

PERMIT NUMBER: B 20001475

DATE ACCEPTED:



RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS
3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4
www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 3647 Pampers Folly La Unit:
City: West Friendship State: MD Zip Code: 21794
Subdivision/Village/Complex Name: Belvedere Estates SDP/WP/BA #: GP-19-90
Lot: 9 Tax Map: Parcel: Grading Permit #:

DESCRIPTION OF WORK REQUIRED

Existing Use: Vacant lot Proposed Use: SFD Estimated Cost: \$ 230,000
Trade Work to Be Completed (Separate Permits Required): ☐ Mechanical (HVACR) ☐ Electrical ☐ Plumbing ☐ None
New 2 story "stratford hall" FLV w/ 2 car garage, 1st floor finished, 2nd floor under construction.

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): NVR Inc-contact J. Anastasia Primary Residence: ☐ Yes ☒ No
Owner's Street Address: 9720 Patuxent Woods Dr
City: Columbia State: MD Zip Code: 21046
Phone: 410-379-5956 Email: janastasia@nvrinc.com

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Decatur Building Services Contact Name: Jim Keenan
Street Address: PO Box 552
City: Woodbine State: MD Zip Code: 21797
Phone: 443-339-7792 Email: jim@decaturbuildingservices.com

CONTRACTOR INFORMATION REQUIRED

Business Name: NV Homes contact James Anastasia
Licensee's Name: NVR Inc License #: 56
Street Address: 9720 Patuxent Woods Dr
City: Columbia State: MD Zip Code: 21046
Phone: 410-379-5956 Email: janastasia@nvrinc.com

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: Name:
Street Address:
City: State: Zip Code:
Phone: Email:

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: ☐ SF Dwelling ☐ SF Townhouse ☐ SF Duplex ☐ Mobile Home ☐ Multi-Family Dwelling (MF*) Condo: ☐ Yes ☒ No
Utilities: ☒ Electric ☒ Gas Water Supply: ☐ Public ☒ Private (Well) Sewage Disposal: ☐ Public ☒ Private (Septic)
Heating System: ☐ Electric ☐ Natural Gas ☒ Propane ☐ Other: Roadside Tree Project: ☒ No ☐ Yes: #
Sprinkler System: ☐ NFPA 13 ☐ NFPA 13R ☒ NFPA 13D ☐ None Fire Alarm System: ☐ Yes ☒ No ☐ Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: Stratford Hall FLV w/ 2 car garage, 1st floor finished, 2nd floor under construction.
of Bedrooms (SF): 4 # of efficiency units (MF*): # of 1 BR (MF*): # of 2 BR (MF*): # of 3 BR (MF*):
Rooms: 12 # Full Baths: 6 # Half Baths: 1 # Fireplaces: 0
Garage/Carport Info: ☒ Attached Garage ☐ Detached Garage ☐ Integral Garage ☐ Carport ☐ None
Basement/Foundation Info: ☐ Slab on Grade ☐ Post & Pier ☐ Unfinished Basement ☒ Finished Basement: ☒ Full or ☐ Partial
1st FI Width: 35 1st FI Depth: 54 2nd FI Width: 35 2nd FI Depth: 18 Bsmt Width: 54 Bsmt Depth: 54
Energy Method: ☐ Prescriptive ☒ Performance ☐ UA Alternative ☐ ERI Gross Area: 2097 sq ft Occupiable Area: 2097 sq ft

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE: [Signature] DATE SIGNED: 5/11/20

FOR OFFICE USE ONLY CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:
☒ PR ☒ DPZ ☒ DED ☒ Health ☒ SHA ☒ CID
SUBMITTAL FEES: 150.00 PAYMENT: CK # 343280 ACCEPTED BY: Drop Box

3647 Paupers Folly Lane

LOT 9

STRATFORD HALL

Health
Dept.

DIV-COMM-LOT-UNIT		
MDE-BV-0009		
COMM-LOT		
BELVEDERE ESTATES - 0009		
STREET ADDRESS		APT. NO.
3647 PAUPERS FOLLY LANE		
CITY	STATE	ZIP
WEST FRIENDSHIP	MD	21744

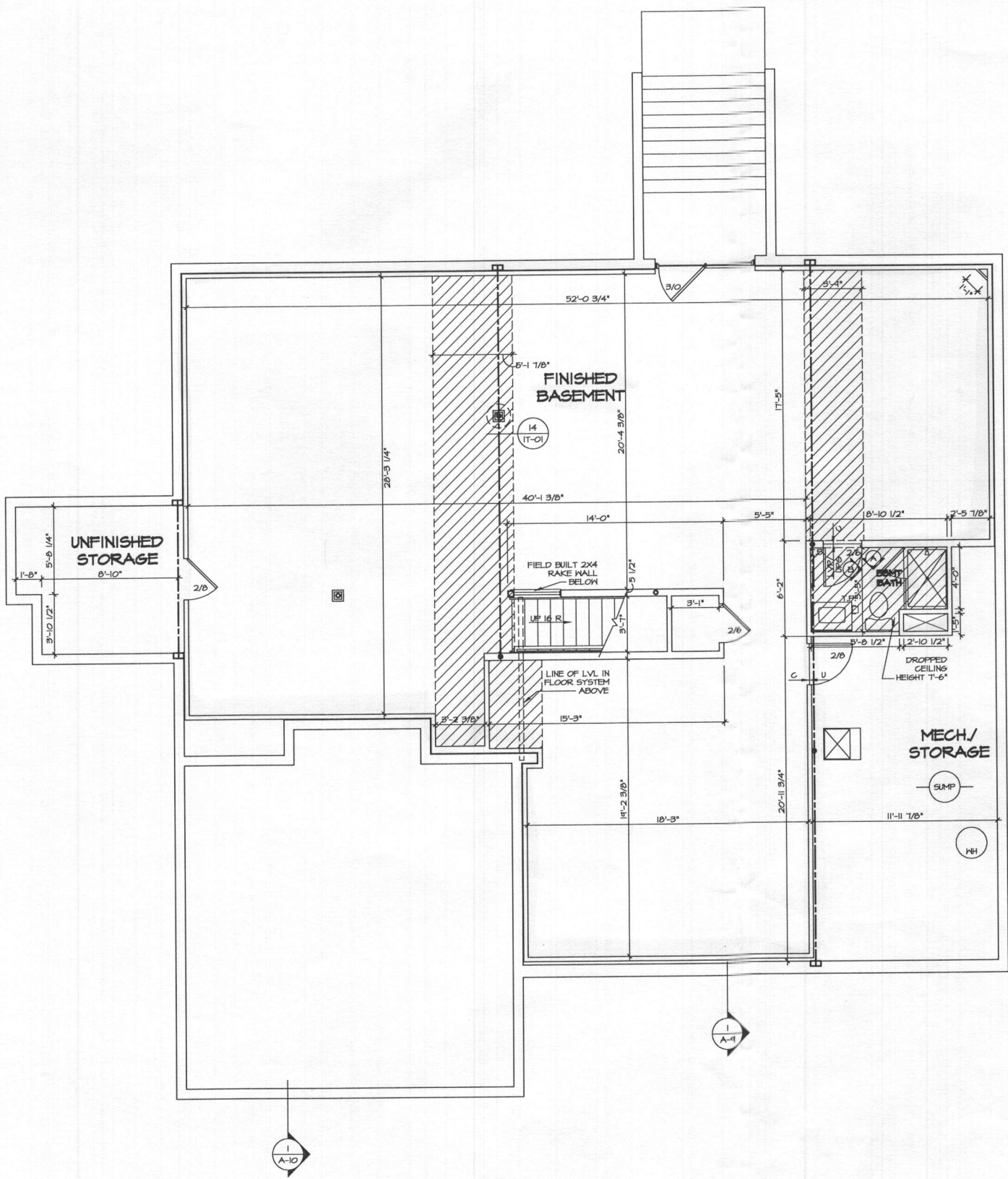


NVR, Inc.
5285 Westview Drive, Suite 100
Frederick, MD 21703

	FULL BASEMENT												STANDARD DETAILS
	STD. DIMS.												
SPEC SHEET	95-1												AD-1
ELEVATIONS	4												AD-1b
FOUNDATIONS	14												DR-1
FOUNDATION HOLD DOWNS	22, 23, 24, 25												DR-2
PLUMBING	26												DR-3
BASEMENT FLOOR PLAN	27												DN-2
FIRST FLOOR PLAN	29												ET-1
SECOND FLOOR PLAN	32, 1												ET-1b
BUILDING SECTIONS	34, 36												ET-1c
STAIR SECTIONS	38												ET-1e
KITCHEN - BATHS	41, 42, 43, 44												ET-1f
BASEMENT ELECTRICAL	45												ET-2
FIRST FLOOR ELECTRICAL	47												ET-3b
SECOND FLOOR ELECTRICAL	50												F-1
FIRST FLOOR FRAMING	52												F-1b
SECOND FLOOR FRAMING	54												F-2
ROOF FRAMING	55, 56												F-3
TRUSS BRACING	61												F-3b
WALL BRACING LAYOUT	63												FA-1
HVAC LAYOUT	67												FC-1
HVAC LAYOUT	68												FC-2
HVAC LAYOUT	69												FC-4
HVAC LAYOUT	70												FD-1
HVAC LAYOUT	71												FD-2
HVAC LAYOUT	72												FD-2b
HVAC LAYOUT	73												FD-3
HVAC LAYOUT	74												FD-3
													FP-1
													GB-1
													IT-1
													IT-1b
													IT-1c
													IT-2
													JT-1
													JT-3
													JT-3b
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													ST-1
													ST-2
													WB-1
													WB-2
													WD-1
													WD-2
													WD-3
													WB-1

FIRST FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	2151 SF
1ST FLOOR TWO CAR SIDE ATTACHED GARAGE (ADD. SF)	111 SF
	2268 SF
SECOND FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
2ND FLOOR (BASE SF)	2133 SF
	2133 SF
GARAGE SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
TWO CAR GARAGE ELEV. "A" OR "K" OR "R"	501 SF
TWO CAR SIDE ATTACHED GARAGE (ADD. SF)	498 SF
	1005 SF
BASEMENT SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
FINISHED BASEMENT	1520 SF
FINISHED BASEMENT AREA #2 (ADD. SF)	361 SF
	1881 SF
UNFINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
MECHANICAL ROOM	245 SF
UNFINISHED STORAGE TWO CAR SIDE ATTACHED GARAGE (ADD. SF)	118 SF
	413 SF
TOTAL FINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	2151 SF
1ST FLOOR TWO CAR SIDE ATTACHED GARAGE (ADD. SF)	111 SF
2ND FLOOR (BASE SF)	2133 SF
FINISHED BASEMENT	1520 SF
FINISHED BASEMENT AREA #2 (ADD. SF)	361 SF
	6282 SF
SET - VERSION	
11900 - 01	
CS-1	

C:\NVR\Solva\STRATFORD HALL_11900_01\MDE-BV-0009\1795331\Sheets\Lot Specific\CS-1 COVERSHEET.dwg 04/21/20 - 2:19 am



BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

1. ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (3) 2x6 W/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
2. ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
3. ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
4. HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
5. SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
6. SEE STANDARD DETAIL CATEGORY "11" SHEET(S) FOR INTERIOR TRIM DETAILS.
7. SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
8. ALL WINDOWS HAVE 7'-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
9. ALL CASED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.

GYPSUM NOTES

AT GARAGE:
5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.

AT STAIRS:
1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET

WITH OPTION "SC1" - DRYWALL UNFINISHED BASEMENT CEILING AREA

NOTES:

- 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED
- A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0"x8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
- PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

LEGEND

- BEARING WALL
 - NON BEARING WALL
 - INDICATES BEARING FROM POINT-LOAD ABOVE
 - JACKS
 - BEAM/HEADER
 - PAD FOOTING
 - STEEL COLUMN
 - PORTAL FRAME
 - JOIST/TRUSS
 - LVL
 - ENGINEERING PAGE NUMBER
- SEE FC DETAILS FOR FRAMING CONNECTORS

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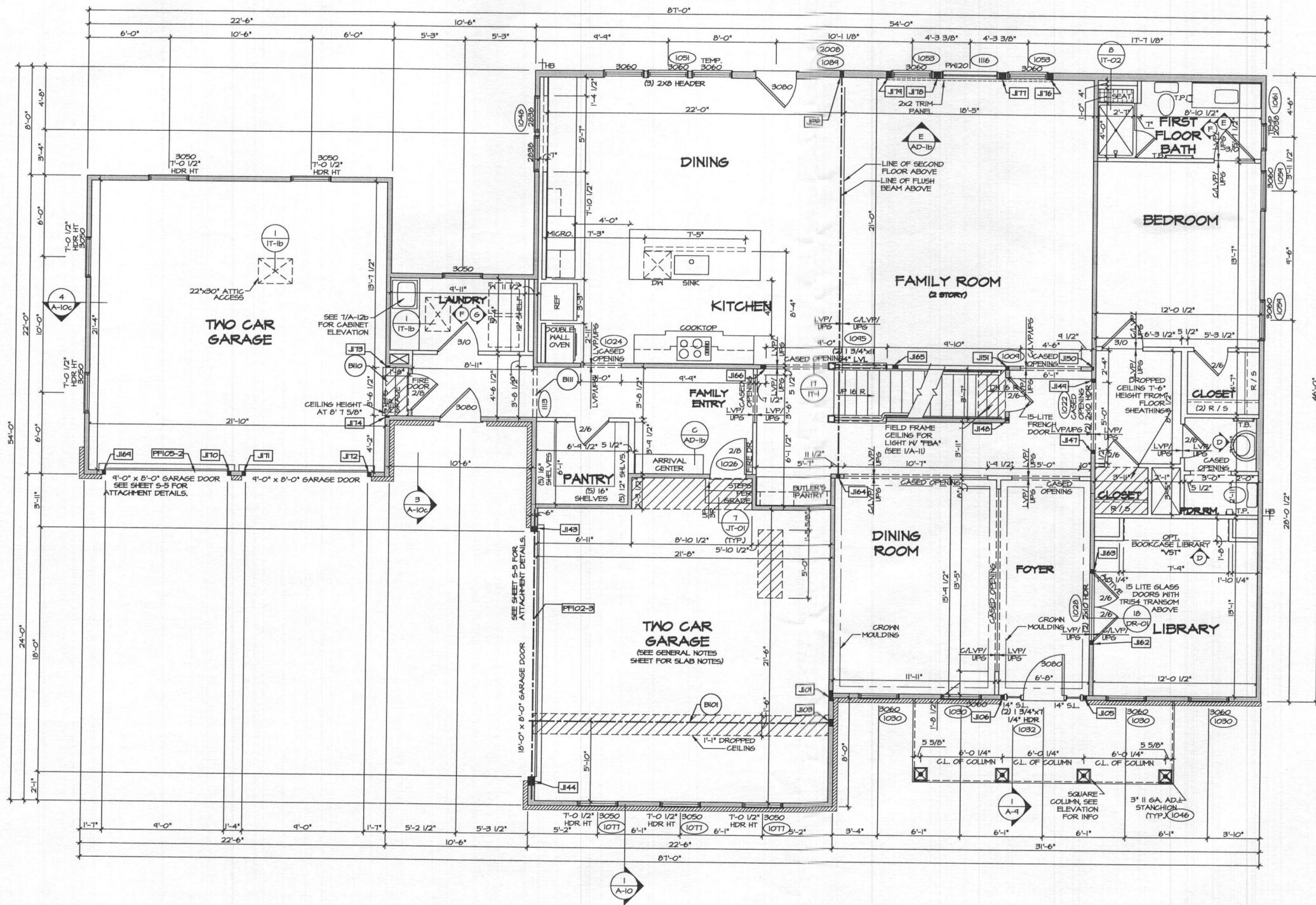
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DRAWING TITLE					



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

FOR NOTES AND SCHEDULES SEE PAGE A-7b

DIY-COMM-LOT-UNIT
MDE-BV-0009

COMM-LOT
BELVEDERE ESTATES - 0004
STREET ADDRESS
3647 FAUPERS FOLLY LANE
CITY
WEST FRIENDSHIP
STATE
MD
ZIP
21144

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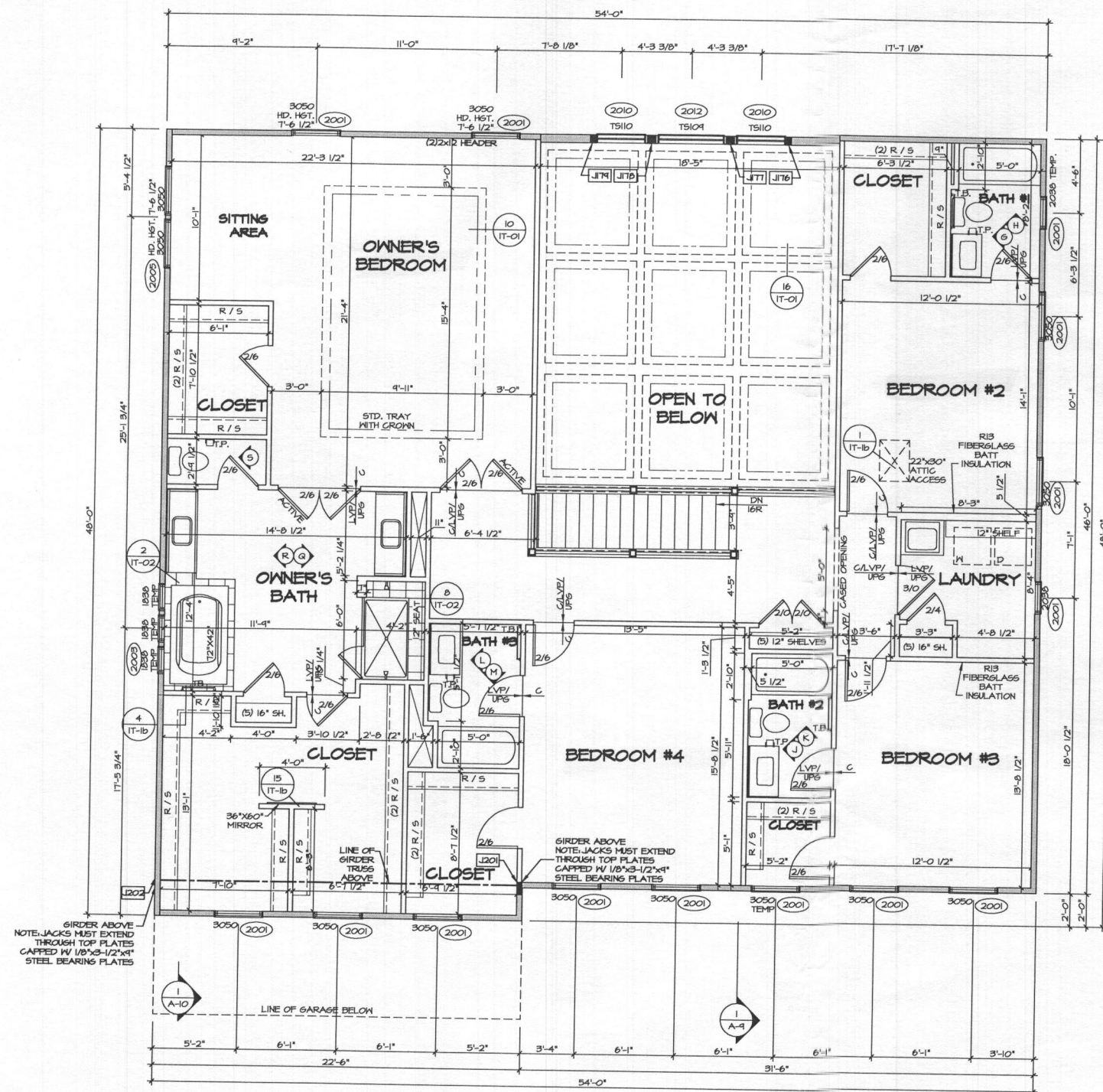
NVR, Inc.
5285 Westview Drive, Suite 100
Frederick, MD 21703

SET NO. 11900
VERSION 01
DRAWN BY BIM

STRATFORD HALL
DRAWING TITLE
FIRST FLOOR PLAN
OPTION DESCRIPTION

A-7

29



FLOOR PLAN NOTES

- ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (3) 2x6 W/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
- ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
- ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
- HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
- SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
- SEE STANDARD DETAIL CATEGORY "IT" SHEET(S) FOR INTERIOR TRIM DETAILS.
- SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
- ALL WINDOWS HAVE 7'-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
- ALL CASED OPENINGS AT 7'-4", UNLESS OTHERWISE NOTED.

LEGEND

- BEARING WALL
 - NON BEARING WALL
 - INDICATES BEARING FROM POINT-LOAD ABOVE
 - JACKS
 - BEAM/HEADER
 - PAD FOOTING
 - STEEL COLUMN
 - PORTAL FRAME
 - JOIST/TRUSS
 - LVL
 - ENGINEERING PAGE NUMBER
- SEE FC DETAILS FOR FRAMING CONNECTORS

SECOND FLOOR JACK SCHEDULE

IDENTIFIER	DESCRIPTION	OPTIONS	ENG. NUM.	REMARKS
J176	JACK - (3) 2X6 SPF #2		2014	FULL HEIGHT STUDS
J177	JACK - (4) 2X6 SPF #2		2015	FULL HEIGHT STUDS
J178	JACK - (4) 2X6 SPF #2		2015	FULL HEIGHT STUDS
J179	JACK - (3) 2X6 SPF #2		2014	FULL HEIGHT STUDS
J201	JACK - (6) 2X4 SPF#1		2008	
J202	JACK - (6) 2X4 SPF#1		2008	

MODEL
STRATFORD HALL

DRAWING TITLE
SECOND FLOOR PLAN

OPTION DESCRIPTION

SET NO. 11900

VERSION 01

DRAWN BY BIM

DATE:

OPTION

SHEET NO.
A-8

32.1

NVR

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DIV-COMM-LOT-UNIT
MDE-BV-0001

COMM-LOT

BELVEDERE ESTATES - 0001

STREET ADDRESS
9647 PAUPERS FOLLY LANE

CITY
WEST FRIENDSHIP

STATE
MD

ZIP
21744

PLAN 04/21/20 - 220.00

3647 Paupers folly lane
Lot 9

STRATFORD HALL

Health
Dept

DIV-COMM-LOT-UNIT		
MDE-BV-0009		
COMM-LOT		
BELVEDERE ESTATES - 0009		
STREET ADDRESS		APT. NO.
3647 PAUPERS FOLLY LANE		
CITY	STATE	ZIP
WEST FRIENDSHIP	MD	21794



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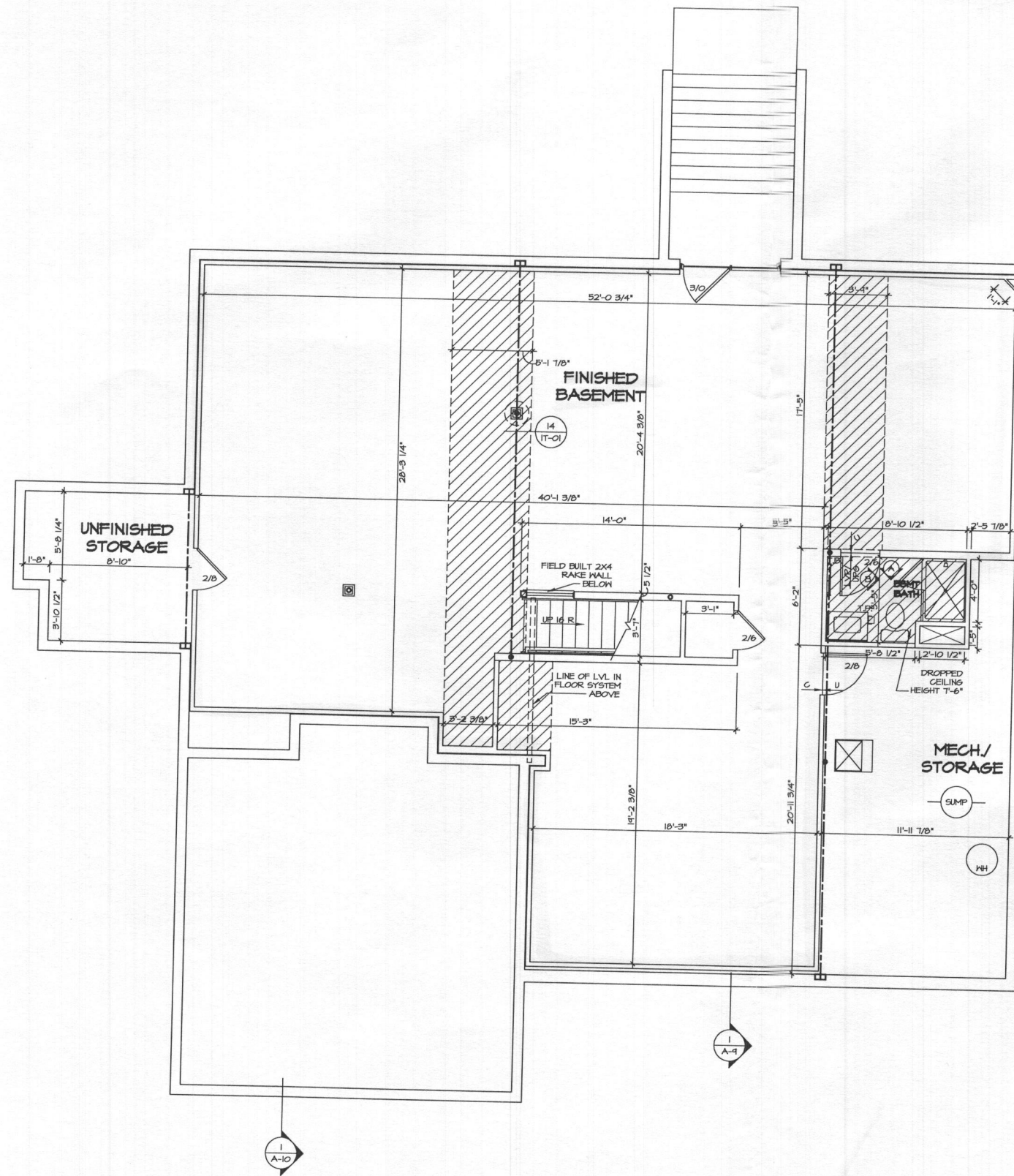
	FULL BASEMENT												STANDARD DETAILS
	STD. DWGS.												
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FOUNDATIONS	14												DR-1
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HVAC LAYOUT	69												FC-4
HVAC LAYOUT	70												FD-1
HVAC LAYOUT	71												FD-2
HVAC LAYOUT	72												FD-2b
HVAC LAYOUT	73												FD-3
HVAC LAYOUT	74												FP-1
													GB-1
													IT-1
													IT-1b
													IT-1c
													IT-2
													JT-1
													JT-3
													JT-3b
													KT-1
													RF-1
													RF-1b
													RF-1c
													SEP-1
													SEP-2
													SEP-3
													SEP-4
													SP-1
													SP-2
													SP-3
													ST-1
													ST-2
													WB-1
													WB-2
													WD-1
													WD-2
													WD-3
													WS-1

FIRST FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	2151 SF
1ST FLOOR TWO CAR SIDE ATTACHED GARAGE (ADD. SF)	111 SF
	2268 SF
SECOND FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
2ND FLOOR (BASE SF)	2133 SF
	2133 SF
GARAGE SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
TWO CAR GARAGE ELEV. 'A' OR 'K' OR 'R'	501 SF
TWO CAR SIDE ATTACHED GARAGE (ADD. SF)	498 SF
	1005 SF
BASEMENT SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
FINISHED BASEMENT	1520 SF
FINISHED BASEMENT AREA #2 (ADD. SF)	361 SF
	1881 SF
UNFINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
MECHANICAL ROOM	245 SF
UNFINISHED STORAGE TWO CAR SIDE ATTACHED GARAGE (ADD. SF)	118 SF
	413 SF
TOTAL FINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	2151 SF
1ST FLOOR TWO CAR SIDE ATTACHED GARAGE (ADD. SF)	111 SF
2ND FLOOR (BASE SF)	2133 SF
FINISHED BASEMENT	1520 SF
FINISHED BASEMENT AREA #2 (ADD. SF)	361 SF
	6282 SF

SET - VERSION
11900 - 01

CS-1

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BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"

- FLOOR PLAN NOTES**
1. ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (3) 2x6 W/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
 2. ALL HEADERS TO HAVE (U) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
 3. ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
 4. HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
 5. SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
 6. SEE STANDARD DETAIL CATEGORY "1T" SHEET(S) FOR INTERIOR TRIM DETAILS.
 7. SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
 8. ALL WINDOWS HAVE T-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
 9. ALL CASED OPENINGS AT T-11", UNLESS OTHERWISE NOTED.
- GYPSUM NOTES**
- AT GARAGE:
 5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.
- AT STAIRS:
 1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET
- WITH OPTION "SG1" - DRYWALL UNFINISHED BASEMENT CEILING AREA
- NOTES:**
- 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
 - A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0"x8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
 - PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

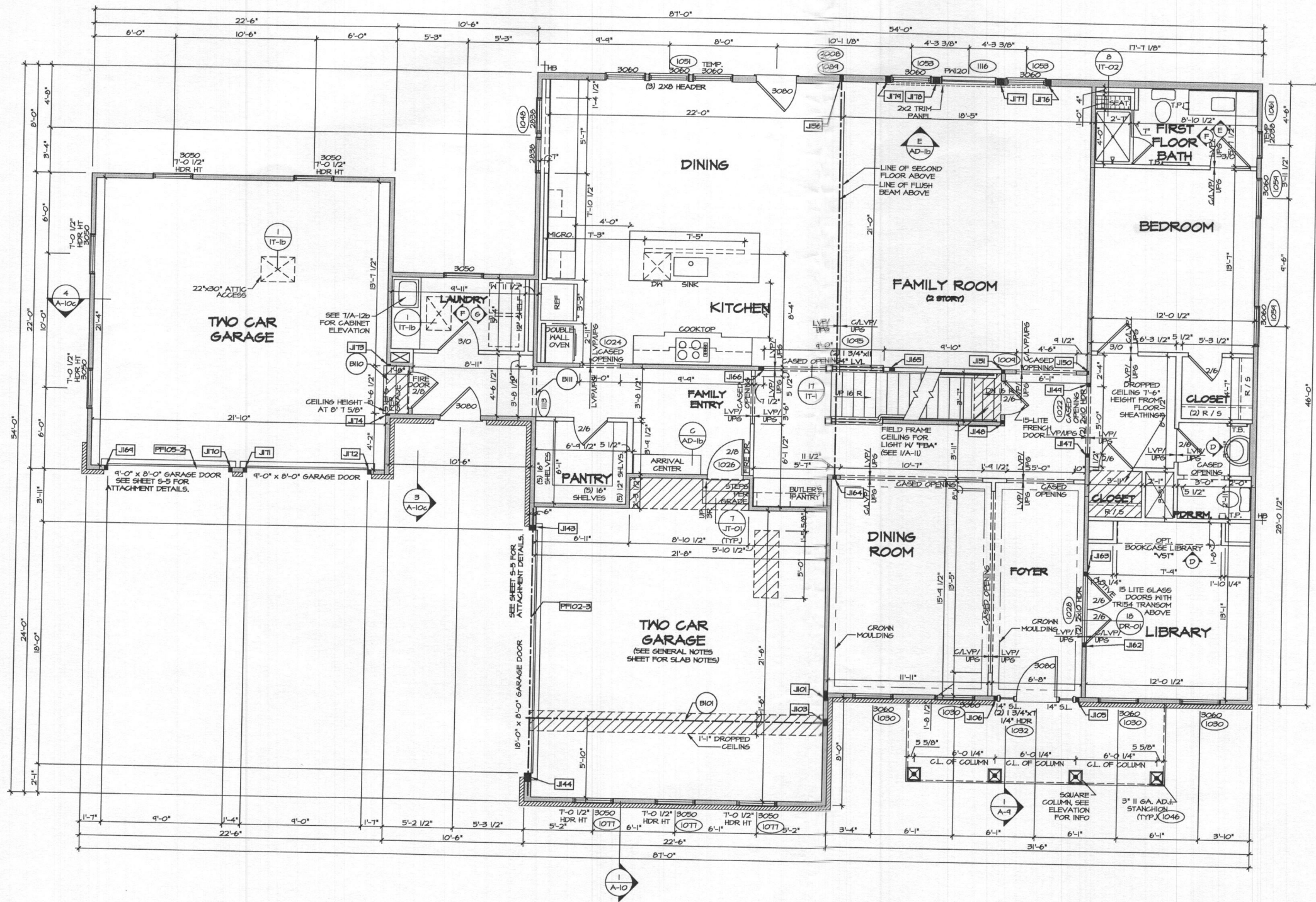
- LEGEND**
- BEARING WALL
 - NON BEARING WALL
 - INDICATES BEARING FROM POINT-LOAD ABOVE
 - JACKS
 - BEAM/HEADER
 - PAD FOOTING
 - STEEL COLUMN
 - PORTAL FRAME
 - JOIST/TRUSS
 - LVL
 - ENGINEERING PAGE NUMBER
- SEE FC DETAILS FOR FRAMING CONNECTORS

SHEET NO. A-6		MODEL STRATFORD HALL		SET NO. 11900	
DRAWING TITLE BASEMENT FLOOR PLAN		DRAWN BY BIM		VERSION 01	
OPTION DESCRIPTION 27		DATE:		OPTION	
DIV-COMM-LOT-UNIT MDE-BY-0009		COMM-LOT BELVEDERE ESTATES - 0009		STREET ADDRESS 9647 FAIRFAX FOLLY LANE	
CITY WEST FRIENDSHIP		STATE MD		ZIP 21154	

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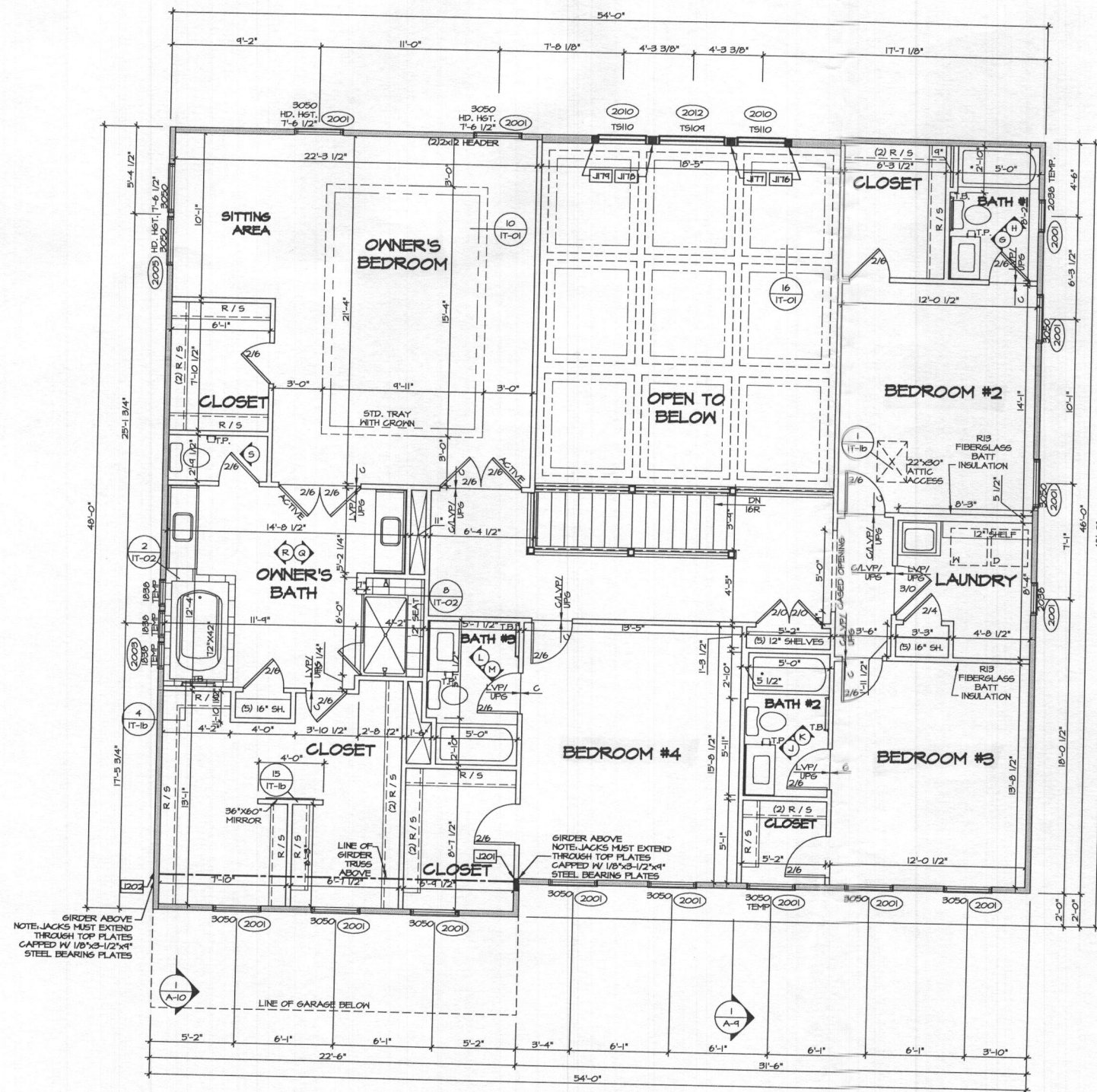
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FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

FOR NOTES AND SCHEDULES SEE PAGE A-7b

SHEET NO.	A-7	29
MODEL	STRATFORD HALL	DIV - COMM-LOT-UNIT
DRAWING TITLE	FIRST FLOOR PLAN	MDE-BV-0009
OPTION DESCRIPTION		
SET NO. 11400	VERSION 01	DRAWN BY BIM
DATE:	OPTION	DATE:
OPTION		
OPTION		
NVR	NVR, Inc.	NVR, Inc.
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Frederick, MD 21703		
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DIV - COMM-LOT-UNIT	MDE-BV-0009	DIV - COMM-LOT-UNIT
COMM-LOT	BELVEDERE ESTATES - 0009	COMM-LOT
STREET ADDRESS	3647 FAIRFAX POLLY LANE	STREET ADDRESS
CITY	WEST FRIENDSHIP	CITY
STATE	MD	STATE
ZIP	21194	ZIP
AFT. NO.		AFT. NO.



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

- ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (3) 2x6 W/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
- ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
- ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
- HATCHED AREAS INDICATE DROPPED CEILING. ALL DROPPED CEILING ARE 12" UNLESS OTHERWISE NOTED.
- SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
- SEE STANDARD DETAIL CATEGORY "IT" SHEET(S) FOR INTERIOR TRIM DETAILS.
- SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
- ALL WINDOWS HAVE 7'-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
- ALL GATED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.

LEGEND

- BEARING WALL
 - NON BEARING WALL
 - INDICATES BEARING FROM POINT-LOAD ABOVE
 - JACKS
 - BEAM/HEADER
 - PAD FOOTING
 - STEEL COLUMN
 - PORTAL FRAME
 - JOIST/TRUSS
 - LVL
 - ENGINEERING PAGE NUMBER
- SEE FC DETAILS FOR FRAMING CONNECTORS

SECOND FLOOR JACK SCHEDULE

IDENTIFIER	DESCRIPTION	OPTIONS	ENG. NUM.	REMARKS
J176	JACK - (3) 2X6 SFF #2		2014	FULL HEIGHT STUDS
J171	JACK - (4) 2X6 SFF #2		2015	FULL HEIGHT STUDS
J170	JACK - (4) 2X6 SFF #2		2015	FULL HEIGHT STUDS
J179	JACK - (3) 2X6 SFF #2		2014	FULL HEIGHT STUDS
J201	JACK - (6) 2X4 SFF #1		2008	
J202	JACK - (6) 2X4 SFF #1		2008	

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MODEL: STRATFORD HALL
DRAWING TITLE: SECOND FLOOR PLAN
OPTION DESCRIPTION: 32.1

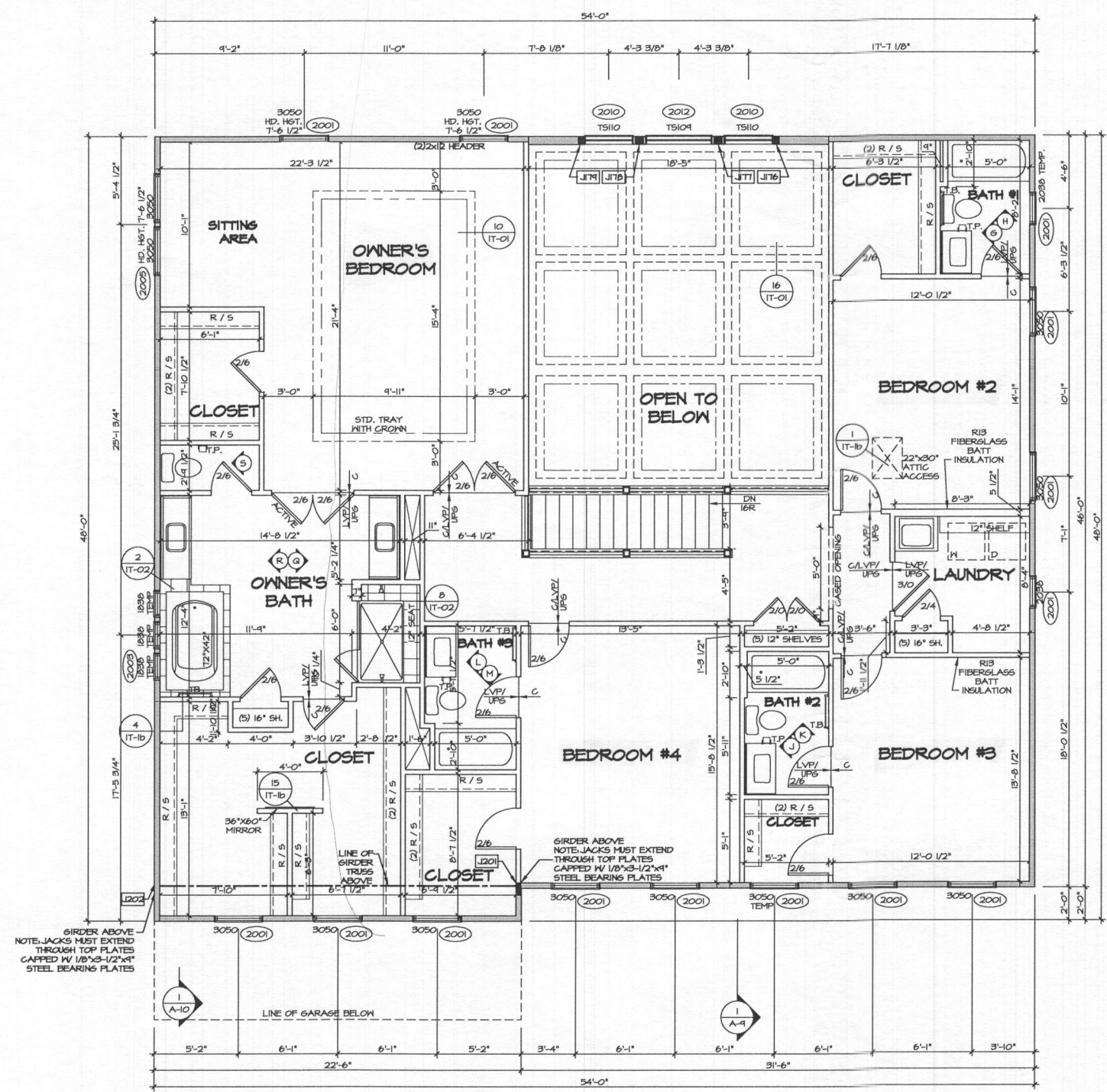
SHEET NO. A-8

32.1

DIY-COMM-LOT-UNIT
MDE-BY-0009

COMM-LOT
BELVEDERE ESTATES - 0009

STREET ADDRESS
9647 PAUPERS FOLLY LANE
CITY
STATE
MD
ZIP
21764



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

- FLOOR PLAN NOTES**
- ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (3) 2x6 W/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
 - ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
 - HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
 - SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
 - SEE STANDARD DETAIL CATEGORY "IT" SHEET(S) FOR INTERIOR TRIM DETAILS.
 - SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
 - ALL WINDOWS HAVE 7'-0" 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
 - ALL CASED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.

LEGEND

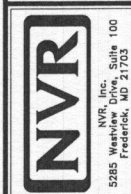
- BEARING WALL
- NON BEARING WALL
- INDICATES BEARING FROM POINT-LOAD ABOVE
- JACKS
- BEAM/HEADER
- PAD FOOTING
- STEEL COLUMN
- PORTAL FRAME
- JOIST/TRUSS
- LVL
- ENGINEERING PAGE NUMBER

SEE P.C. DETAILS FOR FRAMING CONNECTORS

SECOND FLOOR JACK SCHEDULE				
IDENTIFIER	DESCRIPTION	OPTIONS	ENG. NUM.	REMARKS
J176	JACK - (3) 2X6 SFF #2		2014	FULL HEIGHT STUDS
J177	JACK - (4) 2X6 SFF #2		2015	FULL HEIGHT STUDS
J178	JACK - (4) 2X6 SFF #2		2015	FULL HEIGHT STUDS
J179	JACK - (3) 2X6 SFF #2		2014	FULL HEIGHT STUDS
J201	JACK - (6) 2X4 SPM		2008	
J202	JACK - (6) 2X4 SPM		2008	

DIV-COMM-LOT-UNIT
MDE-BY-0009
COMM-LOT
BELVEDERE ESTATES - 0009
STREET ADDRESS
5647 FAIRFAX FOLLY LANE
CITY
WEST FRIENDSHIP
STATE
MD
ZIP
21754

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MODEL
STRATFORD HALL
DRAWING TITLE
SECOND FLOOR PLAN
OPTION DESCRIPTION

SHEET NO.
A-8
32.1