELS MEET ROOF TRUSSES, REF. DTL. 4/WB.01 FOR BLOCKING INSTALLATION, TYP.

REFERENCE WINDBRACING ANALYSIS SPREADSHEET IN CALC PACKAGE FOR WALL BRACING DESIGN DATA

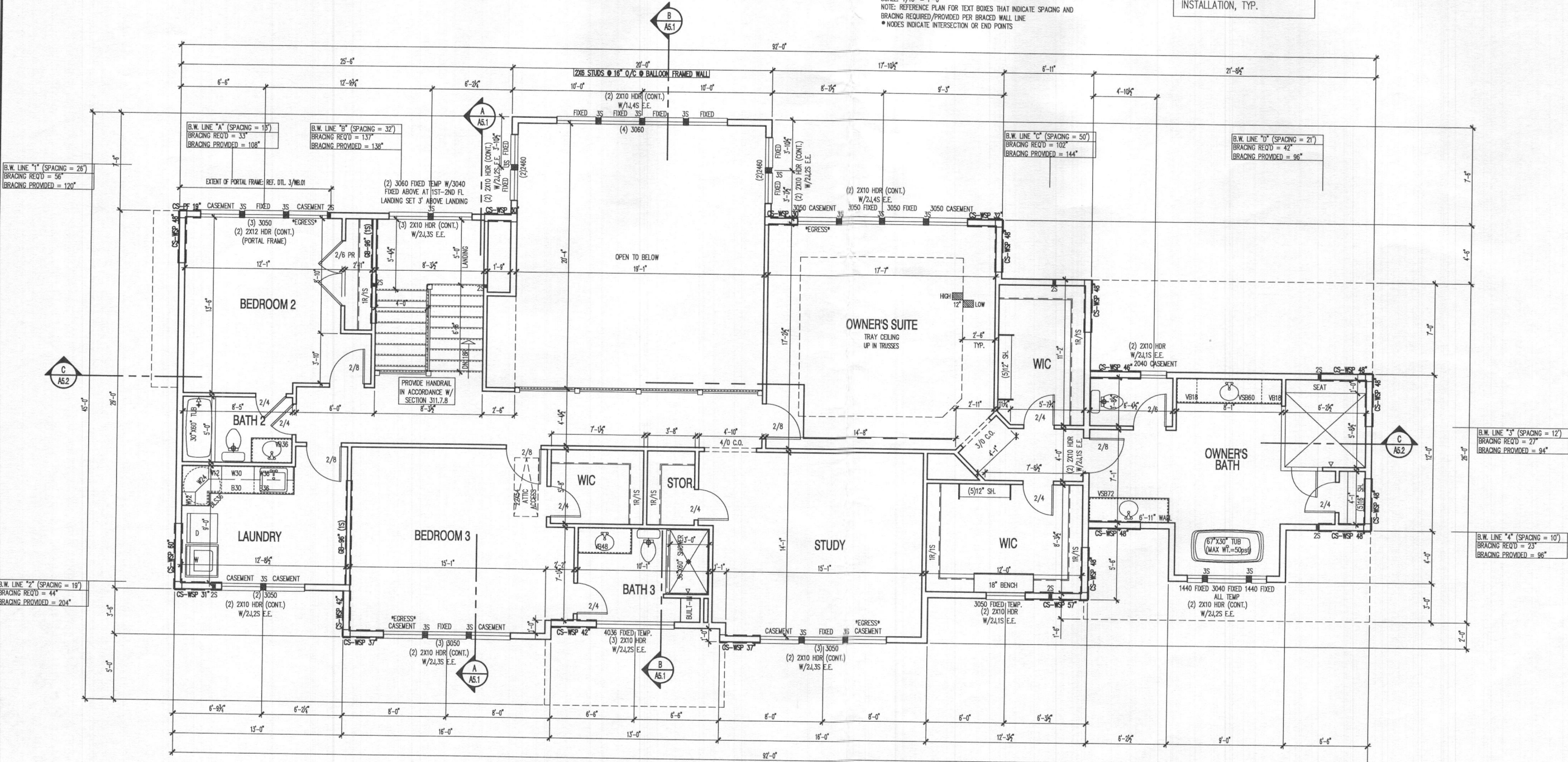
GIRDER TRUSS LOCATIONS ARE FOR REFERENCE ONLY AND FINAL LOCATIONS SHOULD BE PER APPROVED SHOP DRAWING LAYOUT: ENSURE POSTS ARE LOCATED ACCORDINGLY UNDER GIRDERS.

NOTE:
STANDARD DOOR TRIM RETURN IS 4" U.N.O.

NOTE: ALL DOORS TO BE 6'-8" TALL U.N.O.

NOTE:
INSULATE & THERMO-PLY BEHIND TUB & SHOWER AT EXTERIOR WALL LOCATION

NOTE:
ALL EXTERIOR WALLS TO BE 2X6 U.N.O.



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

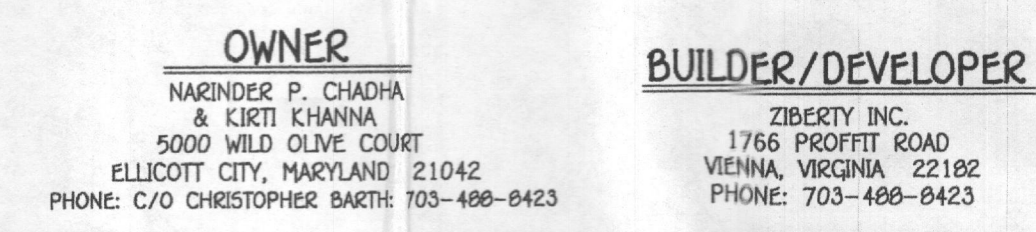
ZIBERTY HOMES - 5000 WILD OLIVE COURT
SECOND FLOOR PLAN

DRAWN BY:
MCR
DATE: 07/01/19
REV No. DATE
XXX XX-XX-XX

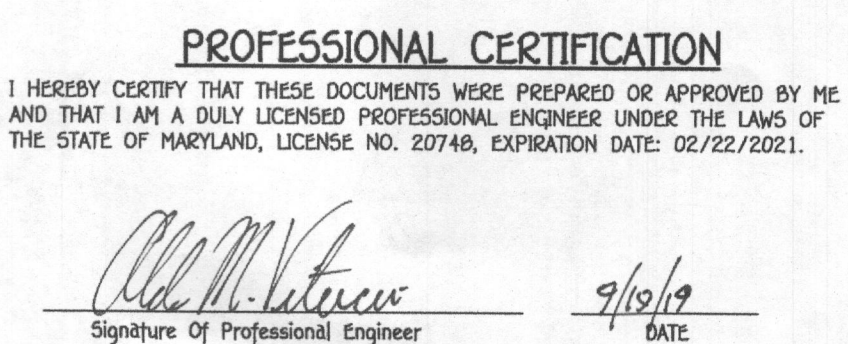
19-100
SHEET No.
A2.1

DC • VIRGINIA • MD
8229 BOONE BLVD., SUITE 410
VIENNA, VA 22182
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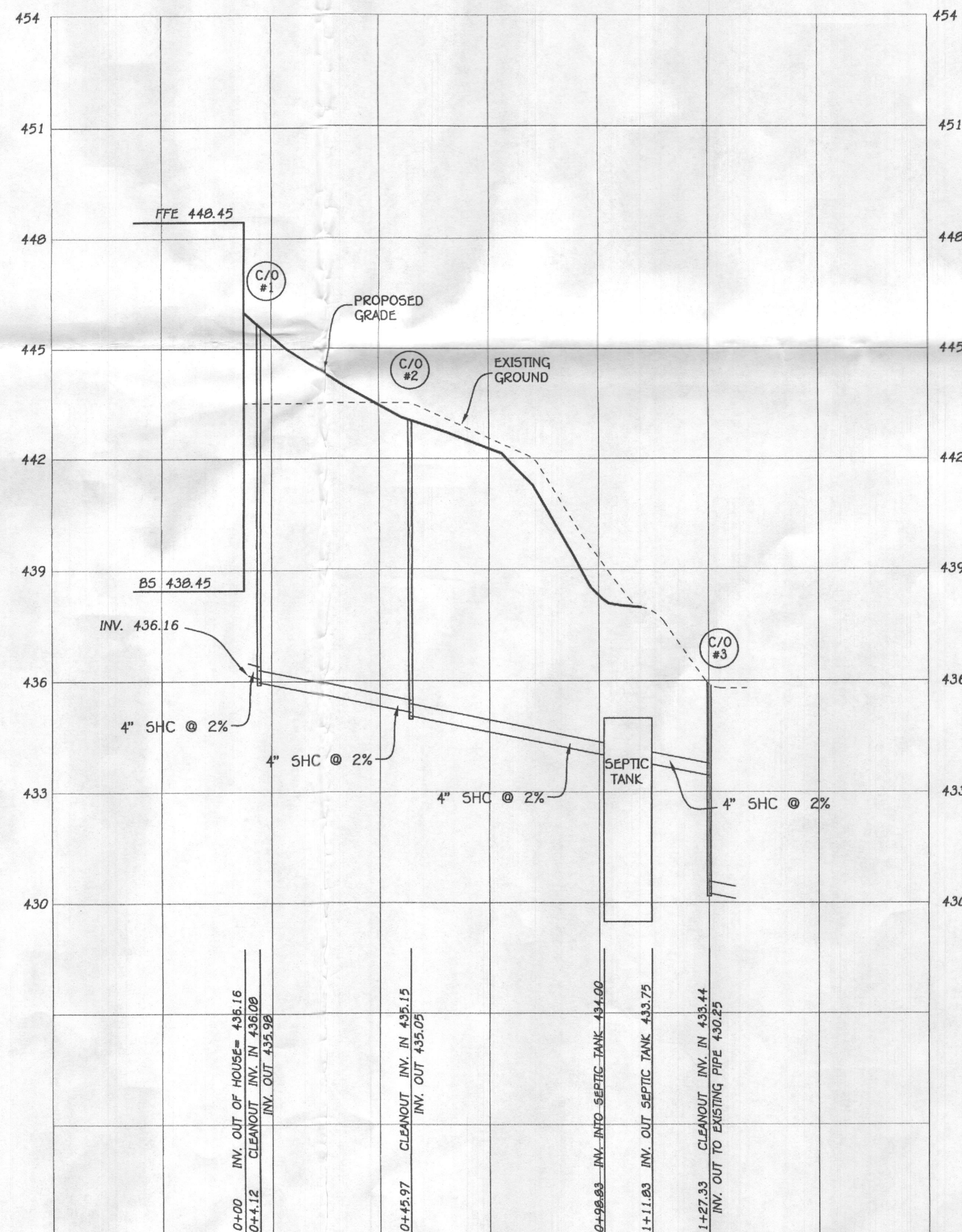
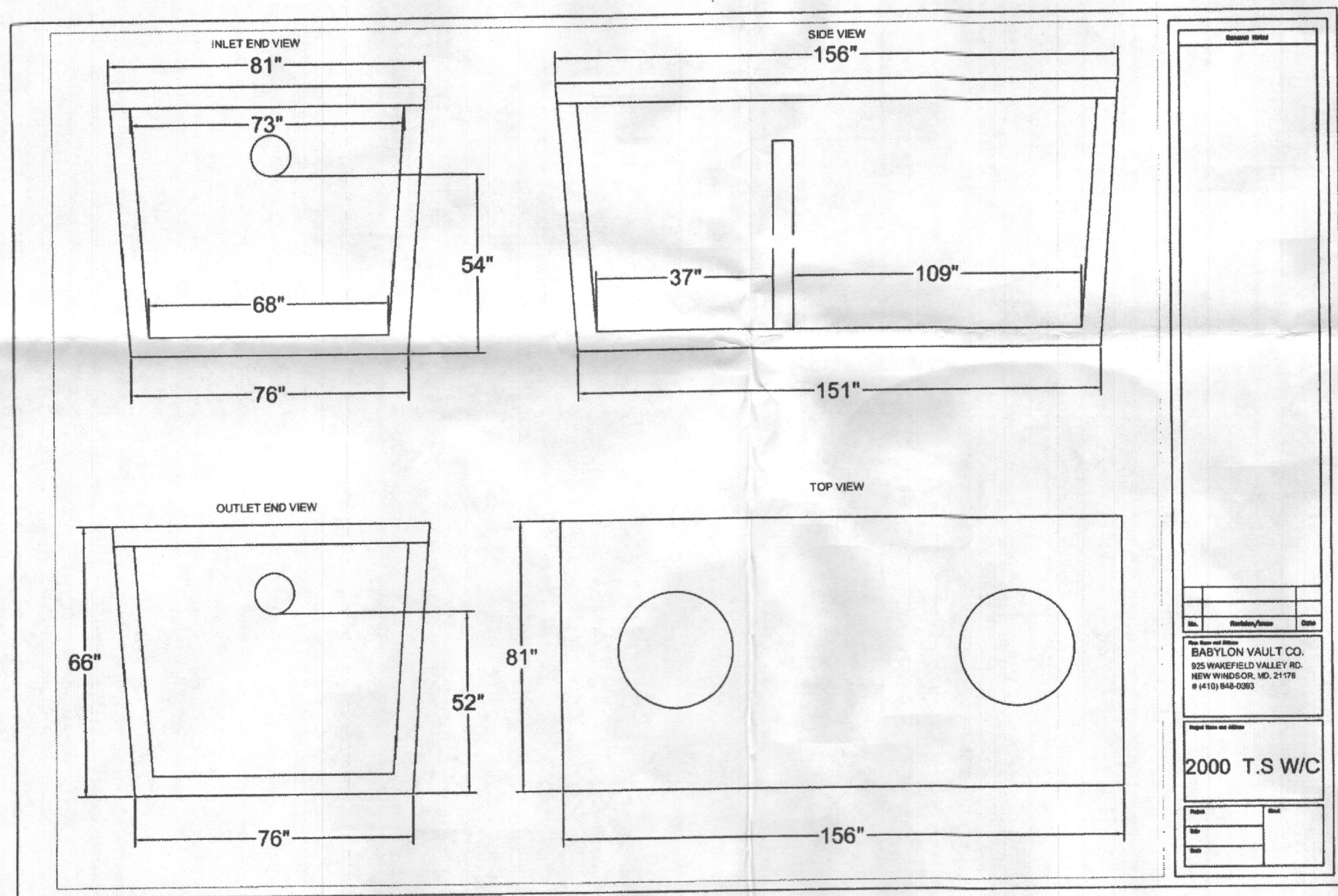
- \\2004\04001\dwg\PHASE THREE FINALS\04001-3007 Mobely Septic Install Plan.dwg, Sheet 1 GP, 1:1

[illegible]

Approved Septic System Plan
Howard County Health Department
Install 2000 gal Septic Tank
connect back line to
existing back line.
R. B. Baker 9/6/19
Signature Date
B19002540



TAX MAP NO.: 20 GRID NO.: 11 PARCEL NO.: 50 & 49
5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1"=30' DATE: SEPTEMBER 10, 2019
SHEET 1 OF 2



SEPTIC PROFILE
SCALE: 1"=30'

FFE 448.45
BSE 438.45
INV. OUT OF HOUSE = 436.16
PROP. GROUND AT CLEANOUT #1 = 445.8
INV. INTO CLEANOUT #1 = 436.08
INV. OUT OF CLEANOUT #1 = 435.98
PROP. GROUND AT CLEANOUT #2 = 442.90
INV. INTO CLEANOUT #2 = 435.15
INV. OUT OF CLEANOUT #2 = 435.05
EX. GROUND AT SEPTIC TANK = 438.00
PROP. GRADE ABOVE SEPTIC TANK = 438.00
TOP OF SEPTIC TANK = 435.00
INV. INTO SEPTIC TANK = 434.00
INV. OUT OF SEPTIC TANK = 433.75
PROP. GROUND AT CLEANOUT #3 = 435.8
INV. INTO CLEANOUT #3 = 433.44
INV. OUT OF CLEANOUT #3 TO EXISTING PIPE = 430.25
CLEANOUT #3 TOP = EXISTING GROUND ELEV.

Approved Septic System Plan
Howard County Health Department
Install 2000 gal. Septic Tank
Connect 'back' line to
existing 'back' line.
Signature: *[Signature]* Date: 9/12/19

INITIAL SYSTEM INSTALLED

SEWAGE DISPOSAL SYSTEM DATA, DESIGN FOR
5 BEDROOMS
LOADING RATE = 5 BEDROOMS X 150 GPD/BEDROOM = 750 GPD
APPLICATION RATE = 0.7
EFFECTIVE SIDEWALL BEGINS AT 5.5 FEET
TRENCH DEPTH = 10.5 FEET
TRENCH WIDTH (W) = 2 FEET
EFFECTIVE DEPTH (D) = 5 FEET
SF OF DRAINFIELD = 750 GPD / 0.7 = 1071.42 SF
COEFFICIENT OF REDUCTION OF TRENCH LENGTH =
 $(W+2)/(W+1+2D) = (2+2)/(2+1+(2 \times 5)) = 0.31$
TRENCH LENGTH = 535.71 SF x 0.31 = 166.07 FEET
(USE 3 TRENCHES AT 55.36 L.F.)
TRENCH SPACING = $2D+W = ((2 \times 3) + 2) = 12'$ USE 12'

1ST REPLACEMENT SYSTEM

SEWAGE DISPOSAL SYSTEM DATA, DESIGN FOR
5 BEDROOMS (PERMIT FOR 4 BEDROOMS)
LOADING RATE = 5 BEDROOMS X 150 GPD/BEDROOM = 750 GPD
APPLICATION RATE = 0.8
EFFECTIVE SIDEWALL BEGINS AT 3 FEET
TRENCH DEPTH = 8 FEET
TRENCH WIDTH (W) = 2 FEET
EFFECTIVE DEPTH (D) = 5 FEET
SF OF DRAINFIELD = 750 GPD / 0.8 = 937.5 SF
COEFFICIENT OF REDUCTION OF TRENCH LENGTH =
 $(W+2)/(W+1+2D) = (2+2)/(2+1+(5 \times 2)) = 0.31$
TRENCH LENGTH = 468.75 SF x 0.31 = 145.31 FEET
(USE 3 TRENCHES AT 48.44 L.F.)
TRENCH SPACING = $2D+W = ((2 \times 5) + 2) = 12'$ USE 12'

2ND REPLACEMENT SYSTEM

SEWAGE DISPOSAL SYSTEM DATA, DESIGN FOR
5 BEDROOMS (PERMIT FOR 4 BEDROOMS)
LOADING RATE = 5 BEDROOMS X 150 GPD/BEDROOM = 750 GPD
APPLICATION RATE = 0.8
EFFECTIVE SIDEWALL BEGINS AT 4 FEET
TRENCH DEPTH = 8 FEET
TRENCH WIDTH (W) = 2 FEET
EFFECTIVE DEPTH (D) = 4 FEET
SF OF DRAINFIELD = 750 GPD / 0.8 = 937.5 SF
COEFFICIENT OF REDUCTION OF TRENCH LENGTH =
 $(W+2)/(W+1+2D) = (2+2)/(2+1+(4 \times 2)) = 0.36$
TRENCH LENGTH = 468.75 SF x 0.36 = 168.75 FEET
(USE 3 TRENCHES AT 56.25 L.F.)
TRENCH SPACING = $2D+W = ((4 \times 2) + 2) = 10'$ USE 10'

**SEPTIC SYSTEM
INSTALLATION SITE PLAN
5000 WILD OLIVE COURT**

ZONED: RC-DEO
TAX MAP NO.: 28 GRID NO.: 11 PARCEL NO.: 50 & 49
5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1"=30' DATE: SEPTEMBER 10, 2019
SHEET 2 OF 2

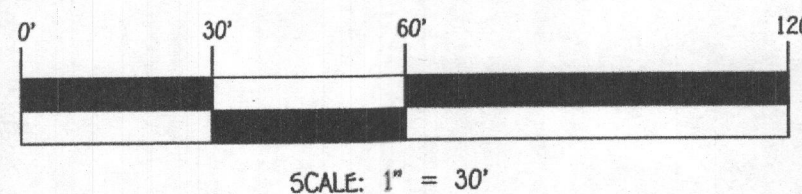


PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME
AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF
THE STATE OF MARYLAND, LICENSE NO. 20748, EXPIRATION DATE: 02/22/2021.

Signature Of Professional Engineer

DATE: 9/12/19



FISHER, COLLINS & CARTER, INC.
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& LUETI KHANNA
5000 WILD OLIVE COURT
ELLICOTT CITY, MARYLAND 21042
PHONE: C/O CHRISTOPHER BARTH: 703-488-8423

BUILDER/DEVELOPER
ZIBERTY INC.
1766 PROFFIT ROAD
VIENNA, VIRGINIA 22182
PHONE: 703-488-8423