



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received:

1/27/2020

Permit No.:

B20000304

Building Address: 1037 STEPPING PLANE
City: SYKESVILLE State: MD Zip Code: 21784
Suite/Apt. # _____ SDP/WP/BA #: _____
Census Tract: _____ Subdivision: _____
Section: _____ Area: _____ Lot: 13
Tax Map: _____ Parcel: _____ Grid: _____
Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: SFD
Proposed Use: SFD /PROPANE TANK
Estimated Construction Cost: \$ 4,000
Description of Work: INSTALL 1000 GAL UNDERGROUND PROPANE TANK

Occupant/Tenant Name: OWNER
Was tenant space previously occupied? ☐ Yes ☒ No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height: _____	☒ SF Dwelling ☐ SF Townhouse
No. of stories: _____	Depth _____ Width _____
Gross area, sq. ft./floor: _____	1 st floor: _____
Area of construction (sq. ft.): _____	2 nd floor: _____
Use group: _____	Basement: _____
	☐ Finished Basement
	☐ Unfinished Basement
	☐ Crawl Space
Construction type:	☐ Slab on Grade
☐ Reinforced Concrete	No. of Bedrooms: _____
☐ Structural Steel	Multi-family Dwelling
☐ Masonry	No. of efficiency units: _____
☐ Wood Frame	No. of 1 BR units: _____
☐ State Certified Modular	No. of 2 BR units: _____
	No. of 3 BR units: _____
	Other Structure: _____
	Dimensions: _____
☒ Roadside Tree Project Permit	Footings: _____
☐ Yes ☒ No	Roof: _____
Roadside Tree Project Permit # _____	☐ State Certified Modular
	☐ Manufactured Home

Property Owner's Name: NVR
Address: 9720 PATUXENT WOODS DRIVE
City: COLUMBIA State: MD Zip Code: 21046
Phone: _____ Fax: _____
Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: MICHELLE CLANCY
Address: PO BOX 310
City: PERRY HALL State: MD Zip Code: 21128
Phone: 443-610-7514 Fax: _____
Email: MICHELLE@APPLIEDANDAPPROVED.COM

Contractor Company: AIR GAS
Contact Person: DENNIS FEAGA
Address: 6750 MACLEAN WAY STE B
City: GLEN BURNIE State: MD Zip Code: 21060
License No.: 81215
Phone: 410-984-5681 Fax: _____
Email: _____

Engineer/Architect Company: CONTRACTOR
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Utilities
Electric: ☐ Yes ☒ No
Gas: ☐ Yes ☒ No
Water Supply
☐ Public
☒ Private
Sewage Disposal
☐ Public
☒ Private
Heating System
☐ Electric ☐ Oil
☐ Natural Gas ☐ Propane Gas
☐ Other: _____
Sprinkler System:
☐ Yes ☐ No
Grading Permit Number: <u>G20000010</u>
Building Shell Permit Number: <u>B19004354</u>

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature

MICHELLE@APPLIEDANDAPPROVED.COM

Email Address

PERMITS

Title/Company

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY

-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	2/5/20	PSA

Is Sediment Control approval required for issuance? ☐ Yes ☒ No
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION

Front: _____
Rear: _____
Side: _____
Side St.: _____
All minimum setbacks met? ☐ Yes ☒ No
Is Entrance Permit Required? ☐ Yes ☒ No
Historic District? ☐ Yes ☒ No
Lot Coverage for New Town Zone: _____
SDP/Red-line approval date: _____

Filing Fee	\$
Permit Fee	\$ 108
Tech Fee	\$ 18
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$ 110.00
Sub- Total Paid	\$
Balance Due	\$
Check	# 7469

Distribution of Copies: White: Building Officials

Green: PSZA,Zoning

Yellow: PSZA,Engineering

Pink: Health

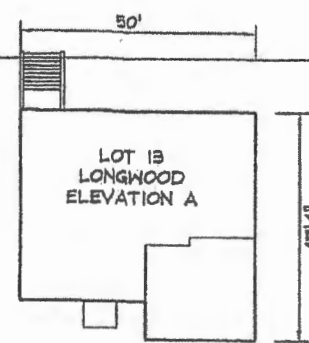
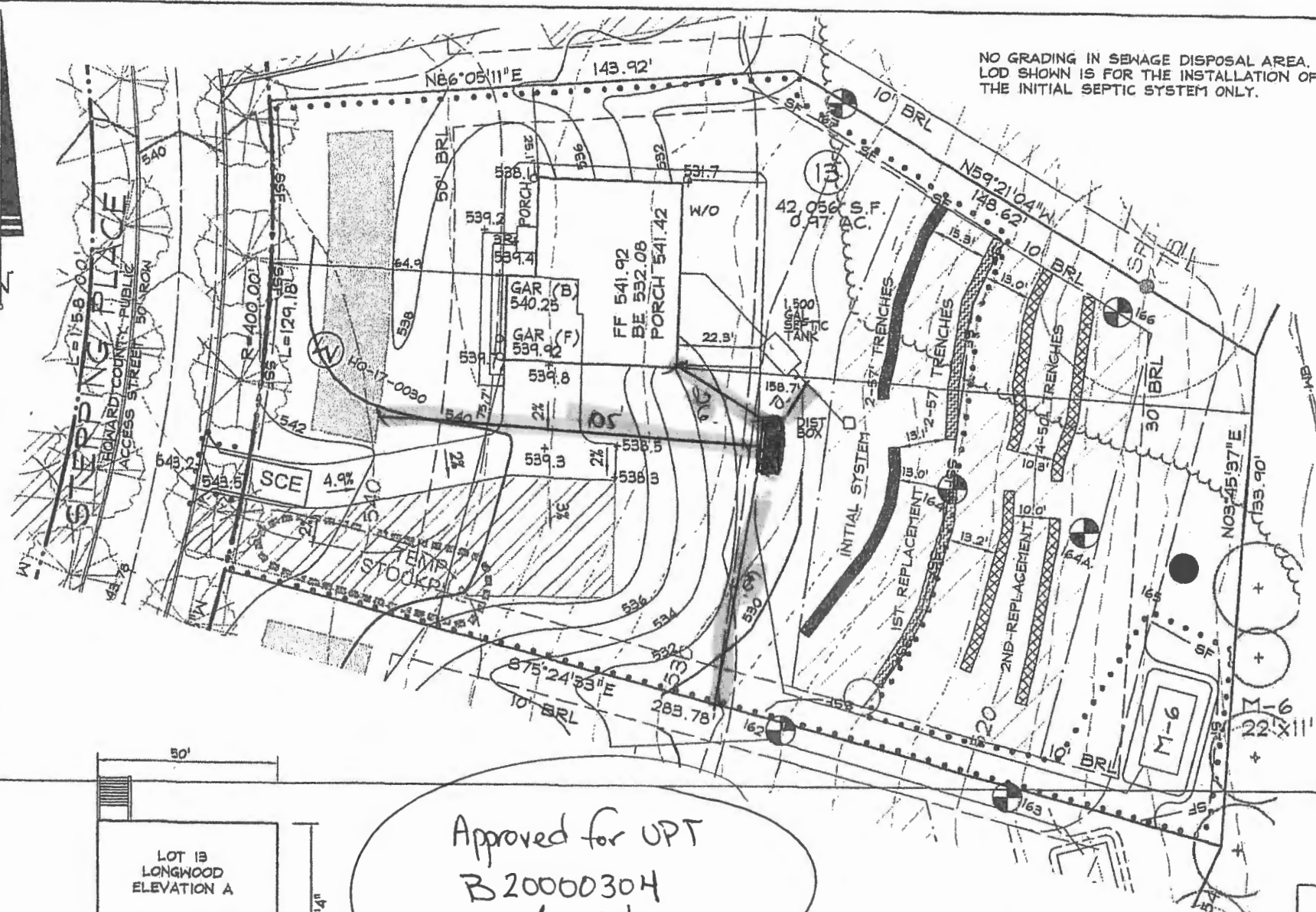
Gold: SHA

46

DRAWING LEGEND

- • • • • LIMIT OF DISTURBANCE
- SF — 9F — PROPOSED SILT FENCE
- SSF — SSF — PROPOSED SUPER SILT FENCE
-  SCE STABILIZED CONSTRUCTION ENTRANCE
-  T TRANSFORMER
-  WELL BOX WITH EXISTING WELL
-  EXISTING WELL & ALTERNATE WELL SITES
-  SEPTIC RESERVE AREA
-  DRY WELL
-  WIDE GRASS SHOULDER
-  TEMP STOCKPILE
-  TEMPORARY STOCKPILE

NO GRADING IN SEWAGE DISPOSAL AREA.
LOD SHOWN IS FOR THE INSTALLATION OF
THE INITIAL SEPTIC SYSTEM ONLY.



Approved for UPT
B20000304
LH 2/5/20

Scale
1"=40'

LOT 13 BUILDING PERMIT PLOT PLAN

WALKER
MEADOWS
LOT 13
1037 STEPPING PLACE
PLAT #24974-24979
DDC JOB#: 12064.3
DATE: 12/06/19
SCALE: 1"=30'
CHK. BY: PGC
DRN. BY: LJC



Planners
Surveyors
Engineers
Landscape Architects
192 East Main Street
Westminster, MD 21157
410.386.0560
410.386.0564 (Fax)
DDC@DDCinc.us
www.DDCinc.us

STORMWATER MANAGEMENT FOR THIS LOT IS PROVIDED BY ON-LOT
MICRO-BIO-RETENTION (M-6) AND A WIDE GRASS SHOULDER.

THE FRONT DOOR FOR LOT 13 FACES WEST



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: **B19004354**

Building Address: **1037 Stepping Pl**
City: **Sykesville** State: **MD** Zip Code: **21784**
Suite/Apt. #: _____ SDP/WP/BA #: **GP 19-66**
Subdivision: **Walker Meadows**
Lot: **13** Tax Map: _____ Parcel: **F17045**

Existing Use: **Vacant lot**
Proposed Use: **Single family home**
Estimated Construction Cost: \$ **210,000**
Description of Work: **New 2 story "longwood" ELV 'A' with 2 car garage, and finished lower level (Rec Rm, area #2, Bedroom + bathroom, wet bar) 9 rooms, 4 Full Baths, 1 1/2 Baths and 5 Bedrooms.**

Occupant/Tenant Name: _____
Was tenant space previously occupied? ☐ Yes ☐ No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Property Owner's Name: **NVR Inc.**
Address: **9720 Patuxent Woods Dr**
City: **Columbia** State: **MD** Zip Code: **21046**
Phone: **410-379-5956** Fax: _____
Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: **Decatur Building Service**
Address: **PO Box 552**
City: **Woodbine** State: **MD** Zip Code: **21797**
Phone: **443-309-7792** Fax: _____
Email: **jim@decaturbuildingservices.com**

Contractor Company: **NV Homes**
Contact Person: **Clint Cagle**
Address: **9720 Patuxent Woods Dr**
City: **Columbia** State: **MD** Zip Code: **21046**
License No.: **56**
Phone: **410-379-5956** Fax: _____
Email: **ccagle@nvrinc.com**

Engineer/Architect Company: _____
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics	
Height: _____	☒ SF Dwelling ☐ SF Townhouse	
No. of stories: 2	Depth	Width
Gross area, sq. ft./floor: 5258	1st floor: 47	54
OG-SF = 5258	2nd floor: 39	54
Area of construction (sq. ft.): _____	Basement: 47	54
Use group: _____	☒ Finished Basement	
performance method	☐ Unfinished Basement	
Construction type: _____	☐ Crawl Space	
☐ Reinforced Concrete	☐ Slab on Grade	
☐ Structural Steel	No. of Bedrooms: 5	
☐ Masonry	Multi-family Dwelling	
☐ Wood Frame	No. of efficiency units: _____	
☐ State Certified Modular	No. of 1 BR units: _____	
	No. of 2 BR units: _____	
	No. of 3 BR units: _____	
	Other Structure: _____	
	Dimensions: _____	
> Roadside Tree Project Permit	Footings: _____	
☐ Yes ☒ No	Roof: _____	
Roadside Tree Project Permit #	☐ State Certified Modular	
	☐ Manufactured Home	

Utilities	
Electric:	☒ Yes ☐ No
Gas:	☒ Yes ☐ No
Water Supply	
☒ Public	
☒ Private	
Sewage Disposal	
☐ Public	
☒ Private	
Heating System	
☒ Electric	☐ Oil
☐ Natural Gas	☒ Propane Gas
☐ Other: _____	
Sprinkler System:	
☒ Yes	☐ No
Grading Permit Number: _____	
Building Shell Permit Number: _____	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES

Applicant's Signature: **Jim Kegan**
Email Address: **jim@decaturbuildingservices.com**
Agent/Company: **NV Homes**

Print Name: **Jim Kegan**
Date: **12/24/2019**

RECEIVED
DEC 24 2019
LICENSES & PERMITS
DIVISION

Checks Payable to: **DIRECTOR OF FINANCE OF HOWARD COUNTY**
PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
☒ State Highways		
☒ Building Officials		
☒ PSZA (Zoning)		
☒ PSZA (Engineering)		
☒ Health		
Is Sediment Control approval required for issuance? ☐ Yes ☐ No		
☐ CONTINGENCY CONSTRUCTION START		

DPZ SETBACK INFORMATION	
Front:	50 / 64
Rear:	30 / 158
Side:	10 / 25/75
Side St.:	
All minimum setbacks met?	☒ Yes ☐ No
Is Entrance Permit Required?	☐ Yes ☐ No
Historic District?	☐ Yes ☒ No
Lot Coverage for New Town Zone: _____	
SDP/Red-line approval date: _____	

Filing Fee	\$ 100
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ 50
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	# 308828

Distribution of Copies: White: Building Officials Green: PSZA, Zoning

Yellow: PSZA, Engineering

Pink: Health

Gold: SHA

**COMPLETE THIS FORM WHEN DROPPING OFF ANY
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 1/16/2020

To: Robert Bricker Health Dept
(Person's Name and Division)

From: Jim Kerwin (443) 309-7792
(Your Name, Company Name and Telephone Number)

Subject: Project name Walker manlows
Project site address 1037 Stepping Place
Permit # ~~4354~~ 4354 SDP # 31900
Other information pertinent to this project _____

☒ Please check the attachments below that you are submitting with this transmittal:

____ Letter of response to address plan review comment letter

____ ☒ Revised plans and/or revised details: When submitting for a complete re-review, duplicate sets shall be submitted.

____ Letter Summarizing Changes

____ Energy conservation calculations

____ ☒ Copies of Site plan (be specific).

____ ☒ Health Department Request _____ DPZ/ DED Request _____ Applicant's Request

____ Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # _____

____ Other _____

Contact Person Information: (Required)

Jim Kerwin
Please Print Name

Telephone No: 443-309-7792

E-Mail Address: Jim@Decaturbuilding
Services.com

PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

Received by Jim

RECEIVED

JAN 16 2020

*Not a
Health*

DRAWING LEGEND

- • • • • LIMIT OF DISTURBANCE
- SF — SF — PROPOSED SILT FENCE
- SSF — SSF — PROPOSED SUPER SILT FENCE
- SCE STABILIZED CONSTRUCTION ENTRANCE
- T TRANSFORMER
- W WELL BOX WITH EXISTING WELL
- HO-XX-XXXX EXISTING WELL & ALTERNATE WELL SITES
- SEPTIC RESERVE AREA
- DRY WELL
- WIDE GRASS SHOULDER
- TEMP STOCKPILE
- TEMPORARY STOCKPILE

REVISED

Date: 1-16-2020
 Comments: relocate septic tank
 # B19004354

LOT 13
 BUILDING PERMIT PLOT PLAN

WALKER MEADOWS

LOT 13

1037 STEPPING PLACE

PLAT #24974-24979

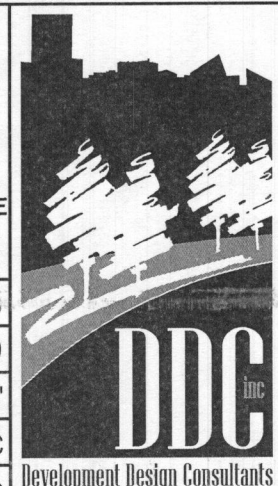
DDC JOB#: 120643

DATE: 12/06/19

SCALE: 1" = 30'

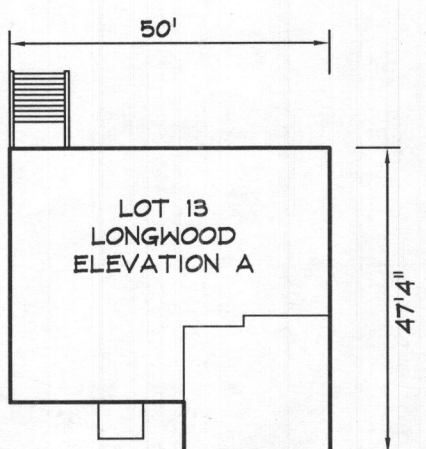
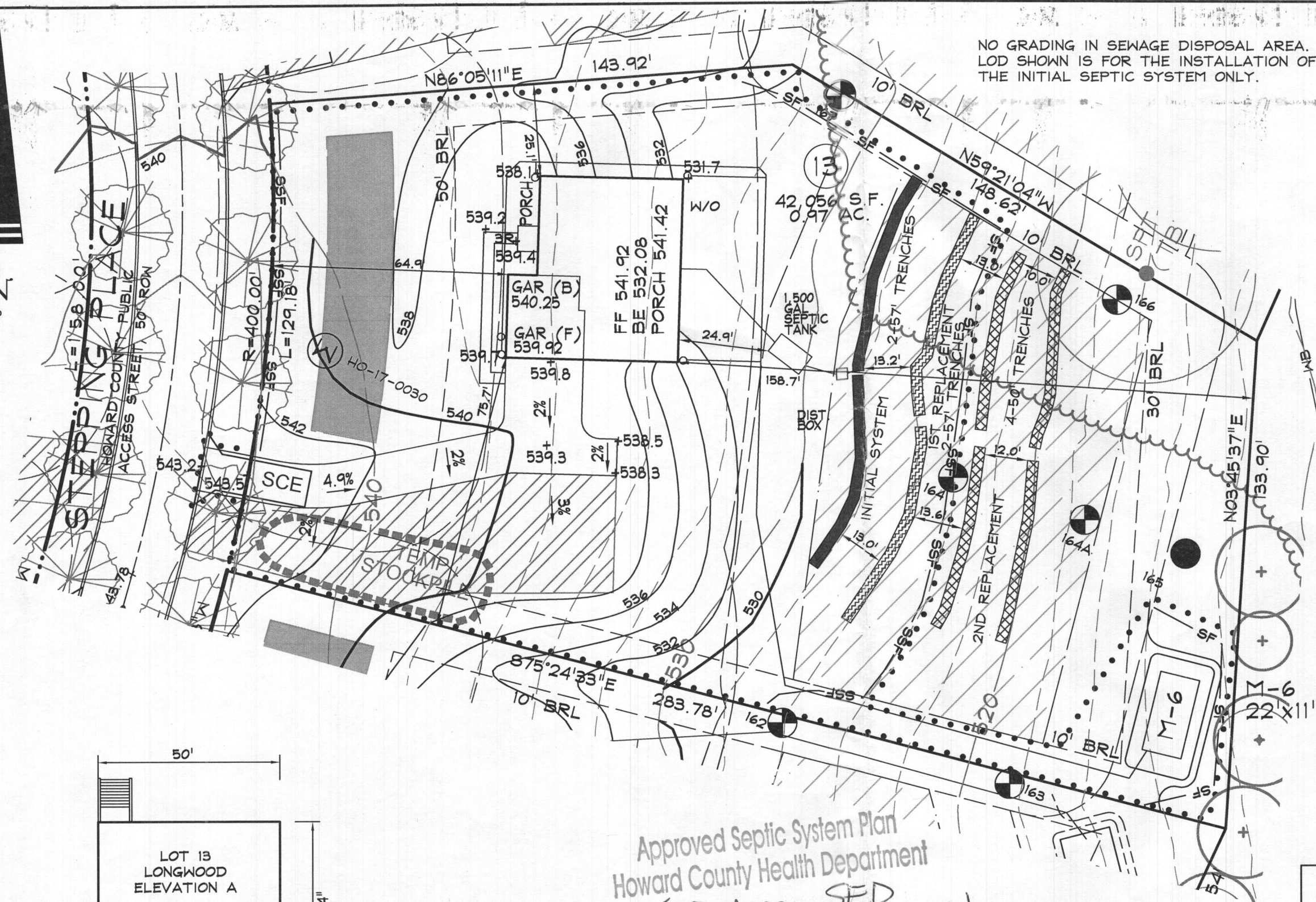
CHK. BY: PGC

DRN. BY: LJC



Planners
 Surveyors
 Engineers
 Landscape Architects
 192 East Main Street
 Westminster, MD 21157
 410.386.0560
 410.386.0564 (Fax)
 DDC@DDCinc.us
 www.DDCinc.us

NO GRADING IN SEWAGE DISPOSAL AREA.
 LOD SHOWN IS FOR THE INSTALLATION OF
 THE INITIAL SEPTIC SYSTEM ONLY.



Approved Septic System Plan
 Howard County Health Department
 5-Bedroom SFD
 w/ finished basement
 R. Buckner 1/30/2020
 Signature Date

STORMWATER MANAGEMENT FOR THIS LOT IS PROVIDED BY ON-LOT
 MICRO-BIO-RETENTION (M-6) AND A WIDE GRASS SHOULDER.

THE FRONT DOOR FOR LOT 13 FACES WEST

1037 Stepping Place
Lot 13

LONGWOOD

5 Bedroom
Finished Basement
B19004354
Health Dept.
HEALTH



NVR, Inc.
5285 Westview Drive, Suite 100
Frederick, MD 21703

	FULL BASEMENT										STANDARD DETAILS
	STD. DWGS.										
SPEC SHEET	99-1										AD-1
ELEVATIONS	5										DR-1
FOUNDATIONS	14										DR-2
FOUNDATION HOLD DOWNS	19/20										DR-3
PLUMBING	21										ET-1
BASEMENT FLOOR PLAN	22										ET-1b
FIRST FLOOR PLAN	24										ET-1c
SECOND FLOOR PLAN	26										ET-1e
BUILDING SECTIONS	30/32										ET-1f
STAIR SECTIONS	34										ET-2
KITCHEN LAYOUT	37										ET-3
LAUNDRY CABINET LAYOUT	39										ET-3b
CABINET LAYOUT (OPTIONAL)	40										F-1
BATH ELEVATIONS	41										F-1b
BASEMENT ELECTRICAL	42										F-2
FIRST FLOOR ELECTRICAL	44										F-3
SECOND FLOOR ELECTRICAL	46										F-3b
FIRST FLOOR FRAMING	50										FC-1
SECOND FLOOR FRAMING	51										FC-2
ROOF FRAMING	53										FC-4
ROOF FRAMING (OPTIONAL)	54										FD-1
TRUSS BRACING	58										FD-2
HALL BRACING LAYOUT	60										FD-2b
BASEMENT HVAC LAYOUT	64/65										FD-3
CRAWL SPACE HVAC LAYOUT	66/67										FP-1
FIRST FLOOR HVAC LAYOUT	68/69/70/71										FP-1b
SECOND FLOOR HVAC LAYOUT	72/73										GB-1
											IT-1
											IT-1b
											IT-1c
											IT-2
											JT-1
											JT-3
											JT-3b
											KT-1
											RF-1
											RF-1b
											SEP-1
											SEP-2
											SEP-3
											SEP-4
											SP-1
											SP-2
											SP-3
											ST-1
											ST-2
											ST-3b
											WB-1
											WB-2
											WD-1
											WD-2
											WD-3
											WS-1

FIRST FLOOR SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	1670 SF
	1670 SF

SECOND FLOOR SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
2ND FLOOR (BASE SF)	1861 SF
	1861 SF

GARAGE SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
GARAGE	460 SF
	460 SF

BASEMENT SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
FINISHED BASEMENT	860 SF
FINISHED BASEMENT AREA 2 (ADD. SF)	323 SF
BASEMENT BEDROOM (ADD. SF)	245 SF
	1449 SF

UNFINISHED SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
MECHANICAL	242 SF
	242 SF

TOTAL FINISHED SQUARE FOOTAGE

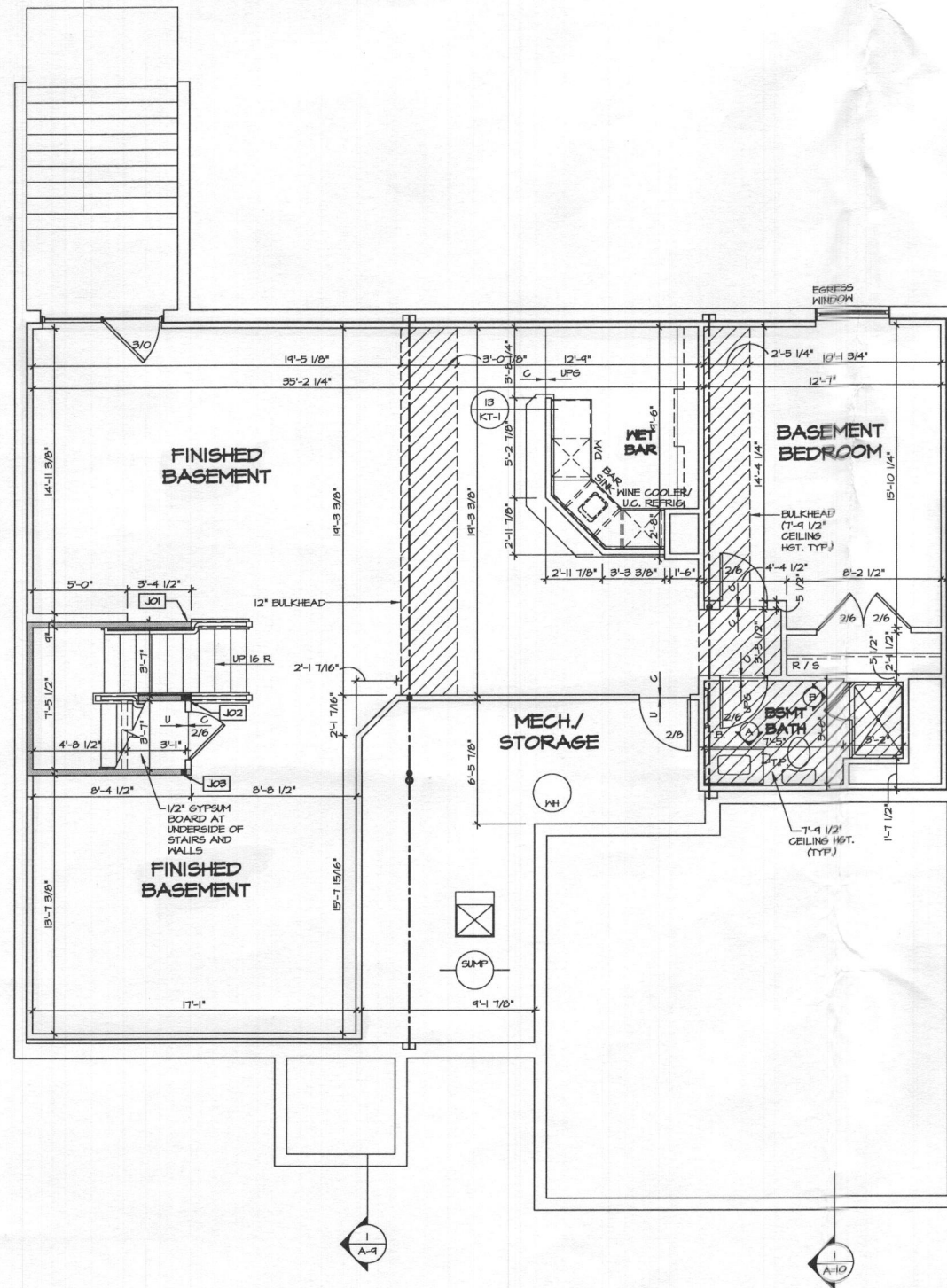
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	1670 SF
2ND FLOOR (BASE SF)	1861 SF
	3531 SF

SET - VERSION

14000 - 01

CS-1

C:\NVR\Drawings\LONGWOOD_14000_01\MOE-1W-0013\1540782\Drawings\Lot_Specific\CS-1_COVERSHEET.dwg 12/11/19 12:44 pm



BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

- ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (3) 2x6 w/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
- ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
- ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
- HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
- SEE BRACED WALL PANEL DETAIL SHEET FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
- SEE STANDARD DETAIL CATEGORY "I" SHEET(S) FOR INTERIOR TRIM DETAILS.
- SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
- ALL WINDOWS HAVE T-O 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
- ALL CASED OPENINGS AT T-11", UNLESS OTHERWISE NOTED.

GYPSUM NOTES

AT GARAGE:

5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.

AT STAIRS:

1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET

WITH OPTION "SCI" - DRYWALL UNFINISHED BASEMENT CEILING AREA

NOTES:

- 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
- A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0"X8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
- PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

LEGEND

- BEARING WALL
 - NON BEARING WALL
 - INDICATES BEARING FROM POINT-LOAD ABOVE
 - JACKS
 - BEAM/HEADER
 - PAD FOOTING
 - STEEL COLUMN
 - PORTAL FRAME
 - JOIST/TRUSS
 - LVL
 - ENGINEERING PAGE NUMBER
- SEE FC DETAILS FOR FRAMING CONNECTORS

BASEMENT JACK SCHEDULE

IDENTIFIER	DESCRIPTION	OPTIONS	ENG. NUM.	REMARKS
J01	JACK - (2) 2X4 SFF STUD GRADE	MAG	BOO20	
J02	JACK - (4) 2X4 SFF STUD GRADE	MAG	BOO16, BOO18	
J03	JACK - (2) 2X4 SFF STUD GRADE	MAG	BOO16	

The owner, or its representative, reserves the right to make changes to these plans at any time without notice. The owner, or its representative, shall be responsible for obtaining all necessary permits and for ensuring that the plans comply with all applicable codes and regulations. The owner, or its representative, shall be responsible for obtaining all necessary approvals and for ensuring that the plans are in accordance with all applicable laws and regulations.

NVR
NVR, Inc. Suite 100
5285 Westpark Drive
Frederick, MD 21703

SET NO. 14000
VERSION C1

DRAWN BY NGB

DATE: 12/11/19

OPTION

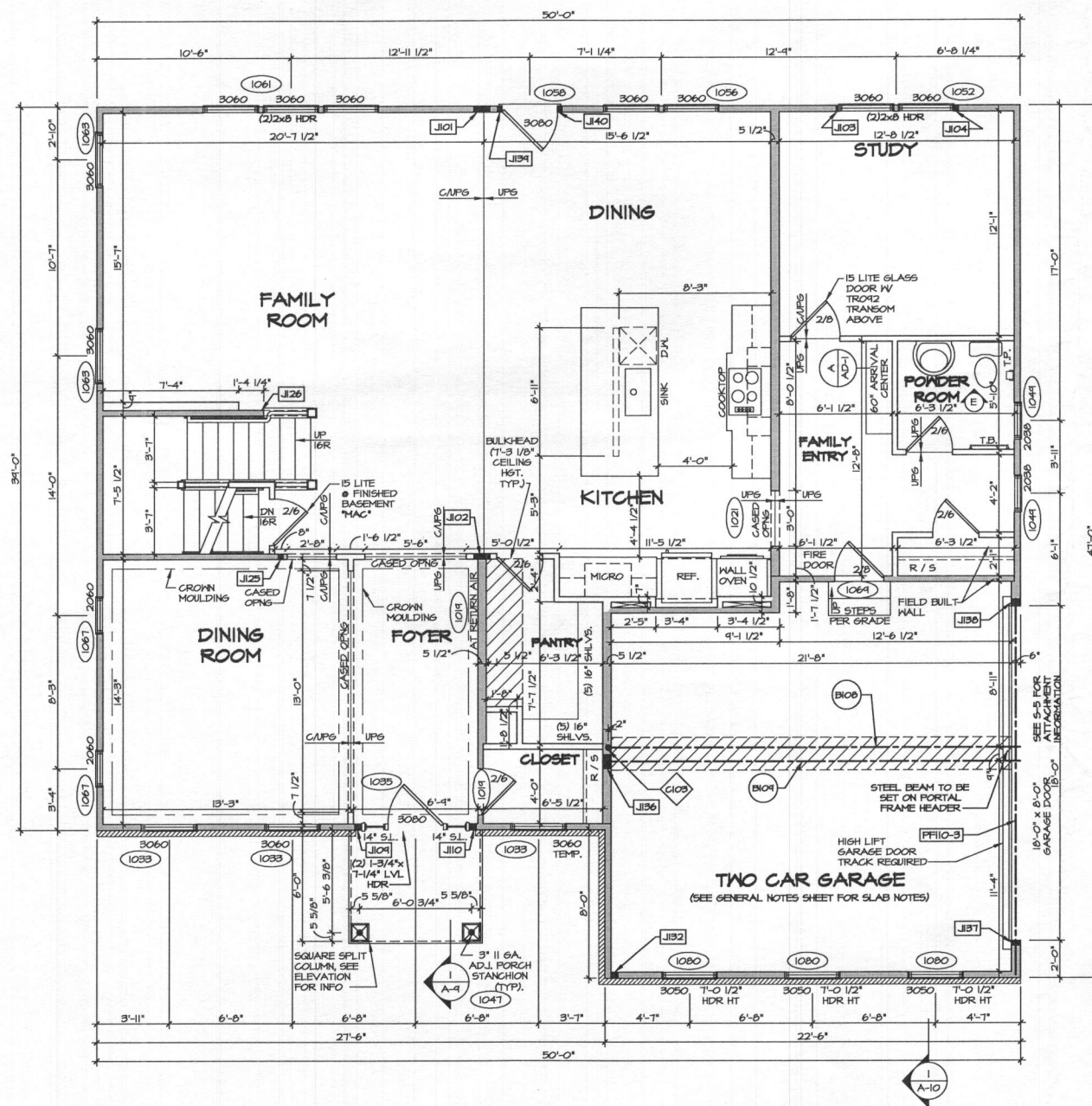
MODEL LONGWOOD

DRAWING TITLE BASEMENT FLOOR PLAN

OPTION DESCRIPTION

A-6

22



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

ALL WINDOWS HAVE
8'-0 1/2" HEADER HEIGHT
UNLESS OTHERWISE NOTED.

FLOOR PLAN NOTES

1. ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (3) 2x6 W/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
2. ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
3. ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
4. HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
5. SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
6. SEE STANDARD DETAIL CATEGORY "IT" SHEET(S) FOR INTERIOR TRIM DETAILS.
7. SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
8. ALL WINDOWS HAVE 1'-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
9. ALL CASED OPENINGS AT 1'-11", UNLESS OTHERWISE NOTED.

GYPSUM NOTES

AT GARAGE:
5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.

AT STAIRS:
1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET.

WITH OPTION "SC1" - DRYWALL UNFINISHED BASEMENT CEILING AREA

NOTES:

- 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
- A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0"x8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
- PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

LVL PLY TO PLY FASTENING SCHEDULE: (WHERE APPLICABLE BASED ON LVL USAGE)

- 1A - (2) PLY UP TO AND INCLUDING 11 7/8" TALL: FASTEN PLYS W/ (2) ROWS 16D NAILS AT 12" O.C.
- 2A - (2) PLY 14" TO AND 18" TALL (INCLUSIVE): FASTEN PLYS W/ (3) ROWS 16D NAILS AT 12" O.C.
- 3A - (2) PLY 20" TALL AND OVER: FASTEN PLYS W/ (4) ROWS 16D NAILS AT 12" O.C.
- 4A - (3) PLY UP TO AND INCLUDING 11 7/8" TALL: FASTEN PLYS W/ (2) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE
- 5A - (3) PLY 14" TO AND 18" TALL (INCLUSIVE): FASTEN PLYS W/ (3) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE
- 6A - (3) PLY 20" TALL AND OVER: FASTEN PLYS W/ (4) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE

FIRST FLOOR BEAM/HEADER SCHEDULE

IDENTIFIER	DESCRIPTION	LENGTH	OPTIONS	ENG. NUM.	REMARKS
B10B	BEAM STEEL - W10X44	22'-5"	GCC	1071, 1075, 1078	
B10C	BEAM STEEL - W10X39	22'-1"	GCC/BLA/EVA	1075	
PF10-3	LVL - 22	20'-2 1/2"	GCC/ZDK	1081, 1084, 1091	PORTAL FRAME - 6A

STEEL COLUMN SCHEDULE

IDENTIFIER	STYLE	HEIGHT	OPTIONS	ENG. NUM.	REMARKS
C10B	STANCHION - 3 IN SCHED 40	8'-1 5/8"	GCC	1071, 1075, 1078	

FIRST FLOOR JACK SCHEDULE

IDENTIFIER	DESCRIPTION	OPTIONS	ENG. NUM.	REMARKS
J101	JACK - (1) 2X4 SFF STUD GRADE		1029	
J102	JACK - (1) 2X4 SFF STUD GRADE		1029	
J103	JACK - 2X4 SFF STUD GRADE		1052	
J104	JACK - (2) 2X4 SFF STUD GRADE		1052	
J105	JACK - (3) 2X4 SFF STUD GRADE	BLA	1035, 1041	
J106	JACK - (3) 2X4 SFF STUD GRADE	BLA	1035, 1041	
J107	JACK - (2) 2X4 SFF STUD GRADE		1011	
J108	JACK - (2) 2X4 SFF STUD GRADE		1013	
J109	JACK - (2) 2X4 SFF STUD GRADE	GCC/BLA/EVA	1072	
J110	JACK - (6) 2X6 SFF STUD GRADE	GCC/BLA/EVA	1075	
J111	JACK - (2) 2X6 SFF STUD GRADE	GCC	1081, 1084, 1091	
J112	JACK - (3) 2X6 SFF STUD GRADE	GCC	1081, 1084, 1091	
J113	JACK - (2) 2X4 SFF STUD GRADE		1055	
J114	JACK - (2) 2X4 SFF STUD GRADE		1055	

LEGEND

- BEARING WALL
 - NON BEARING WALL
 - INDICATES BEARING FROM POINT-LOAD ABOVE
 - JACKS
 - BEAM/HEADER
 - PAD FOOTING
 - STEEL COLUMN
 - PORTAL FRAME
 - JOIST/TRUSS
 - LVL
 - ENGINEERING PAGE NUMBER
- SEE FC DETAILS FOR FRAMING CONNECTORS

REMARKS

REV. NO. DATE

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NVR
NVR, Inc.
5285 Washington Blvd.
Frederick, MD 21703

SET NO. 14000

VERSION C1

DRAWN BY NSB

DATE:

OPTION

MODEL LONGWOOD

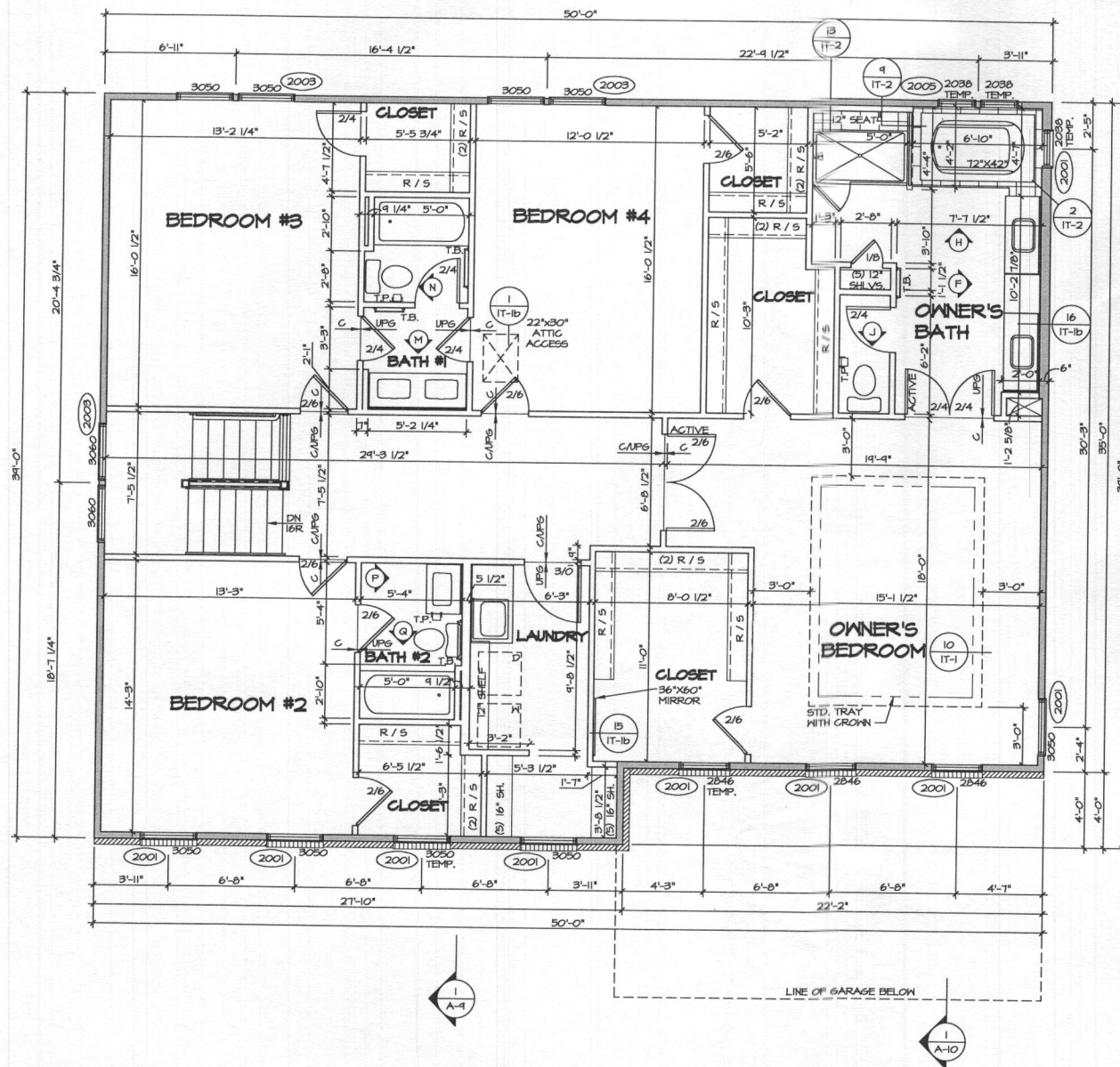
DRAWING TITLE FIRST FLOOR PLAN

OPTION DESCRIPTION

A-7

24

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1
A-8
SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

1. ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (3) 2x6 W/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
2. ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
3. ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 9 1/2", UNLESS OTHERWISE NOTED.
4. HATCHED AREAS INDICATE DROPPED CEILING. ALL DROPPED CEILING ARE 12" UNLESS OTHERWISE NOTED.
5. SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
6. SEE STANDARD DETAIL CATEGORY "IT" SHEET(S) FOR INTERIOR TRIM DETAILS.
7. SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
8. ALL WINDOWS HAVE 7'-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
9. ALL CASED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.

GYPSUM NOTES

AT GARAGE:

5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.

AT STAIRS:

1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET

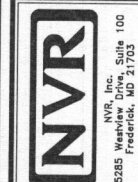
LEGEND

- BEARING WALL
- NON BEARING WALL
- INDICATES BEARING FROM POINT-LOAD ABOVE
- JACKS
- BEAM/HEADER
- PAD FOOTING
- STEEL COLUMN
- PORTAL FRAME
- JOIST/TRUSS
- LVL
- ENGINEERING PAGE NUMBER
- SEE FG DETAILS FOR FRAMING CONNECTORS

SECOND FLOOR JACK SCHEDULE

IDENTIFIER	DESCRIPTION	OPTIONS	ENG. NUM.	REMARKS
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SET NO. 14000	VERSION 01
DRAWN BY CAP	DATE:
OPTION DESCRIPTION	OPTION

SHEET NO. A-8