

RECEIVED

PERMIT NUMBER: B **20002957**

DATE ACCEPTED:

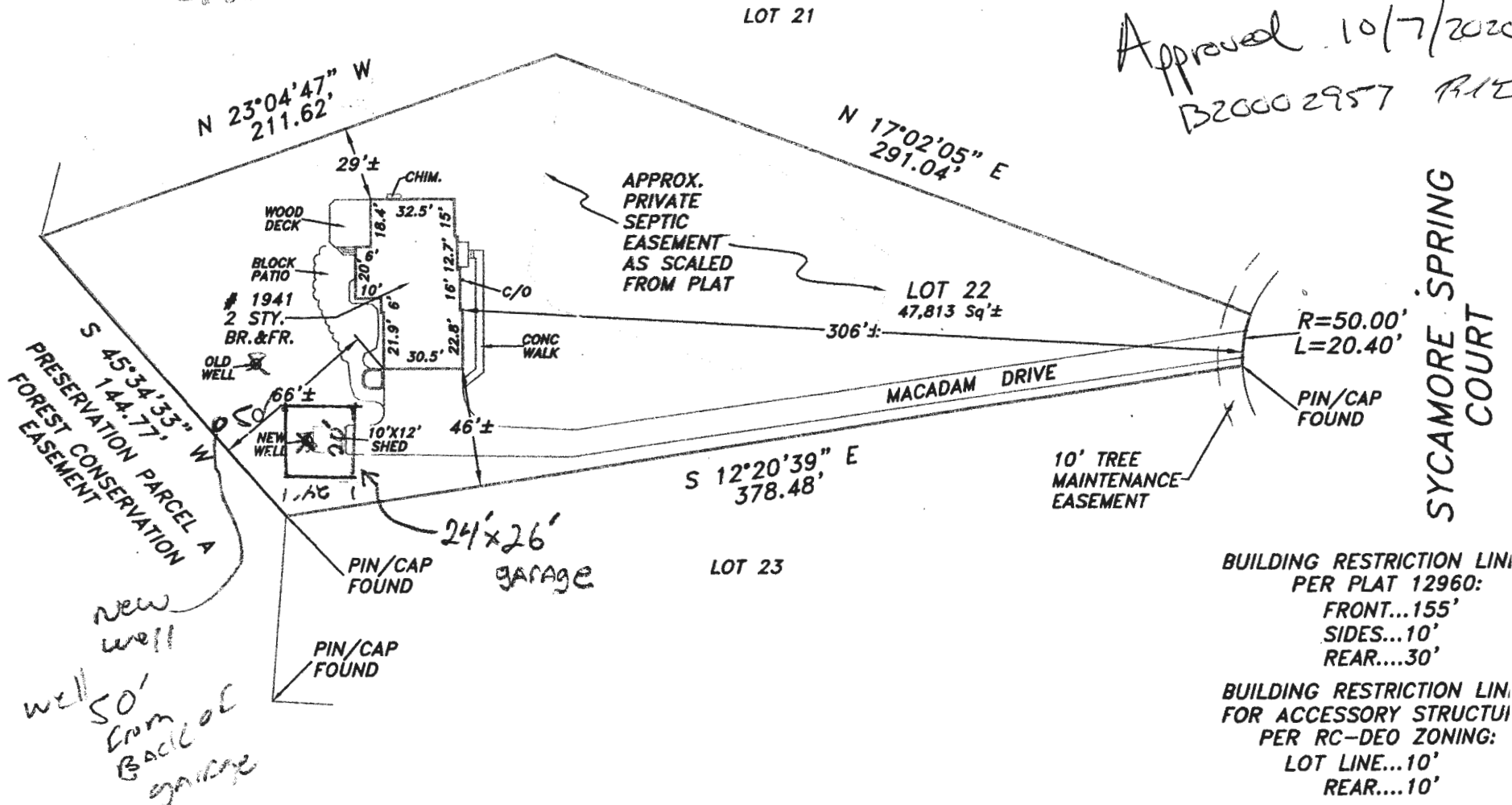
AUG 31 2020

RESIDENTIAL BUILDING PERMIT APPLICATION					
HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS					
3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4					
www.howardcountymd.gov					
BUILDING SITE ADDRESS REQUIRED					
Street Address: 1941 Sycamore Spring Court					Unit:
City: Cooksville			State: MD		Zip Code: 21723
Subdivision/Village/Complex Name:					SDP/WP/BA #:
Lot:	Tax Map:	Parcel:	Grading Permit #:		
DESCRIPTION OF WORK REQUIRED					
Existing Use: SHD		Proposed Use: Detached 24x26 garage		Estimated Cost: \$15,000.00	
Trade Work to Be Completed (Separate Permits Required): <input type="checkbox"/> Mechanical (HVAC) <input checked="" type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> None					
SEE ABOVE					
PROPERTY OWNER INFORMATION REQUIRED					
Owner(s) Name(s) (As it appears on tax records): Mr. Robert Weddell					Primary Residence: <input type="checkbox"/> Yes <input type="checkbox"/> No
Owner's Street Address: 1941 Sycamore Spring Court					
City: Cooksville			State: MD		Zip Code: 21723
Phone: 443-514-5180			Email: rrosell19@verizon.net		
APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION					
Business Name: Professional Deck Care					Contact Name: Eric Hawkins
Street Address: 10018 Old Frederick Rd					
City: Ellicott City			State: MD		Zip Code: 21042
Phone: 443-514-5180			Email: prodeckcare@gmail.com		
CONTRACTOR INFORMATION REQUIRED					
Business Name: Professional Deck Care					
Licensee's Name: Lori Rose					License #: MHIC # 77775
Street Address: 10018 Old Frederick Rd					
City: Ellicott City			State: MD		Zip Code: 21042
Phone: 443-514-5180			Email: prodeckcare@gmail.com		
ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE					
Business Name:					Name:
Street Address:					
City:			State:		Zip Code:
Phone:			Email:		
BUILDING CHARACTERISTICS REQUIRED					
Primary Structure: <input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/> SF Duplex <input type="checkbox"/> Mobile Home <input type="checkbox"/> Multi-Family Dwelling (MF*)					Condo: <input type="checkbox"/> Yes <input type="checkbox"/> No
Utilities: <input type="checkbox"/> Electric <input type="checkbox"/> Gas		Water Supply: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Well)		Sewage Disposal: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Septic)	
Heating System: <input type="checkbox"/> Electric <input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane <input type="checkbox"/> Other:					Roadside Tree Project: <input type="checkbox"/> No <input type="checkbox"/> Yes: #
Sprinkler System: <input type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R <input type="checkbox"/> NFPA 13D <input type="checkbox"/> None			Fire Alarm System: <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Voice Evac		
ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)					
Model Name & Options:					
# of Bedrooms (SF):	# of efficiency units (MF*):	# of 1 BR (MF*):	# of 2 BR (MF*):	# of 3 BR (MF*):	
# Rooms:	# Full Baths:	# Half Baths:	# Fireplaces:		
Garage/Carport Info: <input type="checkbox"/> Attached Garage <input checked="" type="checkbox"/> Detached Garage <input type="checkbox"/> Integral Garage <input type="checkbox"/> Carport <input type="checkbox"/> None					
Basement/Foundation Info: <input type="checkbox"/> Slab on Grade <input type="checkbox"/> Post & Pier <input type="checkbox"/> Unfinished Basement <input type="checkbox"/> Finished Basement: <input type="checkbox"/> Full or <input type="checkbox"/> Partial					
1st Fl Width:	1st Fl Depth:	2nd Fl Width:	2nd Fl Depth:	Bsmt Width:	Bsmt Depth:
Energy Method: <input type="checkbox"/> Prescriptive <input type="checkbox"/> Performance <input type="checkbox"/> UA Alternative <input type="checkbox"/> ERI			Gross Area: sq ft Occupiable Area: sq ft		
AGREEMENT/ DISCALIMER REQUIRED					
THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.					
APPLICANT'S ORIGINAL SIGNATURE: Lori Rose					DATE SIGNED: 8/31/20
FOR OFFICE USE ONLY					
CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY					
AGENCIES REQUIRED/APPROVALS:					
<input checked="" type="checkbox"/> PR	<input checked="" type="checkbox"/> DPZ	<input checked="" type="checkbox"/> DED	<input checked="" type="checkbox"/> Health	<input type="checkbox"/> SHA	<input type="checkbox"/> CID
SUBMITTAL FEES: \$25		PAYMENT: CK# 1019		ACCEPTED BY: [Signature]	

***NEED 3RD SET OF PLANS**

- 1) SUBJECT PROPERTY IS ZONED RC-DEO
- 2) THE PROPOSED SHED IS 576 sq'±.

Approved 10/7/2020
B20002957 R/E



BUILDING RESTRICTION LINE
PER PLAT 12960:

FRONT...155'
SIDES...10'
REAR...30'

BUILDING RESTRICTION LINE
FOR ACCESSORY STRUCTURE
PER RC-DEO ZONING:

LOT LINE...10'
REAR...10'

The property shown hereon, being known as:
Lot 22 as shown on plat entitled "Riggs Meadow"
recorded among the land records of Howard County, Maryland as
Plat Number 12960.



The purpose of this drawing is to show the existing improvements and
proposed shed for the purpose of acquiring a Building Permit on
the property shown hereon.



James Carl Hudgins
Property Line Surveyor #96
Expiration Date: 3/11/2022

PLOT PLAT
1941 SYCAMORE SPRING COURT
4th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

NTT Associates, Inc.

16205 Old Frederick Rd.
Mt. Airy, Maryland 21771
Phone: (410) 442-2031
Fax: (410) 442-1315



www.nttsurveyors.com

Scale: 1"= 60'

Date: 5/22/2020

Field By: TOM/SB

Drawn By: RIK

File No.: MISC 13895

Page No.: 1 of 2

**COMPLETE THIS FORM WHEN DROPPING OFF ANY
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 9/21/20

To: Health Department Review
(Person's Name and Division)

From: Lori Rose Professional Deck Care (443) 514-5150
(Your Name, Company Name and Telephone Number)

Subject: Project name Mr. Weddell
Project site address 1941 Sycamore Spring Ct. Cooksville, MD 21723
Permit # B20002957 SDP # _____
Other information pertinent to this project _____

✓ Please check the attachments below that you are submitting with this transmittal:

____ Letter of response to address plan review comment letter

____ Revised plans and/or revised details: When submitting for a complete re-review, **duplicate sets shall be submitted.**

____ Letter Summarizing Changes

____ Energy conservation calculations

1 set Copies of Construction Drawings (be specific).

☒ Health Department Request _____ DPZ/ DED Request _____ Applicant's Request _____

____ Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # _____

____ Other _____

Contact Person Information: (Required)

Lori Rose Telephone No: 443-514-5150
Please Print Name
E-Mail Address: lrose119@verizon.net
prodeckcare@gmail.com

PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

Received by _____

White-Plan Review / Yellow-Applicant / Pink-Permit Division
t:\Operations\Updated forms\transmit.frm - Rev. 04/2014

RECEIVED
SEP 21 2020
**LICENSES & PERMITS
DIVISION**

GENERAL NOTES

These plans were designed to conform to the latest edition of the International Residential Code for One and Two Family Dwellings (exclusive of seismic and high wind regulations). Due to continuous changes in both local and national building codes, accommodating all building restrictions is impossible. Therefore, these plans are subject to local requirements and interpretations. If these plans are not signed and sealed by a registered architect, it becomes the responsibility of the user to make certain these plans comply with local code requirements. In the event of a conflict between specifications contained in this set of plans and applicable codes or regulations in your area, the more stringent provision shall apply and be followed during construction. Variations required by local building officials shall not be binding on the designer, the Garlinghouse Co. Inc. The Garlinghouse Co. Inc. is not responsible for the availability of any suggested manufactured products specified on these plans or material lists.

BUILDER QUALIFICATIONS & CONSTRUCTION STANDARDS

These plans are intended for use only by persons knowledgeable in and familiar with generally accepted methods, techniques and industry standards for construction, and who are familiar with all applicable codes and other regulations that govern the construction of this type of structure. All construction is to be performed in accordance with these regulations and standards. If no building code ordinance has been locally adopted, then the International Residential Code should be used. The Garlinghouse Company Inc. cannot be responsible for any construction methods or procedures followed that are not specified or called out specifically in these plans and specifications.

DIMENSIONS

Written dimensions shall take precedence over scaled dimensions.
(DO NOT SCALE DRAWINGS) .

ERRORS AND OMISSIONS

Every effort has been made to insure that these plans are accurate and drawn to reflect all current national standards for safe and proper building practices. Any errors or omissions found should be reported to the Technical Services Department of the Garlinghouse Company. In addition to insuring that errors will be corrected for future purchasers, replacement copies of the plans will be provided to you free of charge once corrections are made.

DESIGN LOADS

These plans were designed to meet the external load conditions noted below. However, design load specifications (especially for roofs) vary from region to region due to local codes and geographic conditions. If these plans are not signed and sealed by an architect, then user must consult with local building code officials to determine if these design load specifications are adequate. If the design loads do not meet local requirements, it becomes the user's responsibility to have these plans altered to conform to such requirements.

	Dead Loads	Live Loads
Roof, with Shakes or Composition Shingles	10 psf	20 psf (In areas where greater live loads are required by bldg codes, changes in some beam sizes may be required to properly support the required roof load.

FOUNDATIONS

- Footings shall bear on firm, undisturbed soil to a depth of 12" below finished grade or as deep as the local frost line, whichever is deeper. Where sloping grades are involved footing depths must always be measured from the point at the final finished grade line that is closest to the footing.
- To ensure proper support for the footings and foundation walls, footings must always be poured with a flat bottom surface. Footings may be stepped where necessary to allow the footing to remain below frostline on a sloping grade, but the structure may not be built on a site where the finished grade line exceeds thirty degrees down from level. Sloping sites require special engineering for extended foundation walls and stepped footings.
- A minimum 2000 psf soil bearing is required.

CONCRETE

- All concrete for walls, footings, shall develop and maintain a minimum compressive strength of 2500 psi at 28 days.
- All concrete for garage slabs shall develop and maintain a minimum compressive strength of 3500 psi at 28 day strength.
- Concrete forms, shoring and pouring methods shall conform to all current practices endorsed by the American Concrete Institution.

FRAMING NOTES

The following is a list of procedures to accompany standard building practices and should be followed during the framing of the structure.

- All frame walls shall have stud framing placed at 16" o.c. except where noted otherwise.
- Top plates shall be doubled on all walls except where noted otherwise.
- Jack studs under all headers shall be continuous to sole plate.
- Block all stud walls as required for sheathing
- Solid blocking between all joists and rafters at supporting walls and beams except at rim joists.
- Beams, girders, and joists supporting bearing walls or concentrated loads shall not be notched or drilled with holes larger than 1" in diameter.
The ends of all joists shall bear on not less than 1 1/2" on wood or metal and not less than 3" on masonry. The ends of all beams or girders shall bear on not less than 3".
- Mid sills and ledger boards at concrete walls shall have anchor bolts of the size and spacing shown on the drawings. Each board shall be secured with at least two bolts and each board shall have a bolt within 12" of each end.
- Contractor shall provide adequate bracing or otherwise support all portions of the structure until all members have been permanently joined together.
All roof trusses shall be designed by a registered engineer for the truss manufacturer.
Submit sealed truss engineering drawings to the local Building Department indicating bracing, etc., that may be required.
- All wood in permanent contact with concrete shall be pressure treated with a water borne preservative.
Nails and all metal connectors in contact with PT wood shall be hot dipped galv. or stainless steel
- All slabs on grade shall be reinforced with 6x6 10/10 welded wire mesh.

WOOD FRAMING

All solid sawn lumber shall be a minimum #2 grade or better with a Fiber Stress In Bending factor (Fb) of 875 psi BAGE VALUE and a Modulus of Elasticity (E) of 1,400,000 psi unless otherwise specified. All lumber shall have a moisture content of no more than 19%. Lumber shall be graded in accordance with the Western Wood Products Association and/or the Canadian Wood Council.

- | | |
|-------------------------------------|---|
| A. Post, Beams, & Headers | #2 or Better (or LVL) |
| B. Floor, Ceiling Joists, & Rafters | #2 |
| C. Plates & Blocking | #2 |
| D. Mid Sills | Pressure Treated |
| E. Studs | Stud Grade |
| F. Roof & Wall Sheathing | 5/8" G-D Plywood with exterior glue or properly rated OSB |
| G. Laminated Veneer Lumber (LVL) | Fb 2800 psi, E=2,000,000 |

WINDOW & DOOR REQUIREMENTS

- All windows are noted by window schedule in plan and elevation, with specific manufacturer selection by owner and/or contractor.
Contractor must verify all required rough framing openings.
- All windows and doors with glass shall be double glazed, insulated units with wood or aluminum frame and sash.
- Exterior doors are to be foam-core insulated steel doors unless otherwise noted.

MISCELLANEOUS

- Owner is responsible for site location of all foundation and slab penetrations (i.e. sewer, water, underground power conduit stub-up).
- Prior to starting construction, the user of these plans must verify the availability of all manufactured products suggested or specified, herein.
- All manufactured articles, materials, and equipment shall be applied, installed, connected, erected, used, cleaned, etc., in accordance with the manufacturer's written instructions
- Structure is designed to carry the load of composition roof shingles or shakes. Should substantially heavier roof materials be contemplated, then the structure will need to be redesigned accordingly.
- The contractor is responsible for providing adequate temporary bracing or to otherwise support all portions of the structure until all members have been permanently fastened together and permanently braced.
- Refer to publication HIB-41, published by the Truss Plate Institute for Important temporary bracing recommendations.

STRUCTURAL & MISCELLANEOUS METAL

Structural shapes, bars, and plates shall be steel meeting American Society for Testing & Materials (ASTM) standard A36. Pipe columns, where shown on plans, shall be standard weight meeting ASTM A53, type S, grade B. Design and fabrication shall conform to the latest edition of American Institute of Steel Construction (AISC) specifications. Exposed welds shall be ground smooth and flush. Reinforcement shall be bent cold and shall not be welded. All items except those to be encased with cast-in-place concrete shall be shop painted with rust primer. Erection shall conform to AISC specifications.

CONNECTORS & FASTENERS

- All nailing and fastening shall comply with the IRC's table "Fastener Schedule for Structural Members."
- All flush beams and girders shall use joist hangers to support abutting joists and rafters.

FLASHING

Install flashing and counter-flashing of 26-gauge galvanized metal or aluminum wherever dissimilar building materials join or intersect at the roof of the structure. This includes all intersections of the roof with vertical walls, chimneys, and dormers, and as otherwise shown on the drawings. Flashing must also be installed above windows and doors, and at all horizontal joints in sheet siding.

GUTTERS

All gutters shall be made of aluminum or as otherwise shown on drawings. Gutters should be secured a minimum of every 4'-0" with approved fasteners.

ABBREVIATIONS

AFF	above finish floor	JST	joist
ARCH	architect (oral)	LAM	laminated (d)
		LL	Live Load
BSMT	basement	LVL	Laminated Veneer Lumber
BRG	bearing		
BD	board	MFG	manufacturer
BLDG	building	MAX	maximum
BM	beam	MECH	mechanical
		MIN	minimum
CAB	cabinets	MT	metal threshold
CLG	ceiling		
CTR	center, centered"	NO	number
CC	center to center		
CLR	clear (ance)	O.C.	on center
CONC	concrete	OPT	optional
CONSTR	construction		
CONT	continuous	psf	pounds per square inch
		psf	pounds per square foot
d	penny (nail size)	QTY	quantity
DL	Dead Load		
DIAM	diameter	REQD	required
DRWG	drawing	R.O.	rough opening
		S.C.	solid core
EM	each way	SQ	square
ELEC	electric (al)	STD	standard
ELEV	elevation	STOR	storage
EXT	exterior	T&G	tongue & groove
		TYP	typical
FIN	finished		
FLR	floor	UNO	unless noted otherwise
FD	Floor drain		
FTG	footing	VERT	vertical
FDN	foundation		
GA	gauge		
GWB	gypsum wall board		
HDR	header	WC	water closet
HORIZ	horizontal	W	(steel section i.e. W12x5)
HB	hose bib	W	with
		WMM	welded wire mesh
INT	interior	WD	wood



Approved 10/7/2020
B20002957
RAE

Architectural Drawing Index	
CS	COVER SHEET / GENERAL NOTES
A1	FND. PLAN, FLR PLAN, RF FRNG PLAN, DETS
A2	8' EXT. ELEV'S, BLDG SECT'S, DETAILS
A3	9' EXT. ELEV'S, BLDG SECT'S, DETAILS

Owner:	Lot No.
Address:	
Ref. No.: 908050	

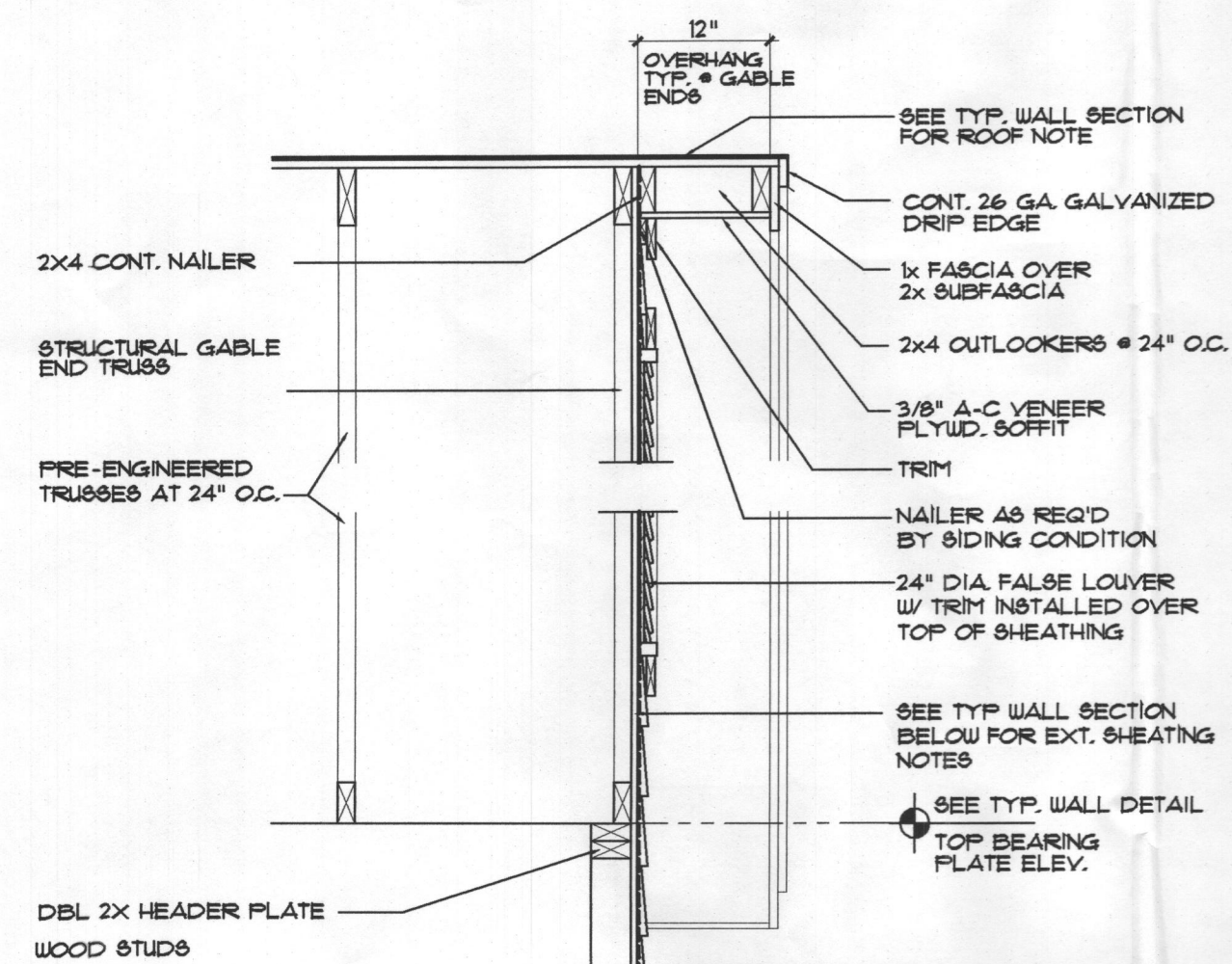
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These drawings have been prepared to meet professional standards and practices. However, local variations may require changes. Licenses, building code requirements vary by jurisdiction and are the responsibility of the user. The user is responsible for obtaining all current governmental requirements in your area. Neither the Garlinghouse Co. nor its architects and/or designers responsible for the plans herein will assume any liability for actual construction. The user is responsible for obtaining all necessary permits and for obtaining all necessary approvals, permits, or other the application of said plans as a guideline for actual construction.

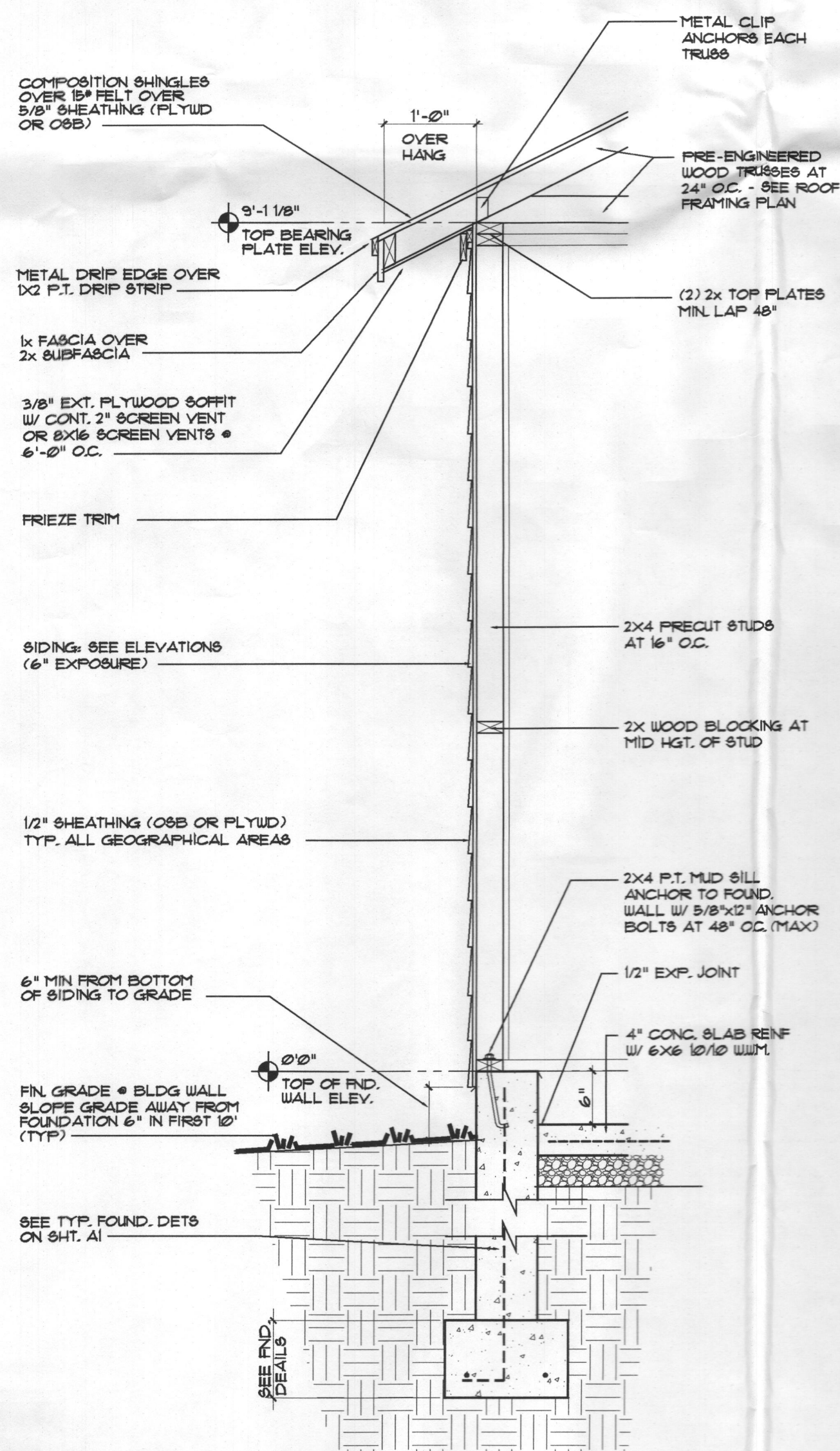
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THE GARLINGHOUSE CO.
1-800-235-5700
WWW.GARLINGHOUSE.COM

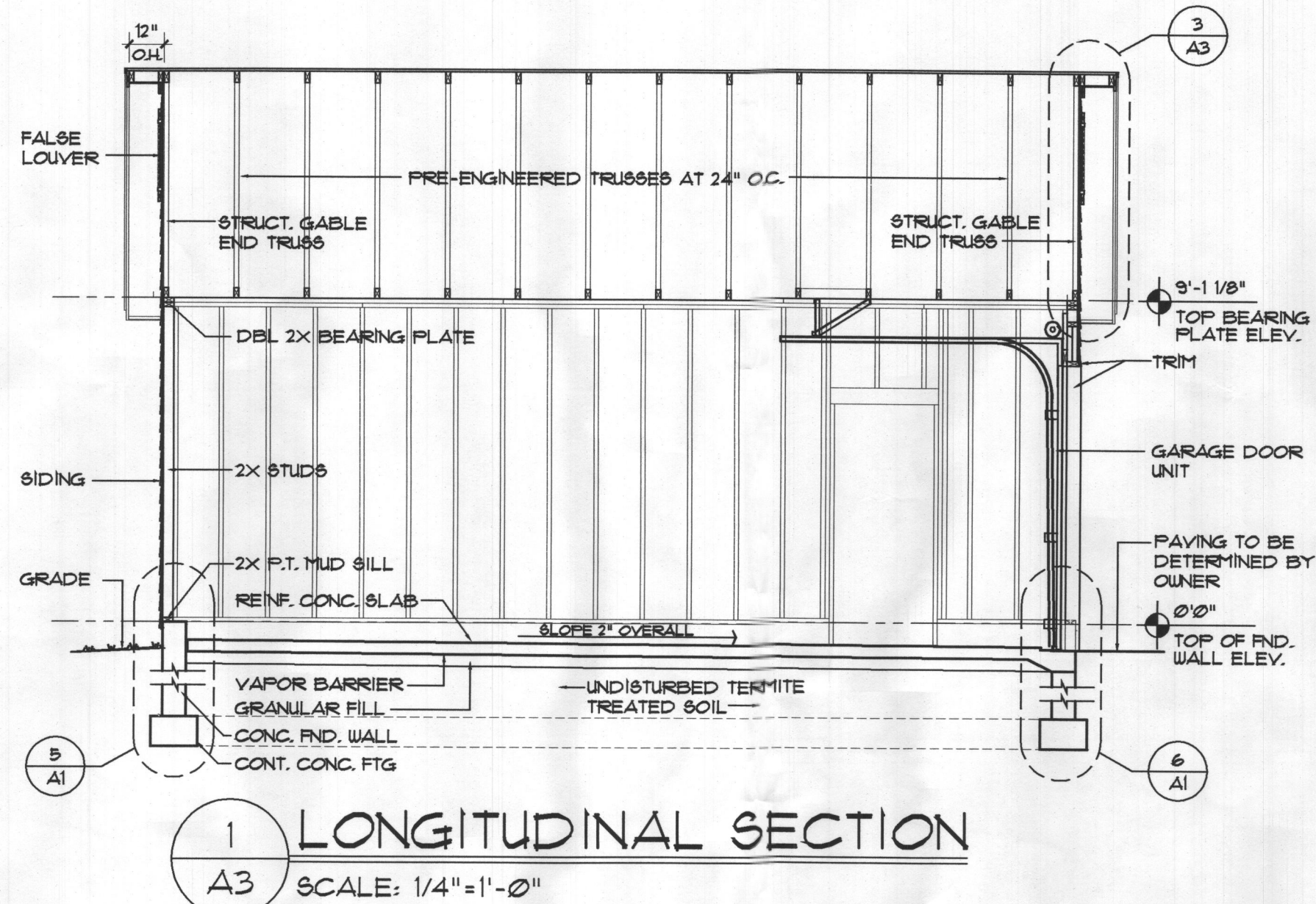
PLAN NO.
30001
SHEET
CS



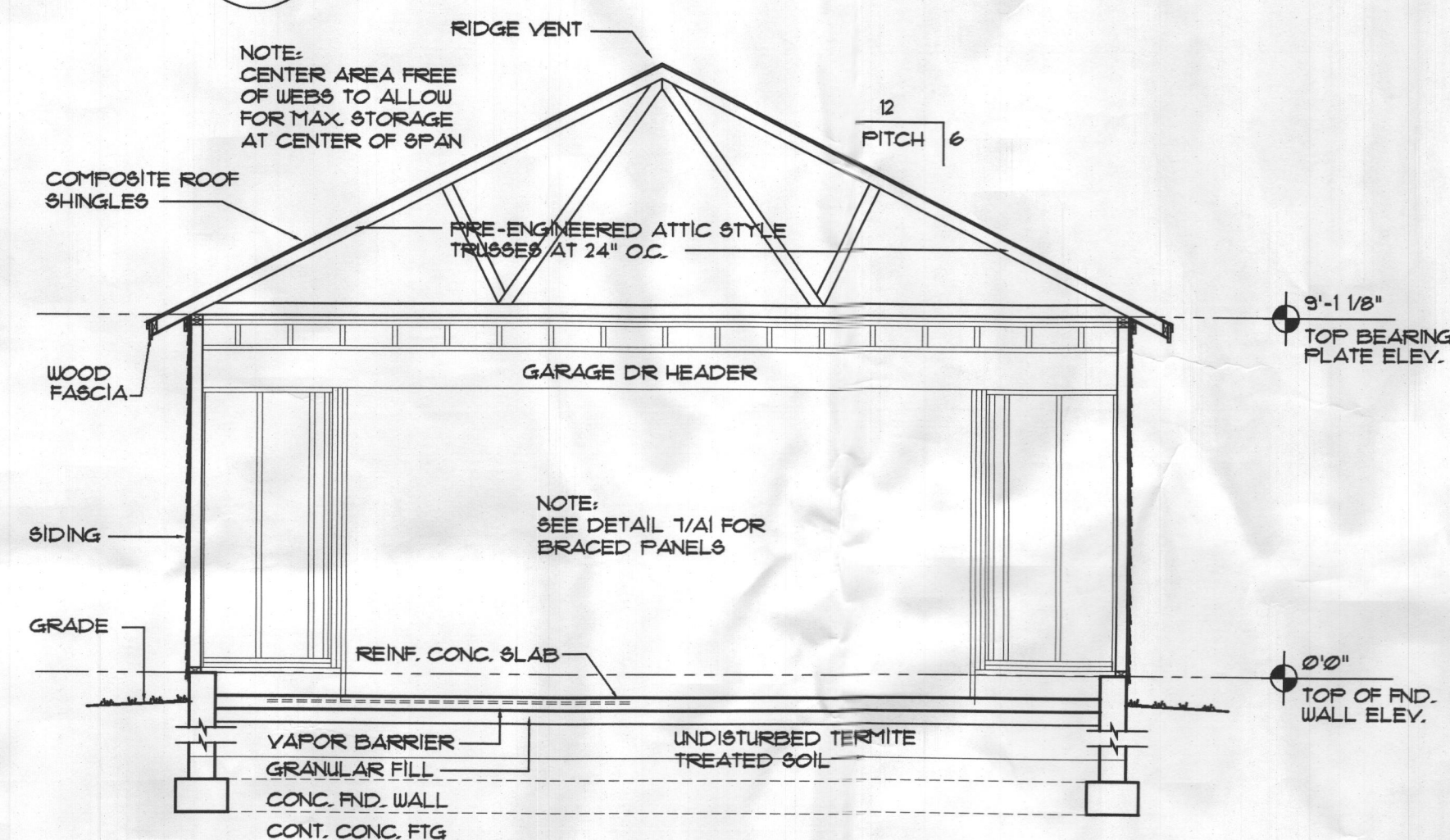
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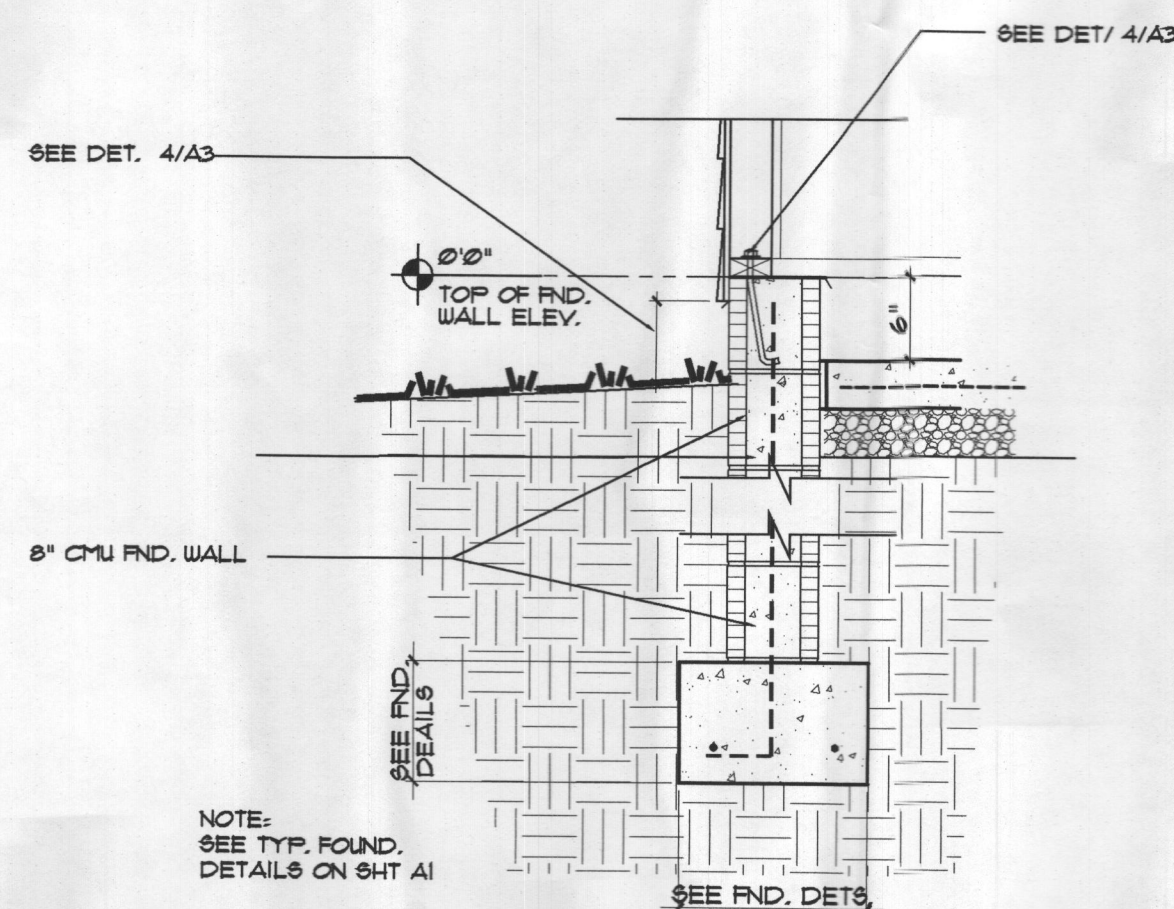
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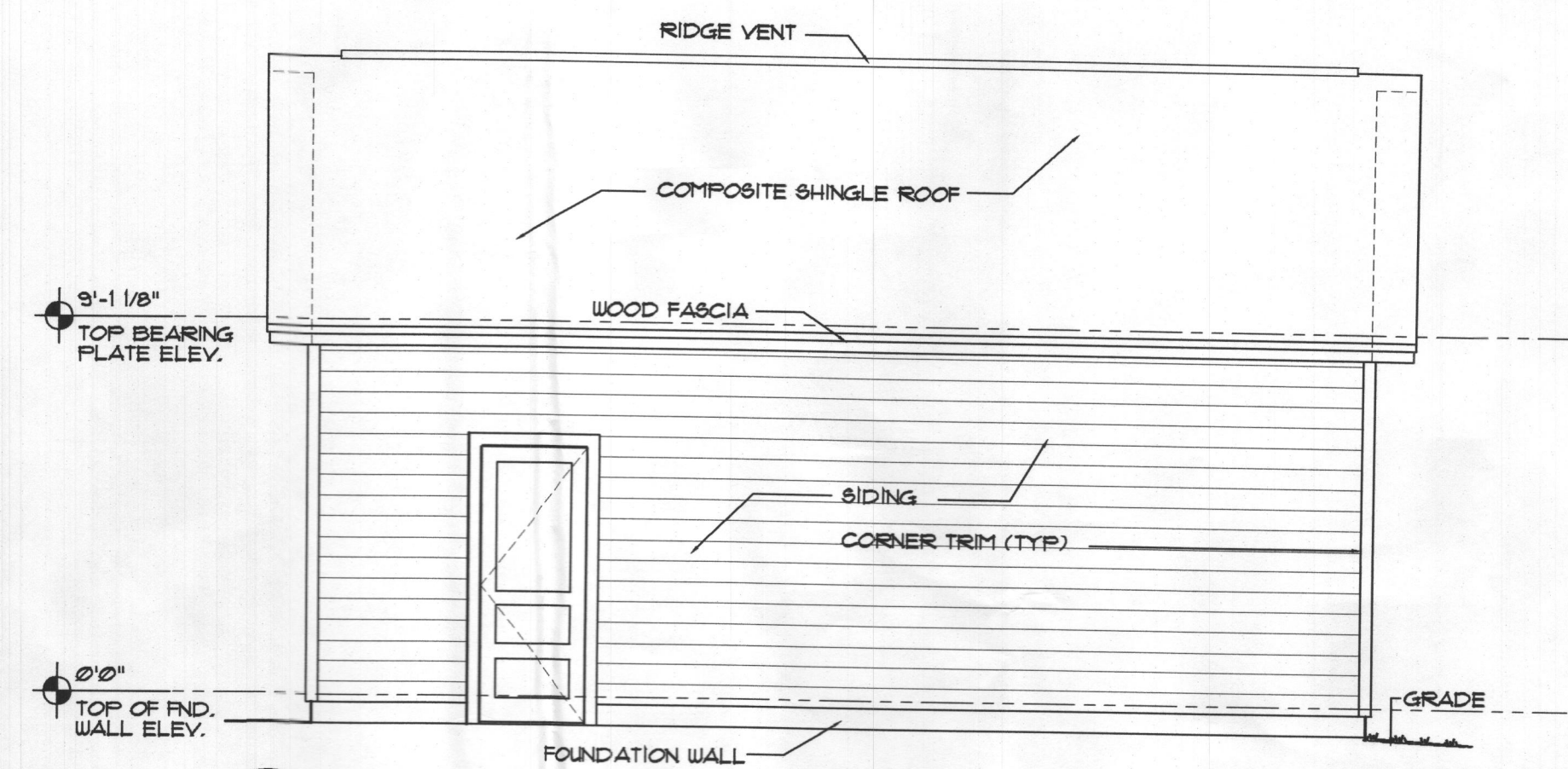
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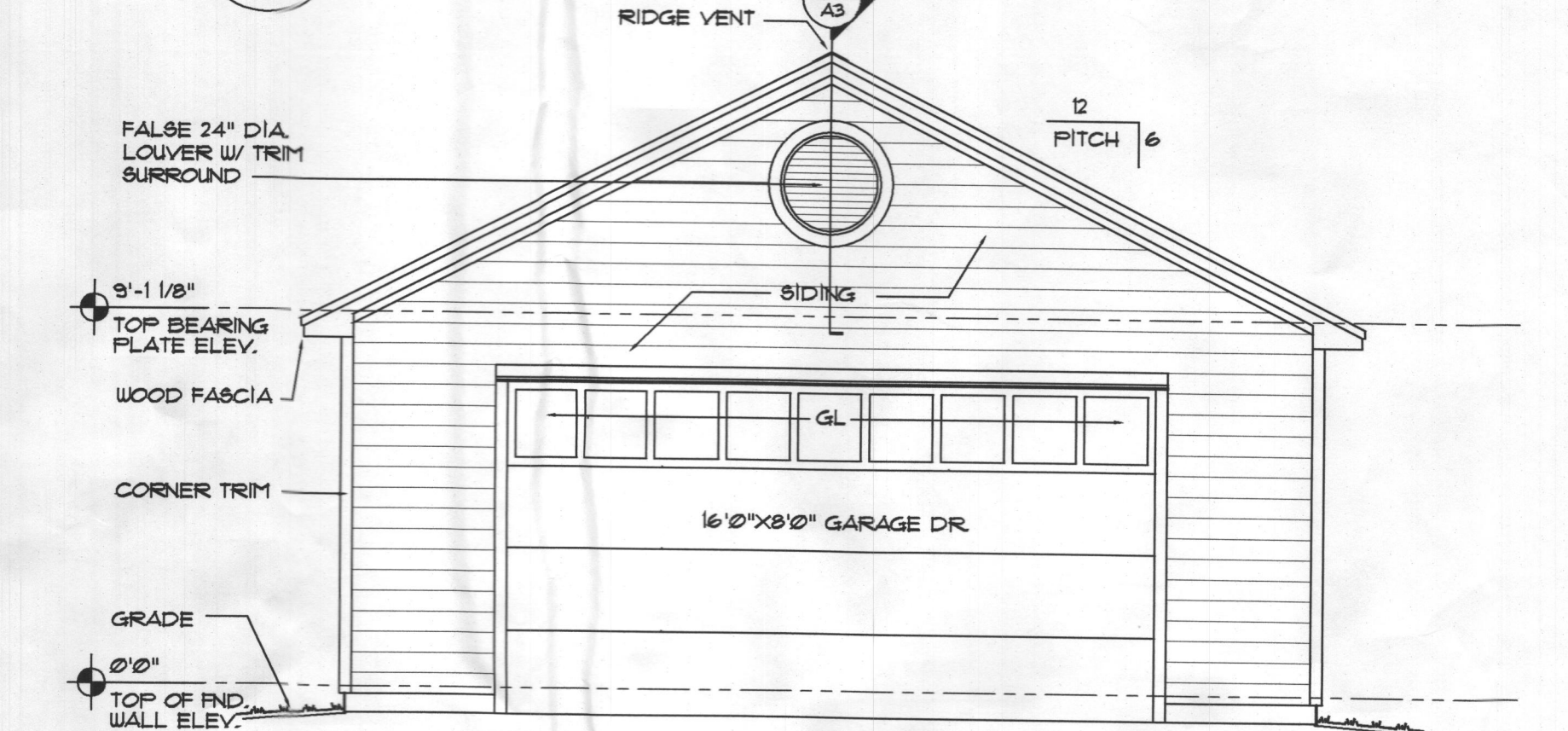
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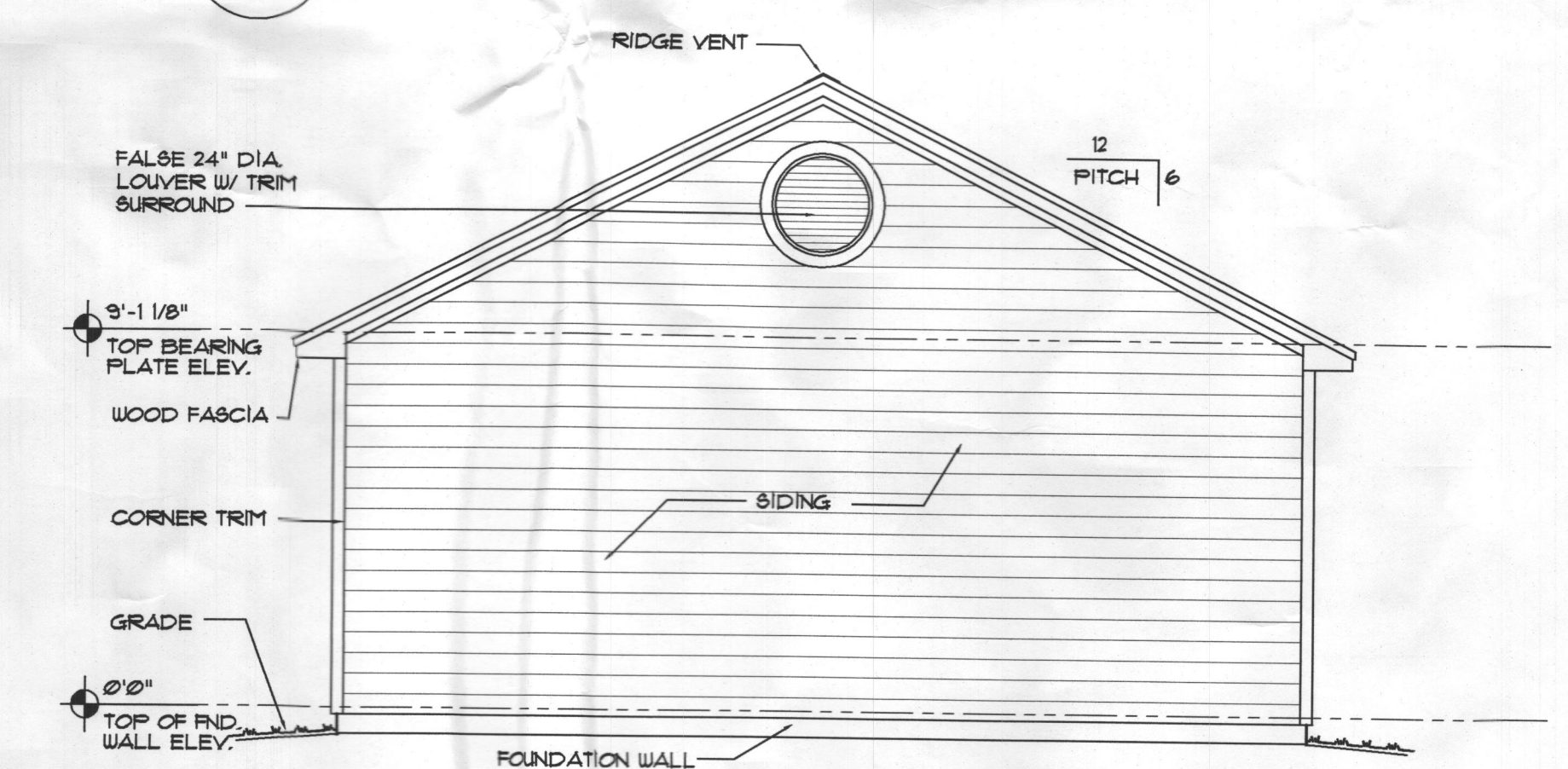
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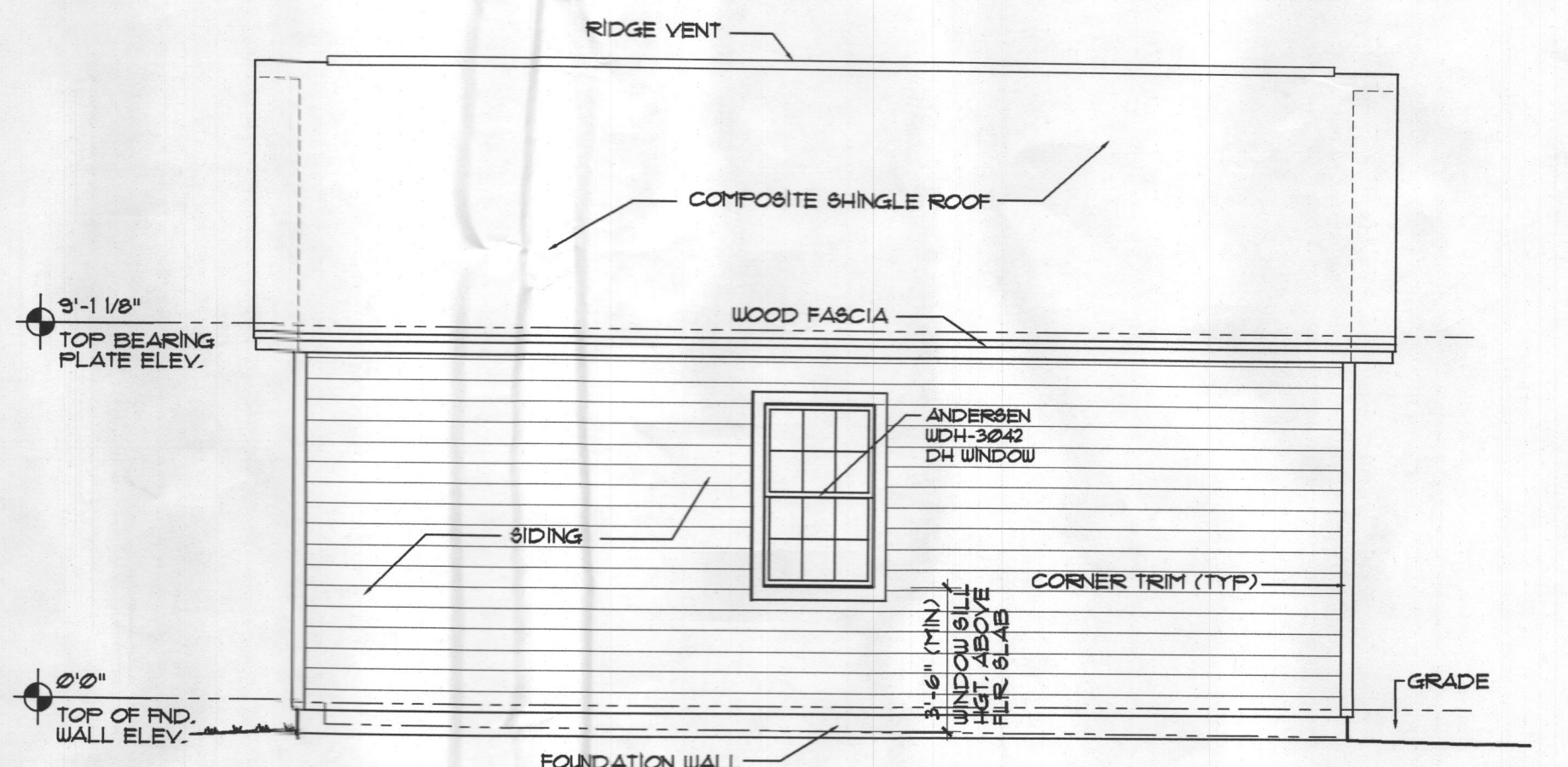
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SCALE: 1/4" = 1'-0"



7 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



6 REAR ELEVATION
SCALE: 1/4" = 1'-0"



5 LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

9' HIGH WALLS VERSION

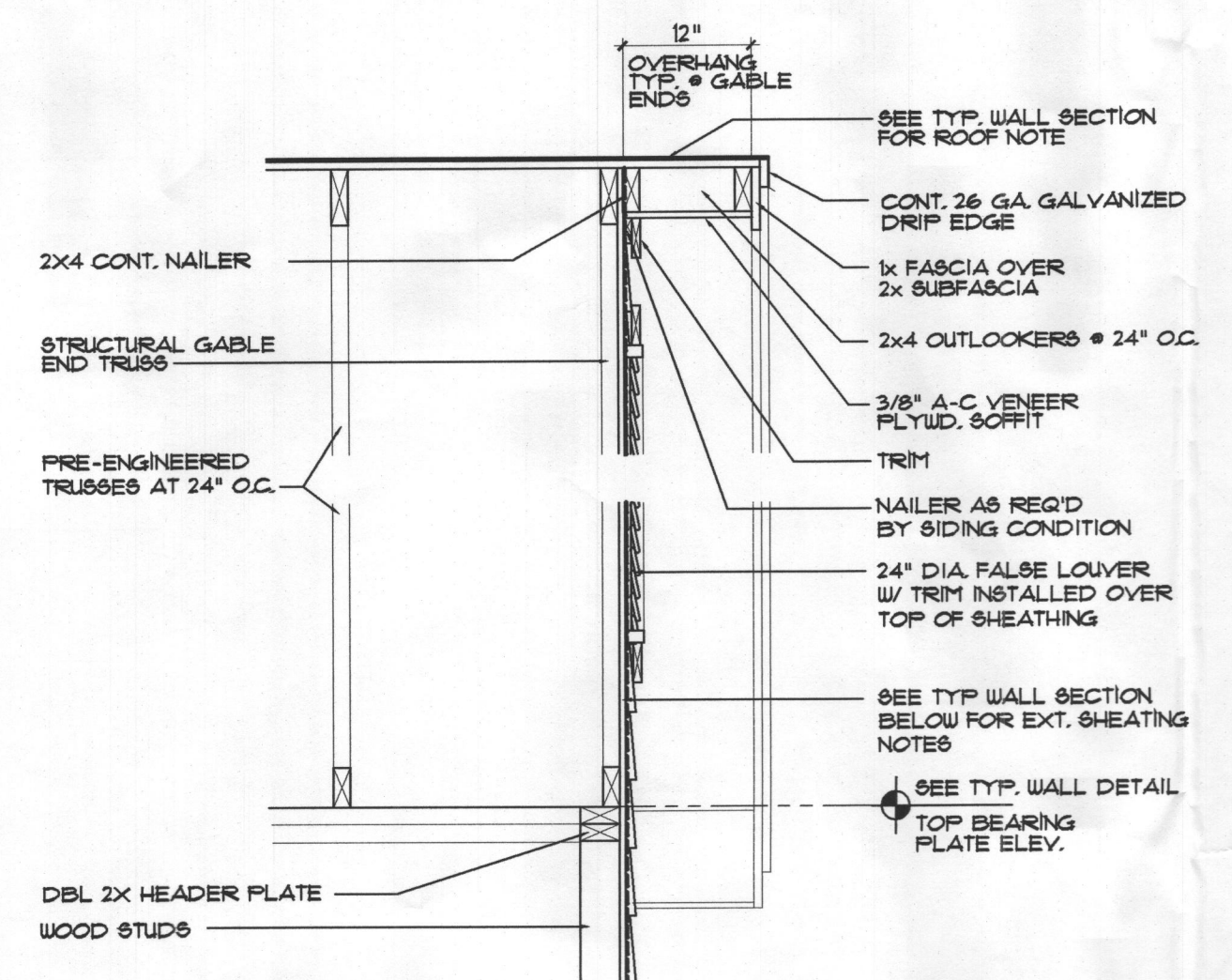
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Address: _____
Lot No. _____
Ref No.: 908050

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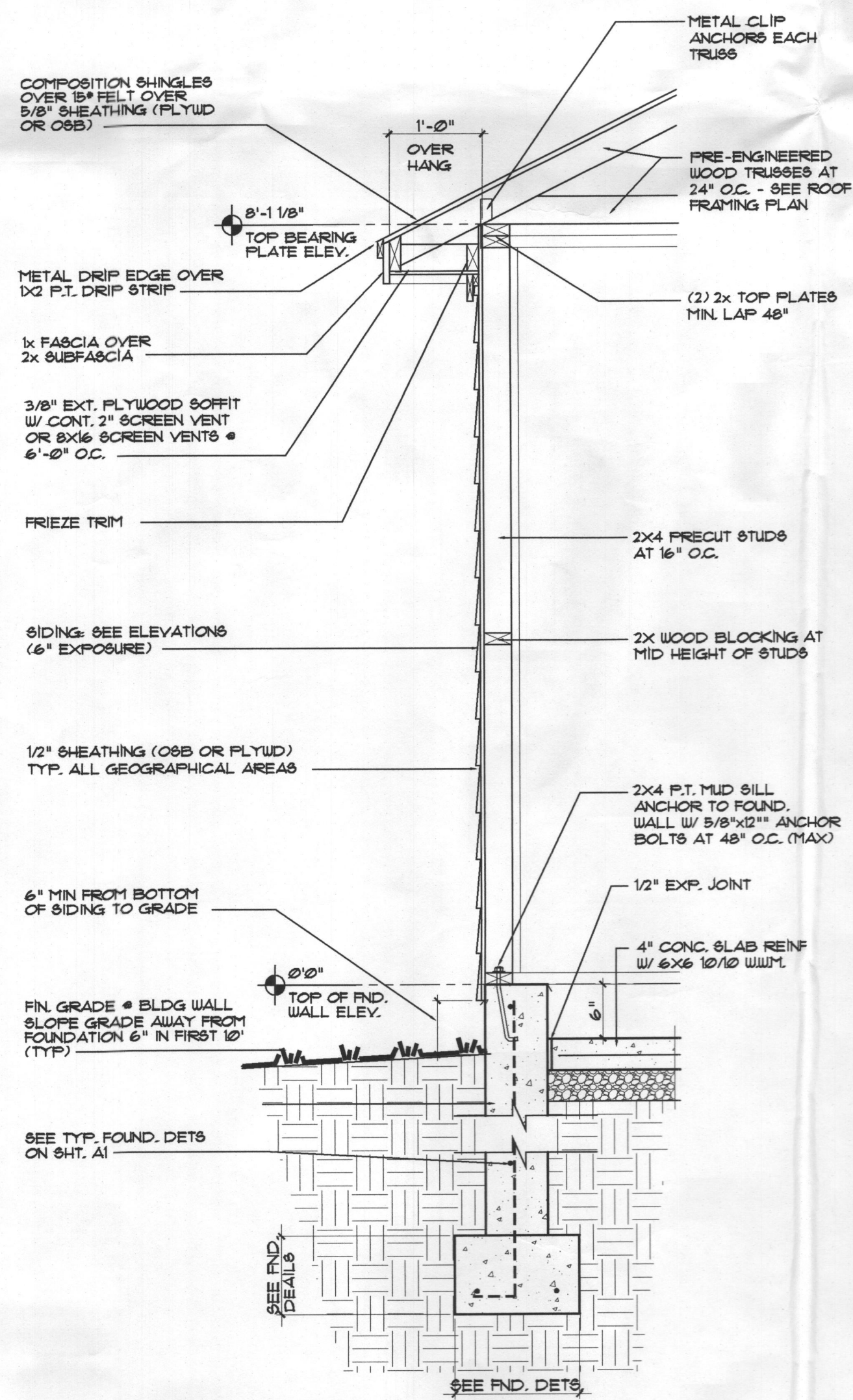
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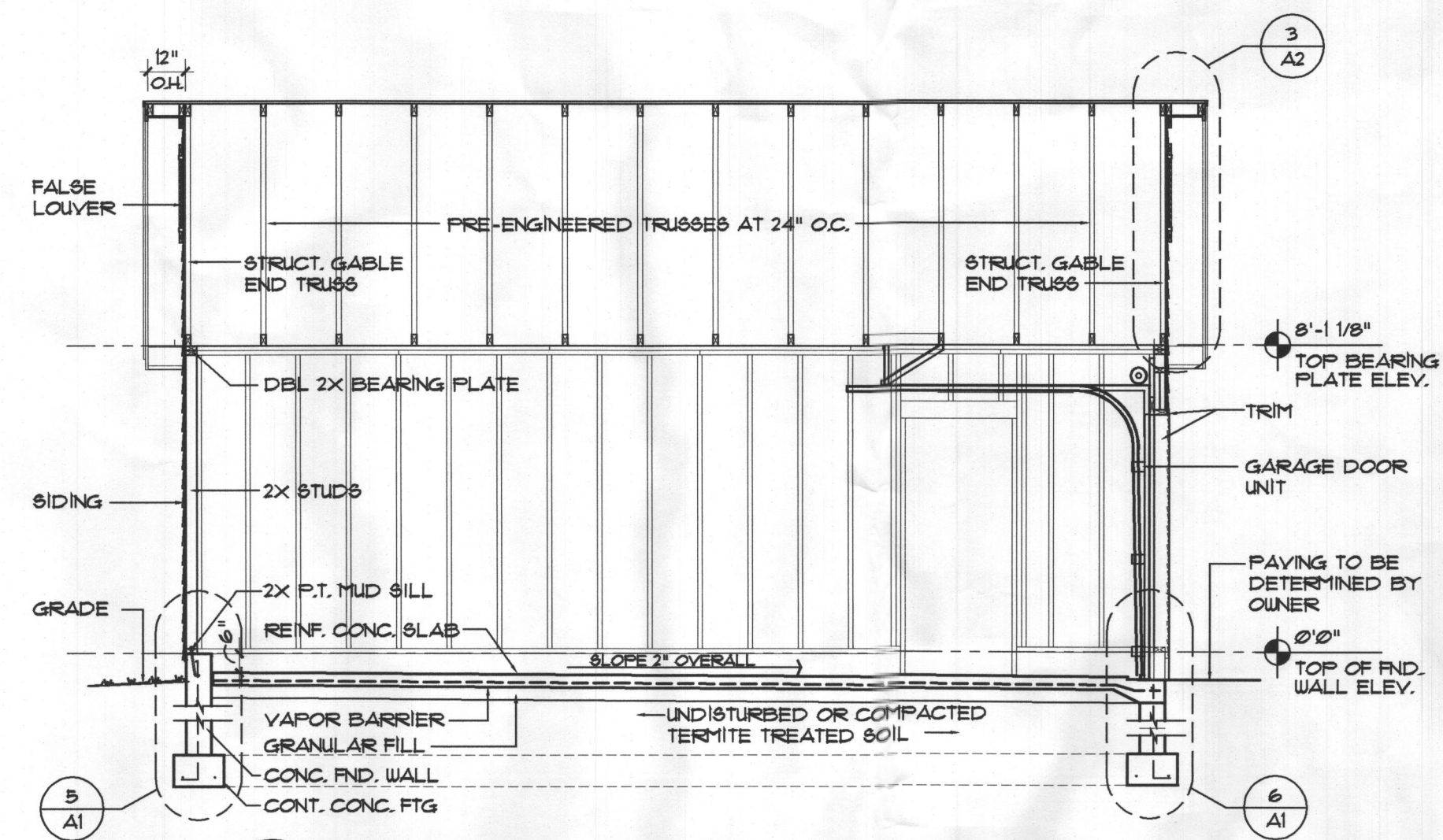
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SHEET A3



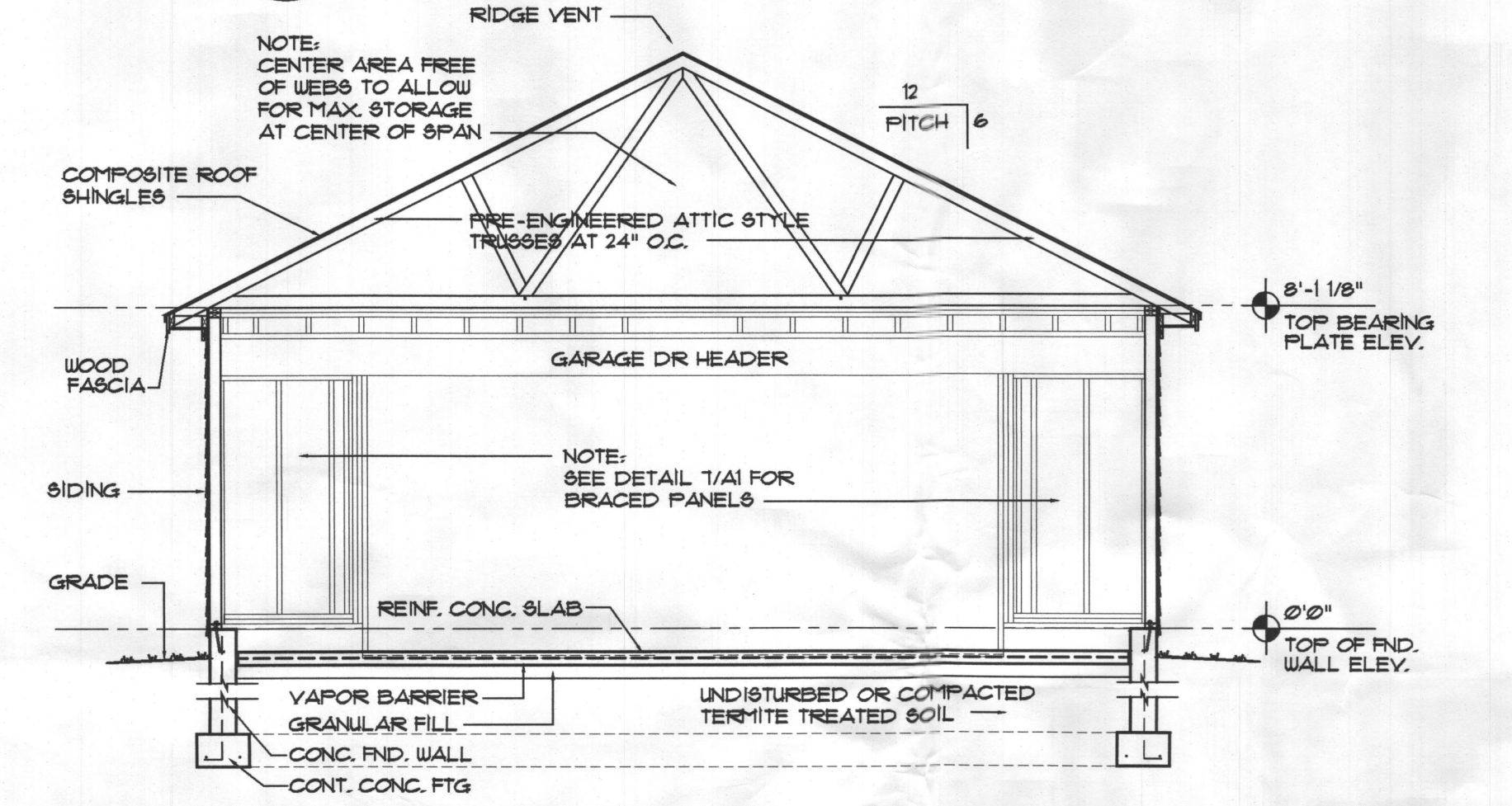
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A2
TYP. GABLE SOFFIT AND WALL DETAIL
SCALE 3/4" = 1'-0"



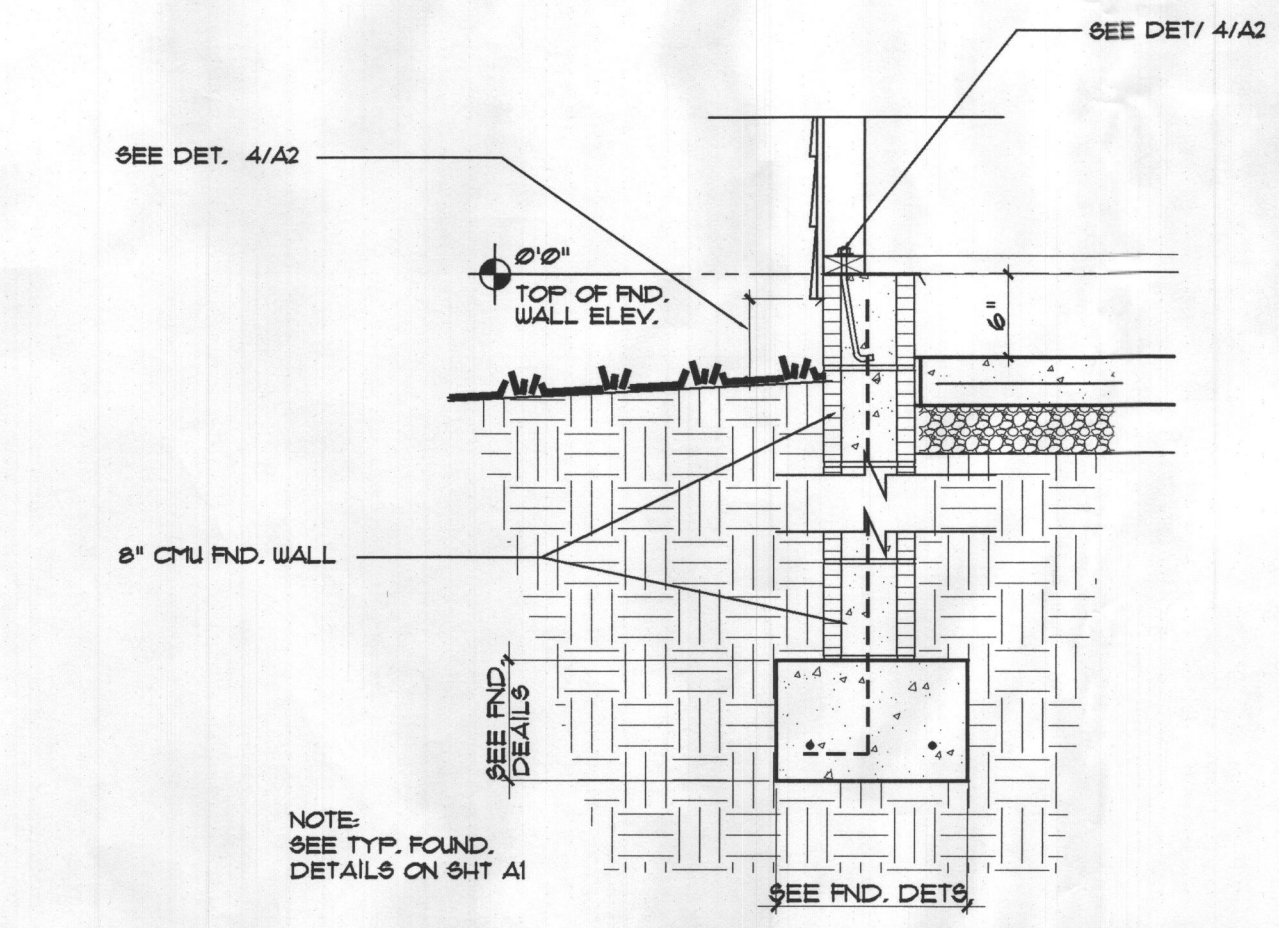
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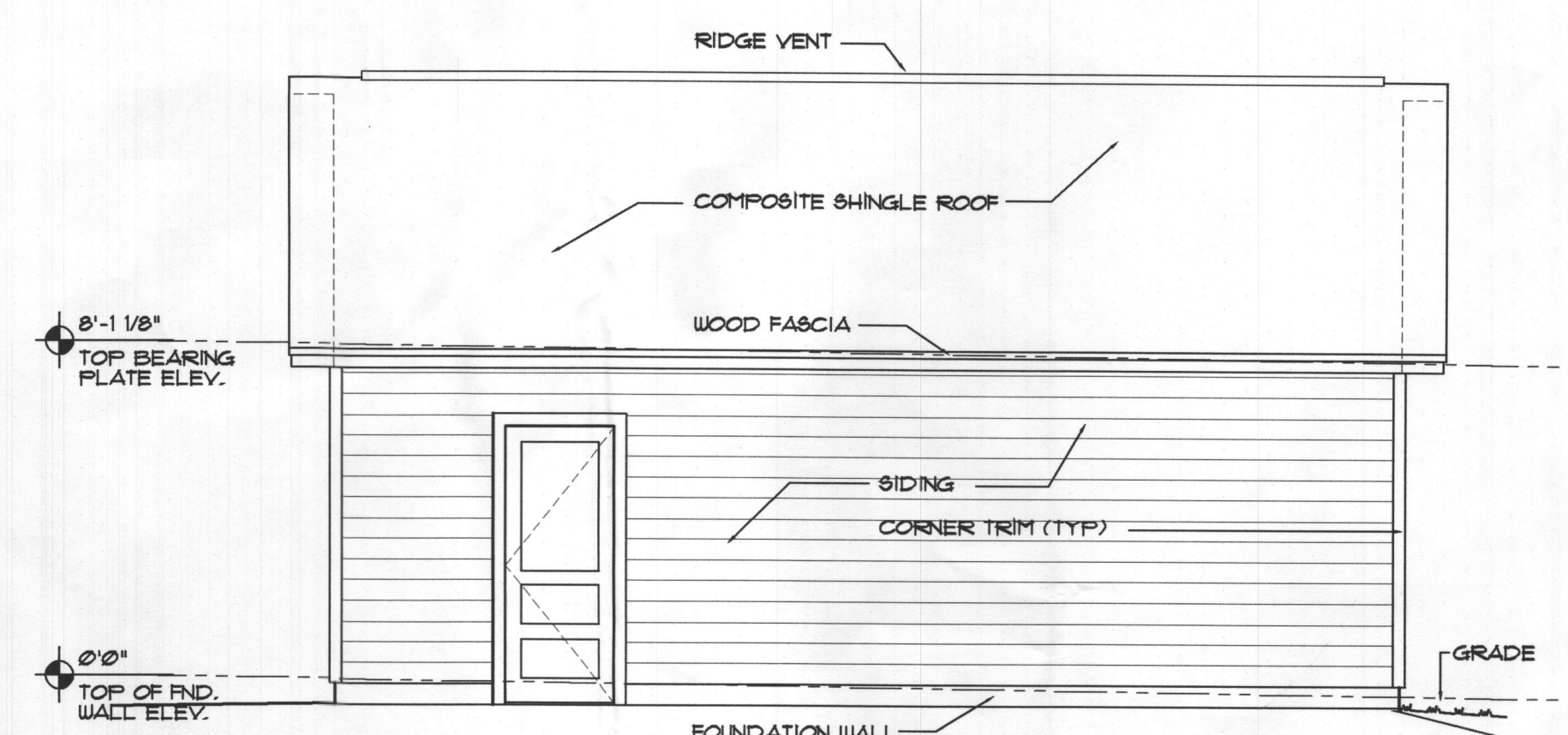
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A2
LONGITUDINAL SECTION
SCALE: 1/4" = 1'-0"



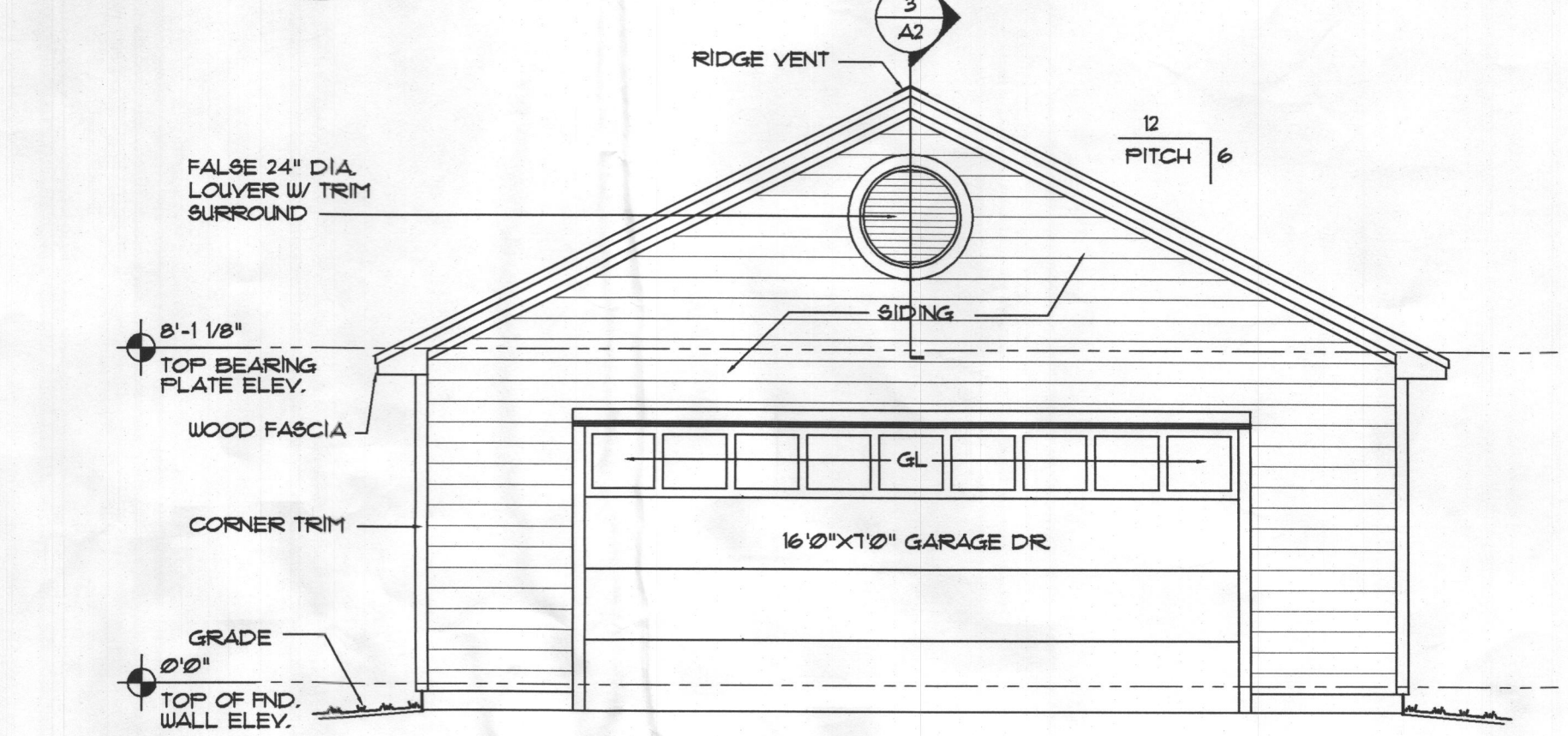
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CROSS SECTION
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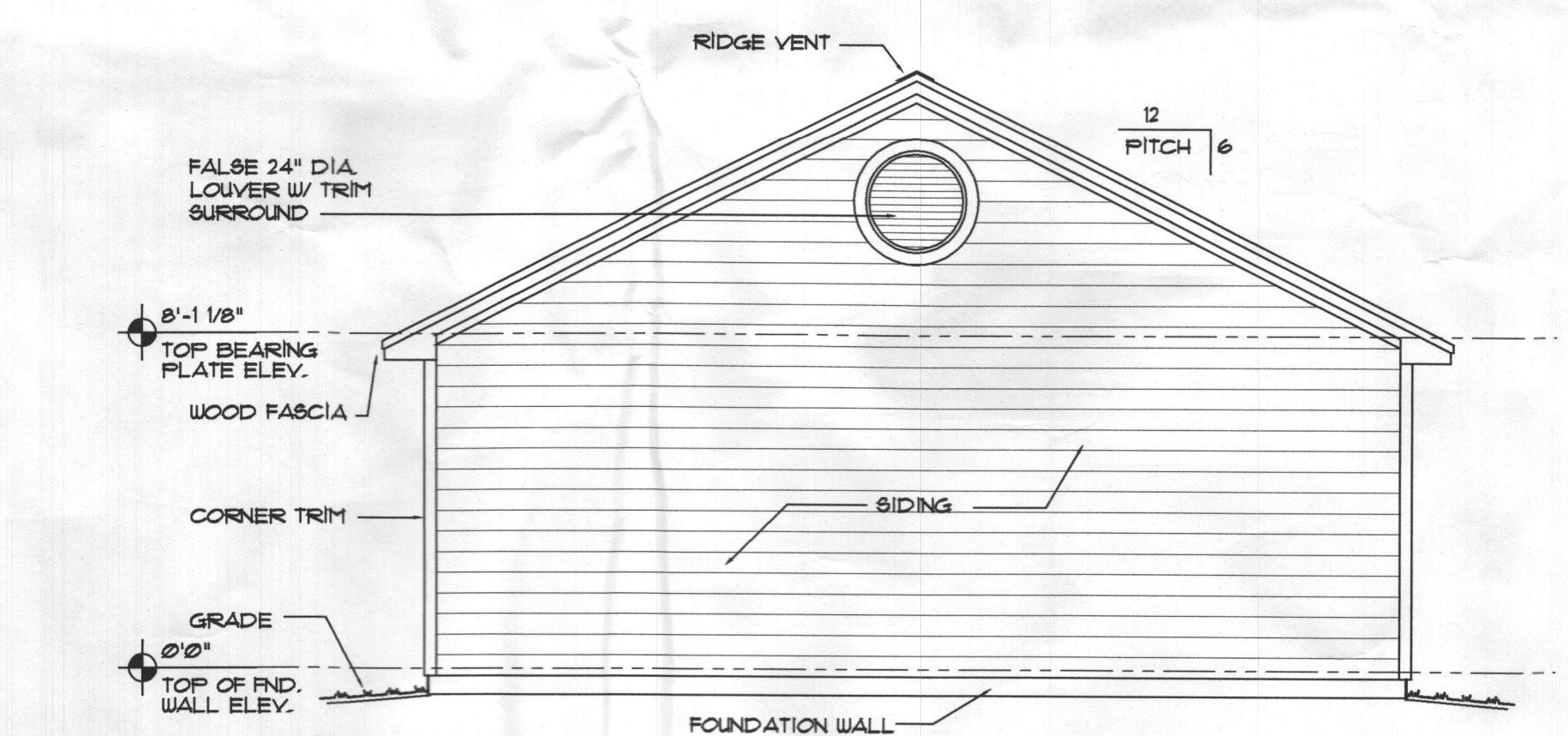
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ALTERNATE CONC. BLK. FOUNDATION DETAIL
SCALE: 3/4" = 1'-0"



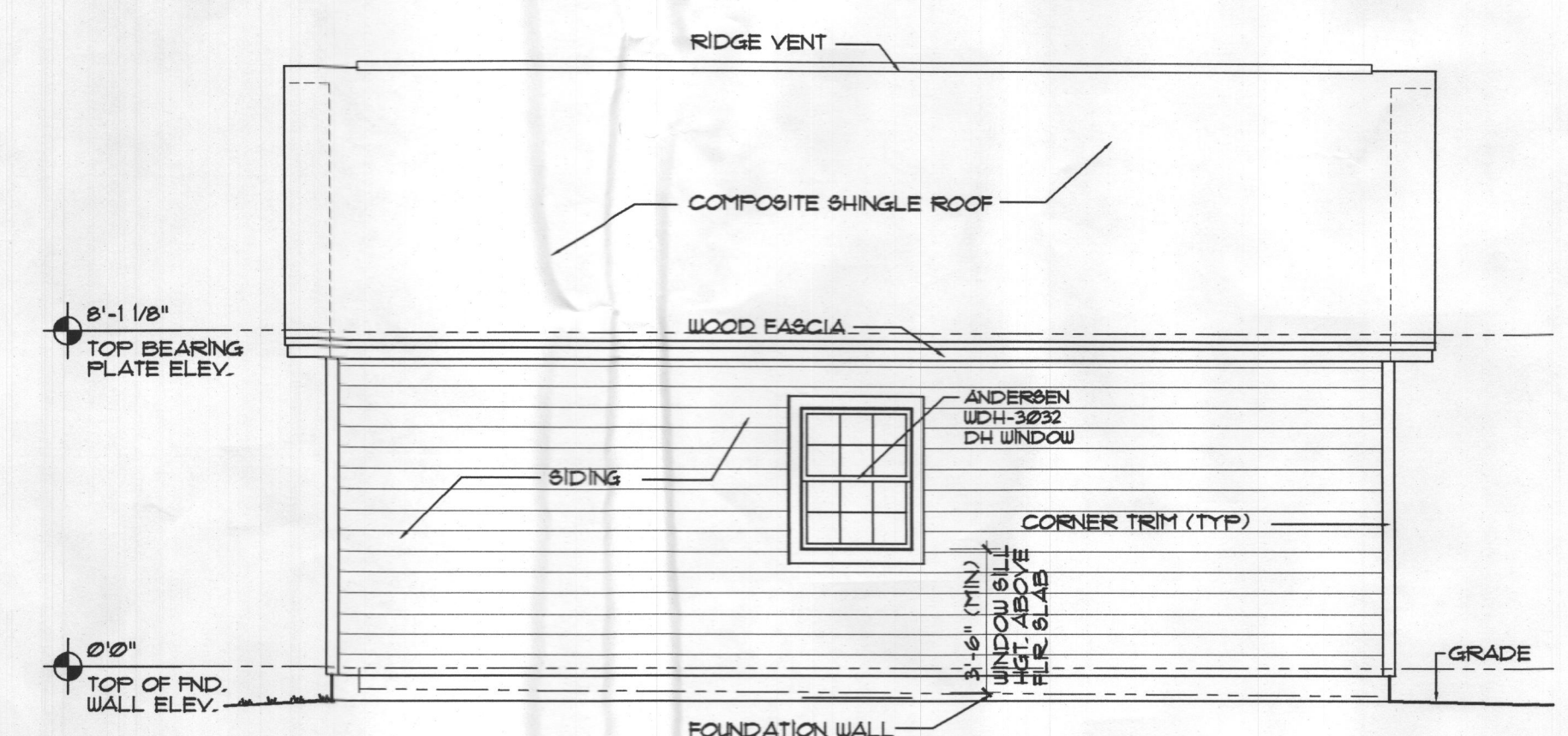
8
A2
RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



7
A2
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



6
A2
REAR ELEVATION
SCALE: 1/4" = 1'-0"



5
A2
LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

Owner: _____ Lot No. _____
Address: _____
Ref. No. 908050

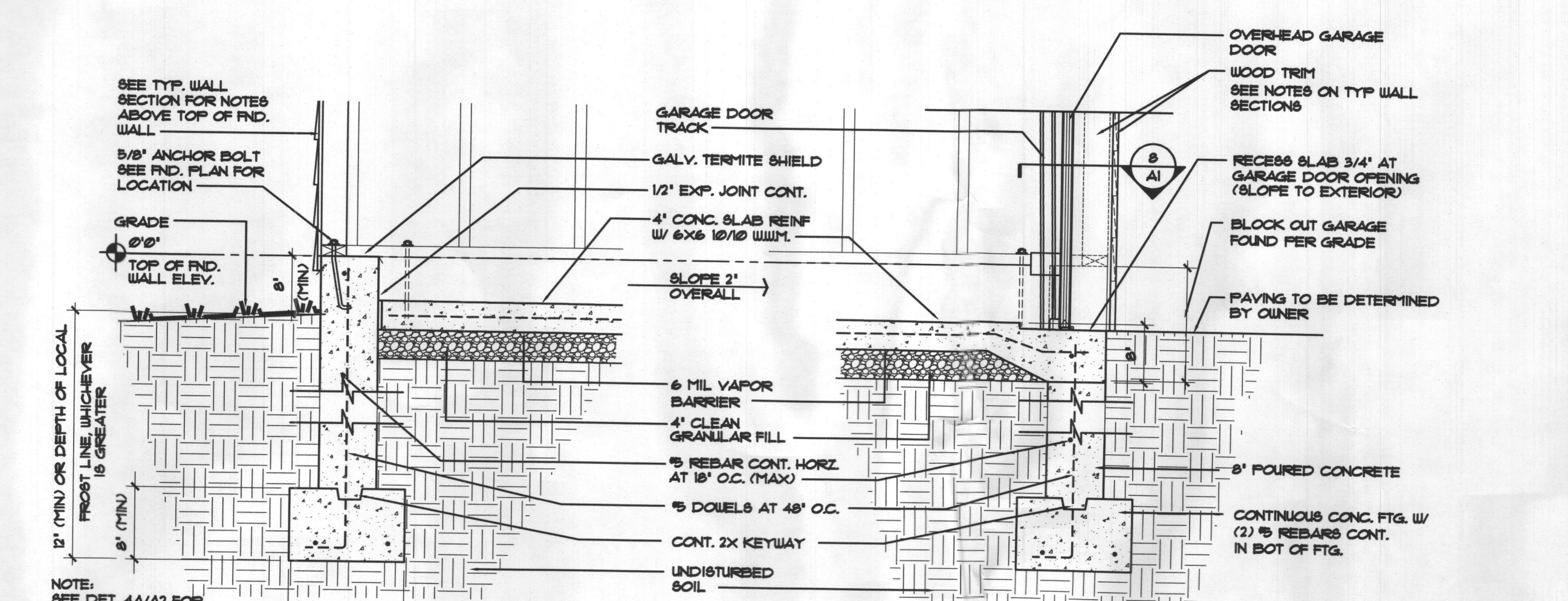
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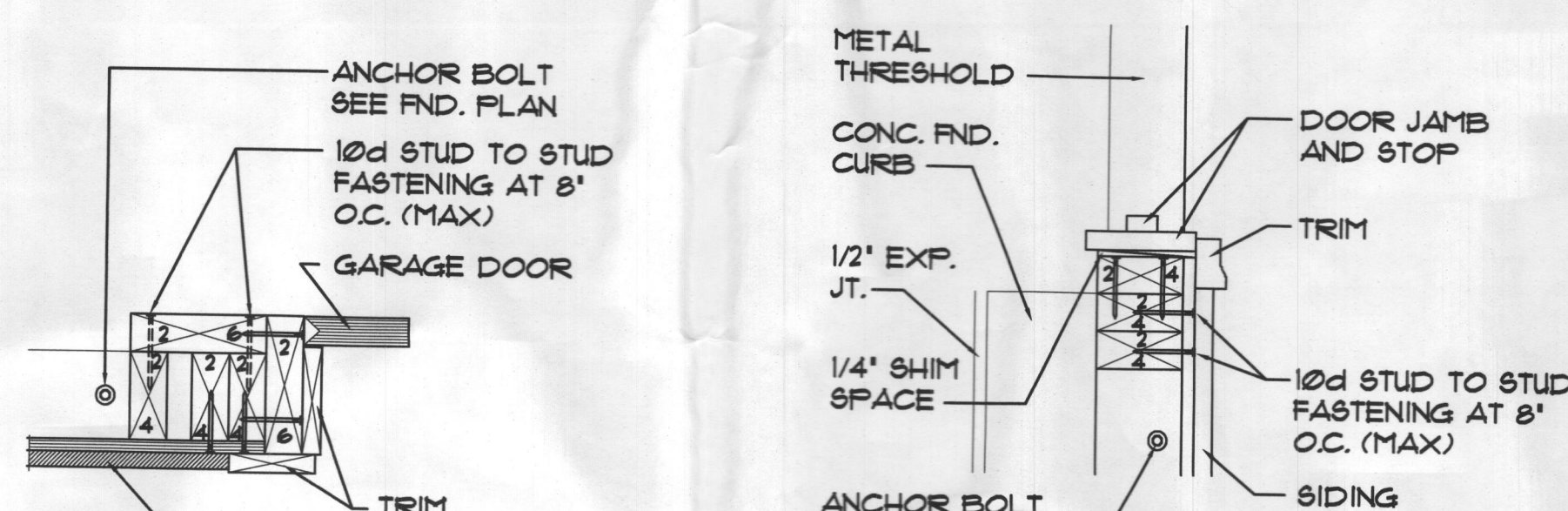
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PLAN NO. 30001
SHEET A2

8' HIGH WALLS VERSION



6 FOUNDATION DETAIL
A1 SCALE: 3/4" = 1'-0"

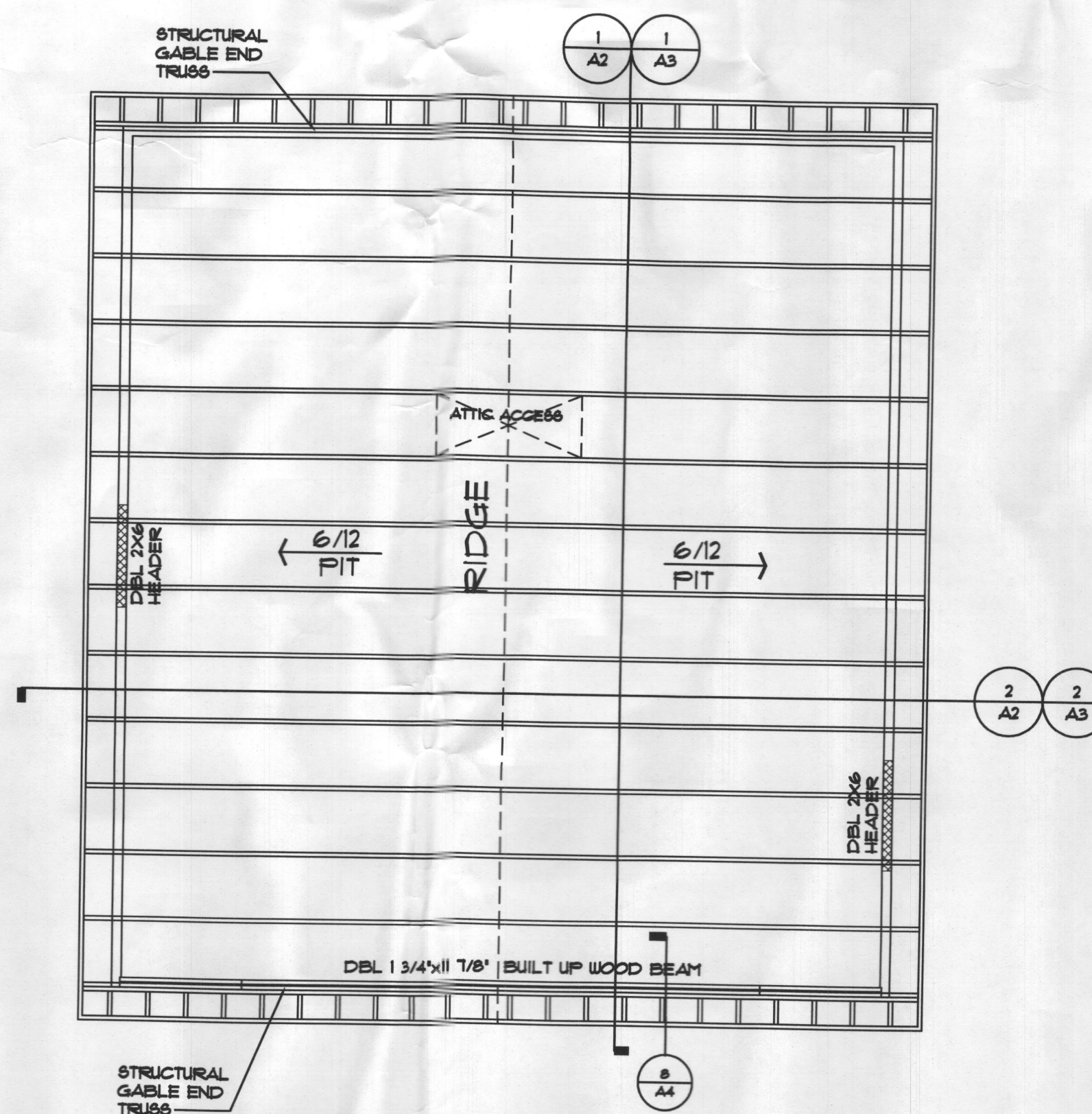


SEE HND. PLAN —

TYP. PEDESTRIAN
DR. JAMB DETAIL

9
A1

SCALE: 1/4" = 1'-0"



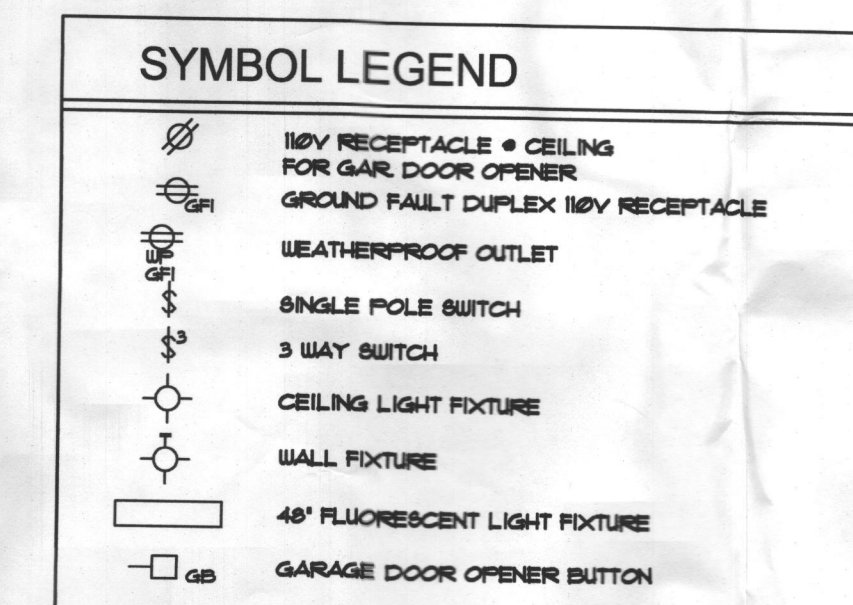
Architectural floor plan of a two-car garage. The plan includes the following dimensions and annotations:

- Overall Dimensions:**
 - Top: 24'-0"
 - Right: 20'-6"
 - Bottom: 24'-0"
 - Left: 19'-0"
 - Bottom-left extension: 4'-0"
 - Bottom-right extension: 4'-0"
 - Right extension: 3'-6"
- Structural Elements:**
 - CONC. FOUND. CURB
 - 1/2" CONT. EXP. JOINT
 - 2x4 PRECUT STUDS AT 16" O.C. (32 5/8" = 8'-1 1/8" WALL HGT.) (104 5/8" = 8'-1 1/8" WALL HGT.)
- Access and Features:**
 - ATTIC ACCESS HATCH OR PULL DOWN STAIR
 - TWO CAR GARAGE
 - OH GARAGE DOOR SEE ELEVATIONS
 - 2'-0" x 6'-0" 1/2 GL. INSUL METAL DR
 - CONC STOOP
 - TO 3-4 SWITCH HOUSE
- Windows and Doors:**
 - WINDOW UNIT SEE ELEVATIONS
 - 4 AI (Top Left)
 - 8 AI (Bottom Left)
 - 8 AI (Bottom Center)
 - 8 AI (Bottom Right)
- Other Annotations:**
 - OUT TO OUT OF STUDS AND FOUND. WALL
 - 26'-0" (Left side dimension)
 - 15'-0" (Left side dimension)
 - 16'-0" (Bottom dimension)
 - 24'-0" (Bottom dimension)
 - 4'-0" (Bottom dimension)
 - 19'-0" (Left side dimension)
 - 24'-0" (Top dimension)
 - 20'-6" (Right side dimension)
 - 3'-6" (Right side dimension)
 - 4'-0" (Bottom dimension)

1
A1

FLOOR PLAN

SCALE: 1/4" = 1'-0"



1. ELECTRICAL LAYOUT IS GENERAL, AND NOT REQUIRED BY CODE. OWNER SHALL HAVE OPTIONS AS TO INSTALLATION BY ELECTRICAL CONTRACTOR
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE ELECTRIC CODES, LATEST ADOPTED EDITION, AND SHALL COMPLY WITH ALL LOCAL RULES AND ORDINANCES.
3. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY DETAIL OF ELECTRICAL INSTALLATION. THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM IN PROPER WORKING ORDER.
4. ALL WORK TO BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A WORKMAN LIKE MANNER.
5. COORDINATE ALL WORK WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
6. MEET ALL STANDARD REQUIREMENTS OF ELECTRIC COMPANY FOR INSTALLATION.
7. PROVIDE ALL NEW MATERIALS BEARING UNDERWRITERS

7
A1

@ GARAGE DOOR OPENINGS

SCALE: 3/4"=1'-0"

NOTE: FRONT WALL FRAMING SYMMETRICAL ABOUT CENTER LINE OF GARAGE

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These drawings have been prepared to meet professional standards and practices. However, local variations may require changes. Likewise, building codes, zoning laws, and local regulations may change from time to time. Before starting construction, the builder must verify that these drawings are in compliance with all applicable codes, laws, and regulations and be responsible for all details and dimensions, and insure that these plans meet all necessary structural and environmental requirements in your area. Neither the Garlinghouse Co. nor its architects, engineers, and/or designers (collectively responsible for the plans herein) will assume any liability for misuses, omissions, errors, during, or after the application of said plans as a guideline for building construction.



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PLAN NO.
30001

SHEET
A1

Owner:		
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Ref. No.:		112712