



# Building Permit Application

Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

Date Received: \_\_\_\_\_

Permit No.: B14002799

Building Address: 3180 Stabean Dr  
City: Columbia Fulton State: MD Zip Code: 20759  
Suite/Apt. # \_\_\_\_\_ SDP/WP/BA #: \_\_\_\_\_  
Subdivision: \_\_\_\_\_  
Lot: 7 Tax Map: \_\_\_\_\_ Parcel: \_\_\_\_\_  
Existing Use: Residential  
Proposed Use: Sun room  
Estimated Construction Cost: \$ 50,000  
Description of Work: Sun room & deck 20x30  
Single level sunroom on crawlspace with  
valled ceiling. Covered deck with stairs  
ceiling over porch. Foundation deck 12x16  
with steps  
Occupant/Tenant Name: Mark Giamm  
Was tenant space previously occupied? ☒ Yes ☐ No  
Contact Name: \_\_\_\_\_  
Address: 8  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Property Owner's Name: Mark Giamm  
Address: 3180 Stabean Dr  
City: Fulton State: MD Zip Code: 20759  
Phone: 301-646-7001 Fax: \_\_\_\_\_  
Email: \_\_\_\_\_  
Applicant's Name & Mailing Address, (If other than stated herein)  
Applicant's Name: Seacore Design Build  
Address: 4427 Chestnut Lane  
City: Rockville State: MD Zip Code: 20853  
Phone: 301-934-9322 Fax: \_\_\_\_\_  
Email: \_\_\_\_\_  
Contractor Company: Seacore Design Build  
Contact Person: Matt Webb  
Address: 4427 Chestnut Lane  
City: Rockville State: MD Zip Code: 20853  
License No.: 168498  
Phone: 301-934-9322 Fax: \_\_\_\_\_  
Email: \_\_\_\_\_  
Engineer/Architect Company: MD Architects  
Responsible Design Prof.: \_\_\_\_\_  
Address: 611 Columbia Ave  
City: Farmersburg State: MD Zip Code: 20877  
Phone: 301-938-0311 Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

| Commercial Building Characteristics              | Residential Building Characteristics  |
|--|---|
| Height:  | <input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse |
| No. of stories:                                  | Depth Width   |
| Gross area, sq. ft./floor:                       | 1st floor: <u>30'</u> <u>30'</u>  |
| Area of construction (sq. ft.):                  | 2nd floor: <u>None</u>  |
| Use group:                                       | Basement: <u>Crawl</u>  |
| Construction type:                               | <input checked="" type="checkbox"/> Finished Basement                                 |
| <input type="checkbox"/> Reinforced Concrete     | <input type="checkbox"/> Unfinished Basement  |
| <input type="checkbox"/> Structural Steel        | <input checked="" type="checkbox"/> Crawl Space                                       |
| <input type="checkbox"/> Masonry                 | <input type="checkbox"/> Slab on Grade  |
| <input type="checkbox"/> Wood Frame              | No. of Bedrooms:  |
| <input type="checkbox"/> State Certified Modular | Multi-family Dwelling   |
|  | No. of efficiency units:  |
|  | No. of 1 BR units:  |
|  | No. of 2 BR units:  |
|  | No. of 3 BR units:  |
|  | Other Structure:  |
|  | Dimensions:   |
|  | Footings:   |
|  | Roof:   |
|  | <input type="checkbox"/> State Certified Modular                                      |
|  | <input type="checkbox"/> Manufactured Home  |

➤ Roadside Tree Project Permit  
☐ Yes ☒ No  
Roadside Tree Project Permit # \_\_\_\_\_

| Utilities  |
|--|
| Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No        |
| Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No                        |
| Water Supply   |
| <input type="checkbox"/> Public  |
| <input checked="" type="checkbox"/> Private  |
| Sewage Disposal  |
| <input type="checkbox"/> Public  |
| <input type="checkbox"/> Private   |
| Heating System   |
| <input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil            |
| <input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane Gas |
| <input type="checkbox"/> Other:  |
| Sprinkler System:  |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No                  |
| Grading Permit Number:   |
| Building Shell Permit Number:  |

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Mark Giamm  
Email Address: Mark@seacorebuild.com  
Title/Company: President

Print Name: Robert Webb  
Date: 8/20/19

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY  
\*\*PLEASE WRITE NEATLY & LEGIBLY\*\*  
-FOR OFFICE USE ONLY-

| AGENCY               | DATE          | SIGNATURE OF APPROVAL |
|----------------------|---------------|-----------------------|
| State Highways       |               |                       |
| Building Officials   |               |                       |
| PSZA ( Zoning )      |               |                       |
| PSZA ( Engineering ) |               |                       |
| Health               | <u>4/2/20</u> | <u>H. Oswald</u>      |

DPZ SETBACK INFORMATION  
Front: \_\_\_\_\_  
Rear: \_\_\_\_\_  
Side: \_\_\_\_\_  
Side St.: \_\_\_\_\_  
All minimum setbacks met? ☐ Yes ☐ No  
Is Entrance Permit Required? ☐ Yes ☐ No  
Historic District? ☐ Yes ☐ No  
Lot Coverage for New Town Zone: \_\_\_\_\_  
SDP/Red-line approval date: \_\_\_\_\_

|                 |                 |
|-----------------|-----------------|
| Filing Fee      | \$ <u>25.00</u> |
| Permit Fee      | \$              |
| Tech Fee        | \$              |
| Excise Tax      | \$              |
| PSFS            | \$              |
| Guaranty Fund   | \$              |
| Add'l per Fee   | \$              |
| Total Fees      | \$              |
| Sub- Total Paid | \$              |
| Balance Due     | \$              |
| Check           | # <u>8812</u>   |



Bureau of Environmental Health  
8930 Stanford Blvd | Columbia, MD 21045  
410.313.2640 - Voice/Relay  
410.313.2648 - Fax  
1.866.313.6300 - Toll Free

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Maura J. Rossman, M.D., Health Officer

September 3, 2019

Sycamore Design Build Inc.  
4427 Chestnut Lane  
Rockville, MD  
Attn: Robert Webb

Sent via email to MATT@SYCAMOREDB.COM

RE: B19002799  
8180 Stabean Drive  
Fulton, MD

Dear Mr. Webb:

This letter is in response to building permit B19002799. The application describes a sunroom and covered porch addition. Upon review of the septic record for this property, it did not contain an approved perc cert plan establishing a septic disposal area for future septic system repairs. According to Howard County Code Sec 3.805, there must be an approved percolation certification plan establishing a septic disposal area for the property prior to health department approval of a building permit. Please see the perc test and plan requirements for developed lots (attached).

This office will need a revised building permit site plan drawn to appropriate scale (1:30 and 1:100) showing the well and septic system components meeting setbacks (see attachment). You may use the As-Built drawing (attached) to assist you.

At this time, building permit approval has been placed on hold. Should you have any questions, please don't hesitate to contact me.

Respectfully,

*Hank Oswald*

Hank Oswald, L.E.H.S  
Bureau of Environmental Health  
Well and Septic Program

## Oswald, Hank

---

**From:** Oswald, Hank  
**Sent:** Tuesday, September 03, 2019 2:45 PM  
**To:** 'MATT@SYCAMOREDB.COM'  
**Subject:** B19002799\_8180 Dabean Drive\_20x30 Sunroom and Deck  
**Attachments:** Building Permit Application Process.pdf; Well & Septic Setback Requirements.pdf; Percolation & Plan Requirements For Developed Lots.pdf; Septic Record\_8180.pdf; BP Memo\_8180 Stabean Drive.pdf

Robert Webb:

This office is in receipt of building permit, site plan and floor plan for a sun room and covered porch addition. Please see the attached memo with information about our requirements to receive building permit approval from the Health Department. Also, you will find other attachments regarding our building permit review process, perc cert plan requirements and a copy of our setbacks. Should you have any questions, please don't hesitate to ask.

Respectfully,

Hank

Hank Oswald  
Licensed Environmental Health Specialist  
Howard County Health Department  
Bureau of Environmental Health  
Well & Septic Program  
8930 Stanford Boulevard  
Columbia, MD 21045  
410.313.1786 (Office)  
[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)



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## Oswald, Hank

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**From:** Oswald, Hank  
**Sent:** Tuesday, October 01, 2019 1:58 PM  
**To:** 'josieganim@gmail.com'  
**Cc:** Williams, Jeffrey  
**Subject:** RE: waiver request B19002799  
**Attachments:** Well Drillers.pdf

Hello Mrs. Ganim:

Today, I reviewed the waiver request with the Deputy Director of Environmental Health, Mike Davis. In short, he isn't opposed to the waiver request, but he would like the site plan revised to scale (1:30 to 1:100) and reflect the existing house/deck foot print more accurately. Perhaps when the plan is brought up to scale, everything will align but for now the house and deck dimensions don't seem to line up.

In addition, the well must be brought above grade to meet current code. You may contact a well driller to have this work done (see attached list of well drillers)

Should you have any questions, please don't hesitate to ask.

Respectfully,

Hank

Hank Oswald  
Licensed Environmental Health Specialist  
Howard County Health Department  
Bureau of Environmental Health  
Well & Septic Program  
8930 Stanford Boulevard  
Columbia, MD 21045  
410.313.1786 (Office)  
[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)

---

**From:** Josie Ganim <[josieganim@gmail.com](mailto:josieganim@gmail.com)>  
**Sent:** Thursday, September 26, 2019 11:38 AM  
**To:** Williams, Jeffrey <[jewilliams@howardcountymd.gov](mailto:jewilliams@howardcountymd.gov)>  
**Subject:** FW: waiver request B19002799  
**Importance:** High

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

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Dear Jeff,

Thank you (on behalf of Mike Davis) for returning our phone call this morning.

Per your request, please see the attachments for your review. My apologies, as my scanner is on the blink - I can deliver a more legible signed waiver letter to your office should one be required for your records.

My husband can be reached at 301-646-7001 should you have any questions regarding this email. Also, you will see our builder's information listed below.

Water Doctor is pulling the water analysis lab report hopefully sometime later today – I will be sure to email that over to you once I receive it. It may not be until Monday. In the meantime, I have attached what I have from my office file.

Have a wonderful weekend ahead. Many thanks again for the phone call earlier today. ☺

God's blessings,

Josie & Mark Ganim

Builder:

Matt Webb  
Sycamore Design Build, Inc.

O. 301.924.9322  
C. 301.252.1355

## Oswald, Hank

---

**From:** Oswald, Hank  
**Sent:** Friday, September 06, 2019 11:32 AM  
**To:** MATT@SYCAMOREDB.COM  
**Subject:** RE: B19002799\_8180 Dabean Drive\_20x30 Sunroom and Deck  
**Attachments:** Engineer & Surveyor List Rev 6-28-02.pdf

Hi Matt:

This is a follow-up to our conversation regarding the project located 8180 Dabean Drive.

- While the existing system is within 100 feet of the well, the newly proposed sewage disposal area must meet the 100 ft. setback. The area must be large enough for 2 future systems
- The existing well must be brought up to current code (i.e. above grade etc.) prior to building permit approval. It will also be subjected to water testing for bacteria, nitrate and turbidity.
- The soil type is **not** wet season soil type, so perc testing may occur anytime.
- List of Engineers (attached)

The one thing I didn't mention is that the homeowner could try asking for a Waiver to Percolation Certification Plan requirement first. The letter should be addressed to the Deputy Director of Environmental Health, Mike Davis. The letter must be accompanied by a scaled site plan showing the well and septic components.

Should you have any questions, please don't hesitate to ask.

Respectfully,

Hank

---

**From:** Oswald, Hank  
**Sent:** Tuesday, September 03, 2019 2:45 PM  
**To:** MATT@SYCAMOREDB.COM  
**Subject:** B19002799\_8180 Dabean Drive\_20x30 Sunroom and Deck

Robert Webb:

This office is in receipt of building permit, site plan and floor plan for a sun room and covered porch addition. Please see the attached memo with information about our requirements to receive building permit approval from the Health Department. Also, you will find other attachments regarding our building permit review process, perc cert plan requirements and a copy of our setbacks. Should you have any questions, please don't hesitate to ask.

Respectfully,

Hank

Hank Oswald  
Licensed Environmental Health Specialist  
Howard County Health Department  
Bureau of Environmental Health  
Well & Septic Program  
8930 Stanford Boulevard  
Columbia, MD 21045  
410.313.1786 (Office)  
[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)



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**Oswald, Hank**

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**From:** matt Webb <matt@sycamoredb.com>  
**Sent:** Thursday, November 07, 2019 2:00 PM  
**To:** Oswald, Hank  
**Subject:** Re: B19002799\_8180 Dabean Drive\_20x30 Sunroom and Deck

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hank,

Picture we discussed is attached.

Thanks,

Matt Webb  
Sycamore Design Build, Inc.

O. 301.924.9322  
C. 301.252.1355

*Below grade well*



On Sep 6, 2019, at 11:32 AM, Oswald, Hank <[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)> wrote:

Hi Matt:

This is a follow-up to our conversation regarding the project located 8180 Dabeen Drive.

- While the existing system is within 100 feet of the well, the newly proposed sewage disposal area must meet the 100 ft. setback. The area must be large enough for 2 future systems
- The existing well must be brought up to current code (i.e. above grade etc.) prior to building permit approval. It will also be subjected to water testing for bacteria, nitrate and turbidity.
- The soil type is **not** wet season soil type, so perc testing may occur anytime.
- List of Engineers (attached)

The one thing I didn't mention is that the homeowner could try asking for a Waiver to Percolation Certification Plan requirement first. The letter should be addressed to the Deputy Director of Environmental Health, Mike Davis. The letter must be accompanied by a scaled site plan showing the well and septic components.

Should you have any questions, please don't hesitate to ask.

Respectfully,

Hank

---

**From:** Oswald, Hank

**Sent:** Tuesday, September 03, 2019 2:45 PM

**To:** [MATT@SYCAMOREDB.COM](mailto:MATT@SYCAMOREDB.COM)

**Subject:** B19002799\_8180 Dabeen Drive\_20x30 Sunroom and Deck

Robert Webb:

This office is in receipt of building permit, site plan and floor plan for a sun room and covered porch addition. Please see the attached memo with information about our requirements to receive building permit approval from the Health Department. Also, you will find other attachments regarding our building permit review process, perc cert plan requirements and a copy of our setbacks. Should you have any questions, please don't hesitate to ask.

Respectfully,

Hank

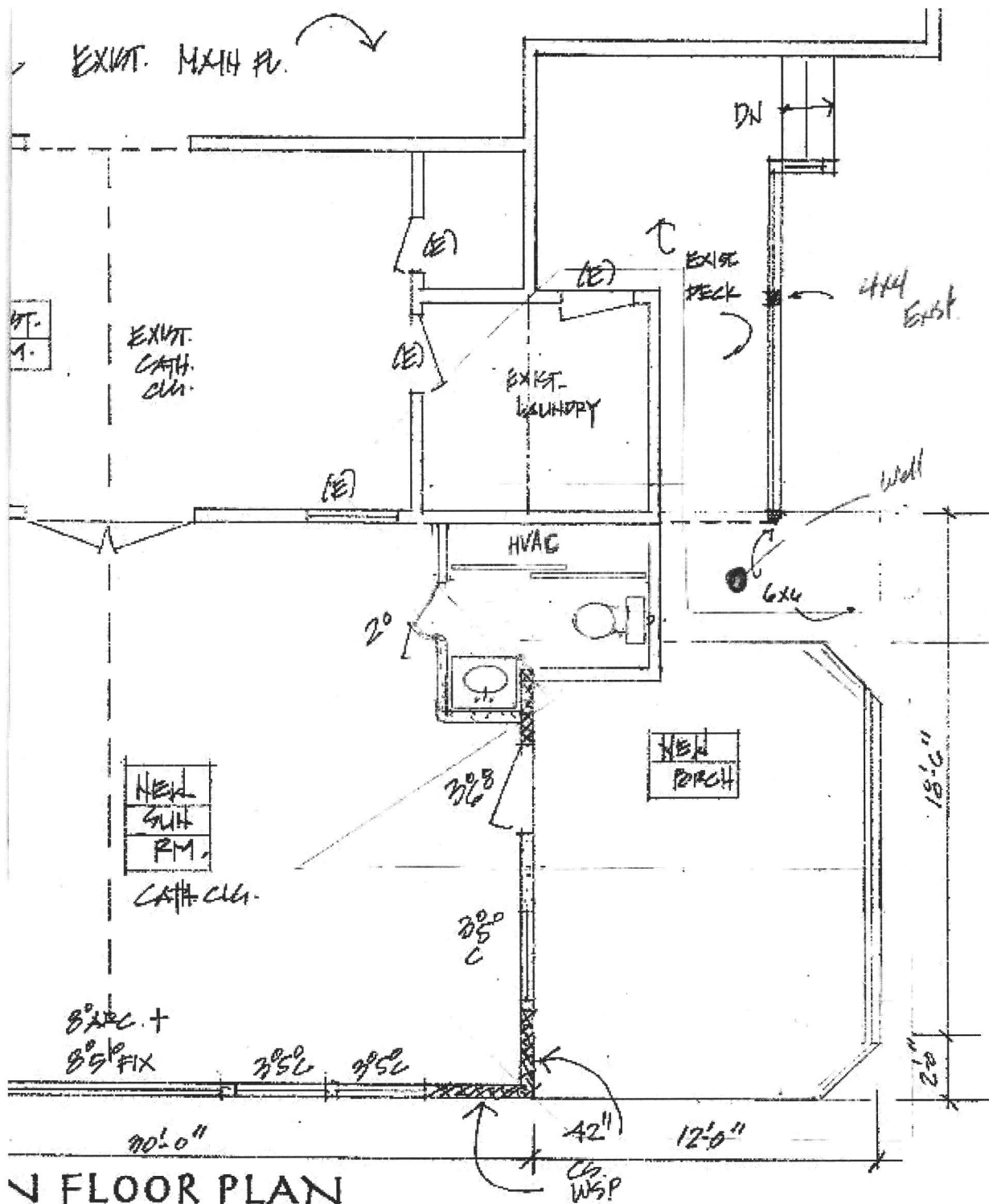
Hank Oswald  
Licensed Environmental Health Specialist  
Howard County Health Department

- Bureau of Environmental Health  
Well & Septic Program  
8930 Stanford Boulevard  
Columbia, MD 21045  
410.313.1786 (Office)  
[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)  
<image002.png>

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<Engineer & Surveyor List Rev 6-28-02.pdf>



..

Thanks,

Matt Webb  
Sycamore Design Build, Inc.

O. 301.924.9322  
C. 301.252.1355

## Oswald, Hank

---

**From:** Oswald, Hank  
**Sent:** Thursday, February 13, 2020 10:06 AM  
**To:** Matt Webb  
**Subject:** RE: Changes

Hi Matt:

To provide you with the most accurate answer, please submit latest floor plan and the latest site plan. The floor plan must match the site plan. We would also like to a portion of the site plan closest to the well enlarged and labeled to show existing house and new addition so we may verify that the new foundation and deck isn't any closer to the well. Is it safe to assume that the new half bath plumbing will be tied in to the plumbing in the existing laundry room? Let me know if you have any questions.

Hank

---

**From:** Matt Webb <matt@sycamoredb.com>  
**Sent:** Thursday, February 13, 2020 9:32 AM  
**To:** Oswald, Hank <hoswald@howardcountymd.gov>  
**Subject:** Changes

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

## Oswald, Hank

---

**From:** Oswald, Hank  
**Sent:** Tuesday, February 18, 2020 1:57 PM  
**To:** Williams, Jeffrey  
**Subject:** RE: Changes

Jeff - They said they're not relocating the powder room to that closet. The PR staying on the other side of the laundry room. Do they still need to ask for a variance, if they pull the foundation back away from the well, but keep the building walls where they are? He stated that they can cantilever the floor of the closet two feet or more from the well. That should put the foundation equal or further from the well than the existing house. Thanks, Hank

---

**From:** Williams, Jeffrey <jewilliams@howardcountymd.gov>  
**Sent:** Tuesday, February 18, 2020 9:42 AM  
**To:** Oswald, Hank <hoswald@howardcountymd.gov>  
**Subject:** Re: Changes

It looks like that new bathroom is getting a bit closer than the existing house corner. I think we need to tell them that we have to do a variance request even if its only a few feet closer. If Mike gets back before me, you can discuss with him. Otherwise, you can start them on the variance request. Did you confirm only a half bath? Do we know the septic is big enough and adequate? The chart may make us evaluate the system with the new bathroom.

Get [Outlook for Android](#)

---

**From:** Oswald, Hank <hoswald@howardcountymd.gov>  
**Sent:** Tuesday, February 18, 2020 8:00:56 AM  
**To:** Williams, Jeffrey <jewilliams@howardcountymd.gov>  
**Subject:** FW: Changes

Hi Jeff:

We spoke about this one last week. Attached, are the revised drawings. I will stop by later to discuss.

Thanks,

Hank

---

**From:** Matt Webb <matt@sycamoredb.com>  
**Sent:** Monday, February 17, 2020 1:38 PM  
**To:** Oswald, Hank <hoswald@howardcountymd.gov>  
**Subject:** Re: Changes

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hank,

See attached plans. If this is acceptable, we will submit to the permit office asap. Also attached is a separate plat with the well area enlarged. The gray existing deck (closest to the well) is to be removed.

**From:** Oswald, Hank  
**Sent:** Tuesday, September 03, 2019 2:45 PM  
**To:** [MATT@SYCAMOREDB.COM](mailto:MATT@SYCAMOREDB.COM)  
**Subject:** B19002799\_8180 Dabeau Drive\_20x30 Sunroom and Deck

Robert Webb:

This office is in receipt of building permit, site plan and floor plan for a sun room and covered porch addition. Please see the attached memo with information about our requirements to receive building permit approval from the Health Department. Also, you will find other attachments regarding our building permit review process, perc cert plan requirements and a copy of our setbacks. Should you have any questions, please don't hesitate to ask.

Respectfully,

Hank

Hank Oswald  
Licensed Environmental Health Specialist  
Howard County Health Department  
Bureau of Environmental Health  
Well & Septic Program  
8930 Stanford Boulevard  
Columbia, MD 21045  
410.313.1786 (Office)  
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<image002.png>

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<Engineer & Surveyor List Rev 6-28-02.pdf>

<Waiver Request Letter Approval\_11.8.19.pdf>

## Oswald, Hank

---

**From:** matt Webb <matt@sycamoredb.com>  
**Sent:** Wednesday, December 11, 2019 9:07 AM  
**To:** Oswald, Hank  
**Subject:** Re: B19002799\_8180 Dabean Drive\_20x30 Sunroom and Deck

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Ah, I got you. The revised plans have not been submitted yet. You want me to let you know when they are submitted?

Thanks,

Matt Webb  
Sycamore Design Build, Inc.

O. 301.924.9322  
C. 301.252.1355

On Dec 11, 2019, at 7:31 AM, Oswald, Hank <[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)> wrote:

Hi Matt:

I was talking about Mikes 2<sup>nd</sup> requirement in the letter. It states,

- The existing well may not be any closer to the proposed addition than the existing home and deck.

Thanks,

Hank

---

**From:** matt Webb <[matt@sycamoredb.com](mailto:matt@sycamoredb.com)>  
**Sent:** Wednesday, December 11, 2019 7:24 AM  
**To:** Oswald, Hank <[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)>  
**Subject:** Re: B19002799\_8180 Dabean Drive\_20x30 Sunroom and Deck

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hank,

I'm sorry, I thought I attached the report to the previous email. See attached water report here.

Thanks,

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hank,

Yes, the angled section of the deck is going to be removed. Yes, we are expecting the well drillers letter and will forward it to you. I didn't expect the plan to get to you so quick. Not complaining though!

Thanks,

Matt Webb  
Sycamore Design Build, Inc.

O. 301.924.9322  
C. 301.252.1355

On Mar 2, 2020, at 10:47 AM, Oswald, Hank <[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)> wrote:

Hi Matt:

The new site plan is not 1:30 scale. It appears to be 1:60. Is the angular portion of the existing deck closest to the well going away?

Also, did you get a chance to consult with the well driller about access and maintenance on this well?

Thanks,

Hank

Hank Oswald  
Licensed Environmental Health Specialist  
Howard County Health Department  
Bureau of Environmental Health  
Well & Septic Program  
8930 Stanford Boulevard  
Columbia, MD 21045  
410.313.1786 (Office)  
[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)  
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Matt Webb  
Sycamore Design Build, Inc.

O. 301.924.9322  
C. 301.252.1355

On Dec 11, 2019, at 7:17 AM, Oswald, Hank <[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)> wrote:

Hi Matt:

Yes, I will check the well. Did you satisfy the 2<sup>nd</sup> requirement in Mike Davis letter?

Thanks,

Hank

**From:** matt Webb <[matt@sycamoredb.com](mailto:matt@sycamoredb.com)>  
**Sent:** Monday, December 09, 2019 4:50 PM  
**To:** Oswald, Hank <[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)>  
**Subject:** Re: B19002799\_8180 Dabean Drive\_20x30 Sunroom and Deck

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hi Hank,

Please see attached water test. Also, the well head has been brought up above grade to spec. Do you come out and inspect that? Does anyone need to be there? Please let me know what else we need to do.

Thanks,

Matt Webb  
Sycamore Design Build, Inc.

O. 301.924.9322  
C. 301.252.1355

## Oswald, Hank

---

**From:** matt Webb <matt@sycamoredb.com>  
**Sent:** Wednesday, December 11, 2019 9:07 AM  
**To:** Oswald, Hank  
**Subject:** Re: B19002799\_8180 Dabean Drive\_20x30 Sunroom and Deck

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Matt Webb  
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O. 301.924.9322  
C. 301.252.1355

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- The existing well may not be any closer to the proposed addition than the existing home and deck.

Thanks,

Hank

**From:** matt Webb <matt@sycamoredb.com>  
**Sent:** Wednesday, December 11, 2019 7:24 AM  
**To:** Oswald, Hank <[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)>  
**Subject:** Re: B19002799\_8180 Dabean Drive\_20x30 Sunroom and Deck

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hank,

I'm sorry, I thought I attached the report to the previous email. See attached water report here.

Thanks,

current construction standards (i.e. extended above grade) by a MD licensed well driller then sampled by a MD state certified lab for bacteria and nitrate.

Should you have any questions, please don't hesitate to ask.

Respectfully,

Hank

**From:** matt Webb <[matt@sycamoredb.com](mailto:matt@sycamoredb.com)>

**Sent:** Thursday, November 07, 2019 2:00 PM

**To:** Oswald, Hank <[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)>

**Subject:** Re: B19002799\_8180 Dabeen Drive\_20x30 Sunroom and Deck

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hank,

Picture we discussed is attached.

Thanks,

Matt Webb  
Sycamore Design Build, Inc.

O. 301.924.9322  
C. 301.252.1355

<image001.jpg>

On Sep 6, 2019, at 11:32 AM, Oswald, Hank  
<[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)> wrote:

Hi Matt:

This is a follow-up to our conversation regarding the project located 8180 Dabeen Drive.

- While the existing system is within 100 feet of the well, the newly proposed sewage disposal area must meet the 100 ft. setback. The area must be large enough for 2 future systems
- The existing well must be brought up to current code (i.e. above grade etc.) prior to building permit approval. It will also be subjected to water testing for bacteria, nitrate and turbidity.

- The soil type is **not** wet season soil type, so perc testing may occur anytime.
- List of Engineers (attached)

The one thing I didn't mention is that the homeowner could try asking for a Waiver to Percolation Certification Plan requirement first. The letter should be addressed to the Deputy Director of Environmental Health, Mike Davis. The letter must be accompanied by a scaled site plan showing the well and septic components.

Should you have any questions, please don't hesitate to ask.

Respectfully,

Hank

**From:** Oswald, Hank  
**Sent:** Tuesday, September 03, 2019 2:45 PM  
**To:** [MATT@SYCAMOREDB.COM](mailto:MATT@SYCAMOREDB.COM)  
**Subject:** B19002799\_8180 Dabeau Drive\_20x30 Sunroom and Deck

Robert Webb:

This office is in receipt of building permit, site plan and floor plan for a sun room and covered porch addition. Please see the attached memo with information about our requirements to receive building permit approval from the Health Department. Also, you will find other attachments regarding our building permit review process, perc cert plan requirements and a copy of our setbacks. Should you have any questions, please don't hesitate to ask.

Respectfully,

Hank

Hank Oswald  
 Licensed Environmental Health Specialist  
 Howard County Health Department  
 Bureau of Environmental Health  
 Well & Septic Program  
 8930 Stanford Boulevard  
 Columbia, MD 21045  
 410.313.1786 (Office)

[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)  
<image002.png>

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<Engineer & Surveyor List Rev 6-28-02.pdf>

<Waiver Request Letter Approval\_11.8.19.pdf>

## Oswald, Hank

---

**From:** Oswald, Hank  
**Sent:** Thursday, April 02, 2020 8:46 AM  
**To:** Matt Webb  
**Subject:** RE: Site Plan\_8180 Stabean Drive

Hi Matt:

Good morning. The well drillers letter was the last thing we needed for BP approval. B19002799 has been approved by the Health Department.

Take care,

Hank

**From:** Matt Webb <matt@sycamoredb.com>  
**Sent:** Tuesday, March 31, 2020 1:26 PM  
**To:** Oswald, Hank <hoswald@howardcountymd.gov>  
**Subject:** Re: Site Plan\_8180 Stabean Drive

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hank,

I finally got the letter from the well company. See attached and let me know if you need anything else.

Thanks,

Matt Webb  
Sycamore Design Build, Inc.

O. 301.924.9322  
C. 301.252.1355

On Mar 2, 2020, at 11:07 AM, Oswald, Hank <[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)> wrote:

Matt:

Great thanks! Is the correct scale, 1:60?

Hank

**From:** Matt Webb <matt@sycamoredb.com>  
**Sent:** Monday, March 02, 2020 10:58 AM  
**To:** Oswald, Hank <[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)>  
**Subject:** Re: Site Plan\_8180 Stabean Drive

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hank,

Yes, the angled section of the deck is going to be removed. Yes, we are expecting the well drillers letter and will forward it to you. I didn't expect the plan to get to you so quick. Not complaining though!

Thanks,

Matt Webb  
Sycamore Design Build, Inc.

O. 301.924.9322  
C. 301.252.1355

On Mar 2, 2020, at 10:47 AM, Oswald, Hank <[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)> wrote:

Hi Matt:

The new site plan is not 1:30 scale. It appears to be 1:60. Is the angular portion of the existing deck closest to the well going away?

Also, did you get a chance to consult with the well driller about access and maintenance on this well?

Thanks,

Hank

Hank Oswald  
Licensed Environmental Health Specialist  
Howard County Health Department  
Bureau of Environmental Health  
Well & Septic Program  
8930 Stanford Boulevard  
Columbia, MD 21045  
410.313.1786 (Office)  
[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)  
<image003.png>

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**From:** Oswald, Hank  
**Sent:** Tuesday, September 03, 2019 2:45 PM  
**To:** [MATT@SYCAMOREDB.COM](mailto:MATT@SYCAMOREDB.COM)  
**Subject:** B19002799\_8180 Dabean Drive\_20x30 Sunroom and Deck

Robert Webb:

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Respectfully,

Hank

Hank Oswald  
Licensed Environmental Health Specialist  
Howard County Health Department  
Bureau of Environmental Health  
Well & Septic Program  
8930 Stanford Boulevard  
Columbia, MD 21045  
410.313.1786 (Office)  
[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)  
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<Engineer & Surveyor List Rev 6-28-02.pdf>

<Waiver Request Letter Approval\_11.8.19.pdf>

**COMPLETE THIS FORM WHEN DROPPING OFF ANY  
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY  
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 2/25/20

To: Health Dept Hank Oswald  
(Person's Name and Division)

From: Matt Webb, Sycamore Design Build (301) 252-1355  
(Your Name, Company Name and Telephone Number)

Subject: Project name Gavin

Project site address 8180 Stabean Dr.

Permit # B19002799 SDP # \_\_\_\_\_

Other information pertinent to this project \_\_\_\_\_

☒ Please check the attachments below that you are submitting with this transmittal:

- ☐ Letter of response to address plan review comment letter
- ☒ Revised plans and/or revised details: When submitting for a complete re-review, duplicate sets shall be submitted.
- ☐ Letter Summarizing Changes
- ☐ Energy conservation calculations
- ☐ Copies of \_\_\_\_\_ (be specific).
- \_\_\_\_\_ Health Department Request \_\_\_\_\_ DPZ/ DED Request \_\_\_\_\_ Applicant's Request
- \_\_\_\_\_ Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # \_\_\_\_\_
- ☒ Other moved foundation & deck away from wall, deleted roof over well & existing deck, Per Health Dept. Request.

**Contact Person Information: (Required)**

Matt Webb  
Please Print Name

Telephone No: 301-252-1355

E-Mail Address: matt@sycamoredb.com

**PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.**

Received by

A. Skurman

CC: Plan Review