

Maura J. Rossman, M.D., Health Officer

November 25, 2019

Matt Webb
Sent via email
matt@sycamoredb.com

RE: 8180 Stabean Drive
Fulton, MD 20759

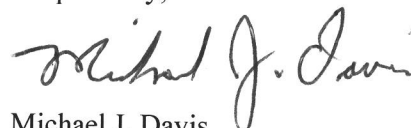
Mr. Webb:

This letter is being issued in response to your email sent on November 18, 2019. Be advised that any waiver request to waive Howard County Code and/or variance to the Code of Maryland Regulation must be requested by the owner(s) of the property. Note that the Health Department does not offer a waiver allowing a permanent or physical structure to be built over an existing well. The Health Department approved the previous request to waive the Howard County Code requirement for a Perc Certification Plan pending the following requirements:

- The pit well must be upgraded by having a well driller licensed in the state of MD extend the well casing at least eight (8) inches above grade and confirm the existence of or install a pitless adapter;
- the existing well may not be any closer to the proposed addition than the existing home and deck;
and
- the well water is tested by a MD state certified lab and is negative for bacteria and nitrate.

Please contact the Bureau of Environmental Health, Well and Septic Program at (410) 313-1771 for specific instructions on how to proceed.

Respectfully,



Michael J. Davis
Assistant Director
Bureau of Environmental Health

BA Approved
on 4/2/2020

C: Mark & Josie Ganim, josieganim@gmail.com *

Well 78" above grade w/
pitless
* Revised site plan dated
2/25/20 w/ addition no
closer than ex. house.
1/2018
* Water sample results OK
* Letter from Eastwood - Wilson
dated 3/31/20 - OK

Oswald, Hank

From: matt Webb <matt@sycamoredb.com>
Sent: Monday, November 18, 2019 1:15 PM
To: Oswald, Hank
Subject: Re: B19002799_8180 Dabean Drive_20x30 Sunroom and Deck
Attachments: 8180-GANIM PLAT PROPOSED.pdf

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hank,

We are grateful for the waiver and I hate to ask, but before we realized the well was right against the deck, we designed the new deck over the existing well. Now I've been back and forth with the owner and he's frustrated that he has to spend more to modify the plans and that he won't get what he wants. So my question is: is there any reason why we couldn't get approval to build the deck over the well and leave an access panel to service it? If we have to request a waiver again, that's fine. But if you think it's never going to get approval, then we won't bother.

The attached plat shows the new requested deck line in red. The well would be just inside the edge of the deck. We can get creative and make the entire edge of the deck open up if needed. However, the owner has told me he has pulled the line and pump by hand. The well is only 60 ft deep.

Please let me know your thoughts. This would make this process much easier!

Thanks,

Matt Webb
Sycamore Design Build, Inc.

O. 301.924.9322
C. 301.252.1355

On Nov 8, 2019, at 8:30 AM, Oswald, Hank <hoswald@howardcountymd.gov> wrote:

Hello Mr. Webb:

I discussed this with the Deputy Director of Environmental Health, Mike Davis, and he has approved the waiver request (see attached). Building permit approval will be granted once the well has been brought up to current construction standards (i.e. extended above grade) by a MD licensed well driller then sampled by a MD state certified lab for bacteria and nitrate.

Should you have any questions, please don't hesitate to ask.

Respectfully,

Hank

From: matt Webb <matt@sycamoredb.com>
Sent: Thursday, November 07, 2019 2:00 PM
To: Oswald, Hank <hoswald@howardcountymd.gov>
Subject: Re: B19002799_8180 Dabean Drive_20x30 Sunroom and Deck

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hank,

Picture we discussed is attached.

Thanks,

Matt Webb
Sycamore Design Build, Inc.

O. 301.924.9322
C. 301.252.1355

<image001.jpg>

On Sep 6, 2019, at 11:32 AM, Oswald, Hank <hoswald@howardcountymd.gov> wrote:

Hi Matt:

This is a follow-up to our conversation regarding the project located 8180 Dabean Drive.

- While the existing system is within 100 feet of the well, the newly proposed sewage disposal area must meet the 100 ft. setback. The area must be large enough for 2 future systems
- The existing well must be brought up to current code (i.e. above grade etc.) prior to building permit approval. It will also be subjected to water testing for bacteria, nitrate and turbidity.
- The soil type is **not** wet season soil type, so perc testing may occur anytime.
- List of Engineers (attached)

The one thing I didn't mention is that the homeowner could try asking for a Waiver to Percolation Certification Plan requirement first. The letter should be addressed to the Deputy Director of Environmental Health, Mike Davis. The letter must be accompanied by a scaled site plan showing the well and septic components.

Should you have any questions, please don't hesitate to ask.

Respectfully,

Hank

Davis, Michael J

From: Davis, Michael J
Sent: Tuesday, November 26, 2019 2:42 PM
To: matt@sycamoredb.com
Cc: josieganim@gmail.com
Subject: 8180 Stabean Drive
Attachments: [Untitled].pdf

Mr. Webb,

Please find attached a response to your November 18, 2019 email to Mr. Oswald.

Michael J. Davis
Assistant Director
Bureau of Environmental Health
Howard County Health Department
8930 Stanford Blvd.
Columbia, MD 21045

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