



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: B19000 314

Building Address: 3100 MD RTE 97/ROXBURY MILLS RD
City: GLENWOOD State: MD Zip Code: 21738
Suite/Apt. #: _____ SDP/WP/BA #: _____
Subdivision: _____
Lot: 2 Tax Map: 14 Parcel: 224

Existing Use: RESIDENTIAL R-3 SINGLE FAMILY
Proposed Use: RESIDENTIAL R-4 GROUP HOME (8 BEDS)
Estimated Construction Cost: \$500,000.00
Description of Work: SOME INTERIOR RECONFIGURATION. ENCLOSE EXISTING STAIR FOR EXITING. REFRAME PORTION OF ROOF FOR HEADROOM AT STAIR. REPLACE SOME WINDOWS & BUILD 1 DORMER FOR EMERGENCY ESCAPE. REPLACE SOME LIGHT FIXTURES. REPLACE OR MODIFY EXISTING DOOR HARDWARE. INSTALL 13D SPRINKLER & FIRE ALARM
Occupant/Tenant Name: MONTENIDO AFFILIATES
Was tenant space previously occupied? ☐ Yes ☐ No
Contact Name: DAVID REZENDES
Address: 6100 SW 76TH STREET
City: MIAMI State: FL Zip Code: 33143
Phone: 860-984-6313 Fax: 305-424-7540
Email: drezendes@montenidofaffiliates.com

Property Owner's Name: 3100 NW ROXBURY MILLS ROAD INVESTMENTS, LLC
Address: 6100 SW 76TH STREET
City: MIAMI State: FL Zip Code: 33143
Phone: 860-984-6313 Fax: 305-424-7540
Email: drezendes@montenidofaffiliates.com

Applicant's Name & Mailing Address, (If other than stated herein)

Applicant's Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Contractor Company: TBD - LETTER TO FOLLOW

Contact Person: _____
Address: _____
City: _____ State: _____ Zip Code: _____
License No.: _____
Phone: _____ Fax: _____
Email: _____

Engineer/Architect Company: RONALD JOHNSTON & ASSOC., ARCH.

Responsible Design Prof.: RONALD JOHNSTON

Address: 11407 BARLEY FIELD WAY

City: MARIOTTESVILLE State: MD Zip Code: 21104

Phone: 410-442-3667 Fax: 410-442-8033

Email: ronerjarchitect.com

Commercial Building Characteristics	Residential Building Characteristics
Height: <u>18.3'</u>	☐ SF Dwelling ☐ SF Townhouse
No. of stories: <u>3 ABOVE GRADE / 1 BELOW</u>	Depth _____ Width _____
Gross area, sq. ft./floor: <u>BSMT 4009</u>	1st floor: _____
<u>1ST 5109 2ND 3456 3RD 1113</u>	2nd floor: _____
Area of construction (sq. ft.): <u>1829</u>	Basement: _____
<u>LEVEL 2 AREAS ONLY</u>	☐ Finished Basement
Use group: <u>R-4 (CHANGE FROM R-3)</u>	☐ Unfinished Basement
Construction type: _____	☐ Crawl Space
☐ Reinforced Concrete	☐ Slab on Grade
☐ Structural Steel	No. of Bedrooms: _____
☒ Masonry	<u>Multi-family Dwelling</u>
☒ Wood Frame	No. of efficiency units: _____
☐ State Certified Modular	No. of 1 BR units: _____
	No. of 2 BR units: _____
	No. of 3 BR units: _____
	Other Structure: _____
	Dimensions: _____
☒ Roadside Tree Project Permit	Footings: _____
☐ Yes ☒ No	Roof: _____
Roadside Tree Project Permit # _____	☐ State Certified Modular
	☐ Manufactured Home

Utilities	
Electric: ☒ Yes ☐ No	
Gas: ☒ Yes ☐ No	
<u>Water Supply</u>	
☐ Public	
☒ Private <u>WELL</u>	
<u>Sewage Disposal</u>	
☐ Public	
☒ Private <u>SEPTIC</u>	
<u>Heating System</u>	
☐ Electric ☐ Oil	
☒ Natural Gas ☐ Propane Gas	
☐ Other: _____	
<u>Sprinkler System:</u>	
☐ Yes ☒ No - NOT EXISTING	
<u>13-D SPRINKLER TO BE INSTALLED</u>	
Grading Permit Number: _____	
Building Shell Permit Number: _____	

RECEIVED

FEB 04 2019

LICENSES & PERMITS DIVISION

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: [Signature]
Email Address: ronerjarchitect.com

Print Name: RONALD K. JOHNSTON
Date: FEB. 4, 2019

Title/Company

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>2/11/19</u>	<u>U. Oswald</u>

Is Sediment Control approval required for issuance? ☐ Yes ☐ No

☐ CONTINGENCY CONSTRUCTION START

tribution of Copies: White: Building Officials

Green: PSZA, Zoning

Yellow: PSZA, Engineering

Pink: Health

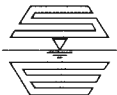
Gold: SHA

Operations\Updated Forms\BuildingPermitApplication03.29.2018.docx

DPZ SETBACK INFORMATION
Front: _____
Rear: _____
Side: _____
Side St.: _____
All minimum setbacks met? ☐ Yes ☐ No
Is Entrance Permit Required? ☐ Yes ☐ No
Historic District? ☐ Yes ☐ No
Lot Coverage for New Town Zone: _____
SDP/Red-line approval date: _____

Filing Fee	\$ <u>135.00</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	# <u>5699</u>

* Per George ok to take without MEP's to be provided at later date.
* Final as per Alteration per Don Mark *



SILL ENGINEERING GROUP, LLC

Civil Engineering for Land Development

PAUL M. SILL, PE, LEED AP

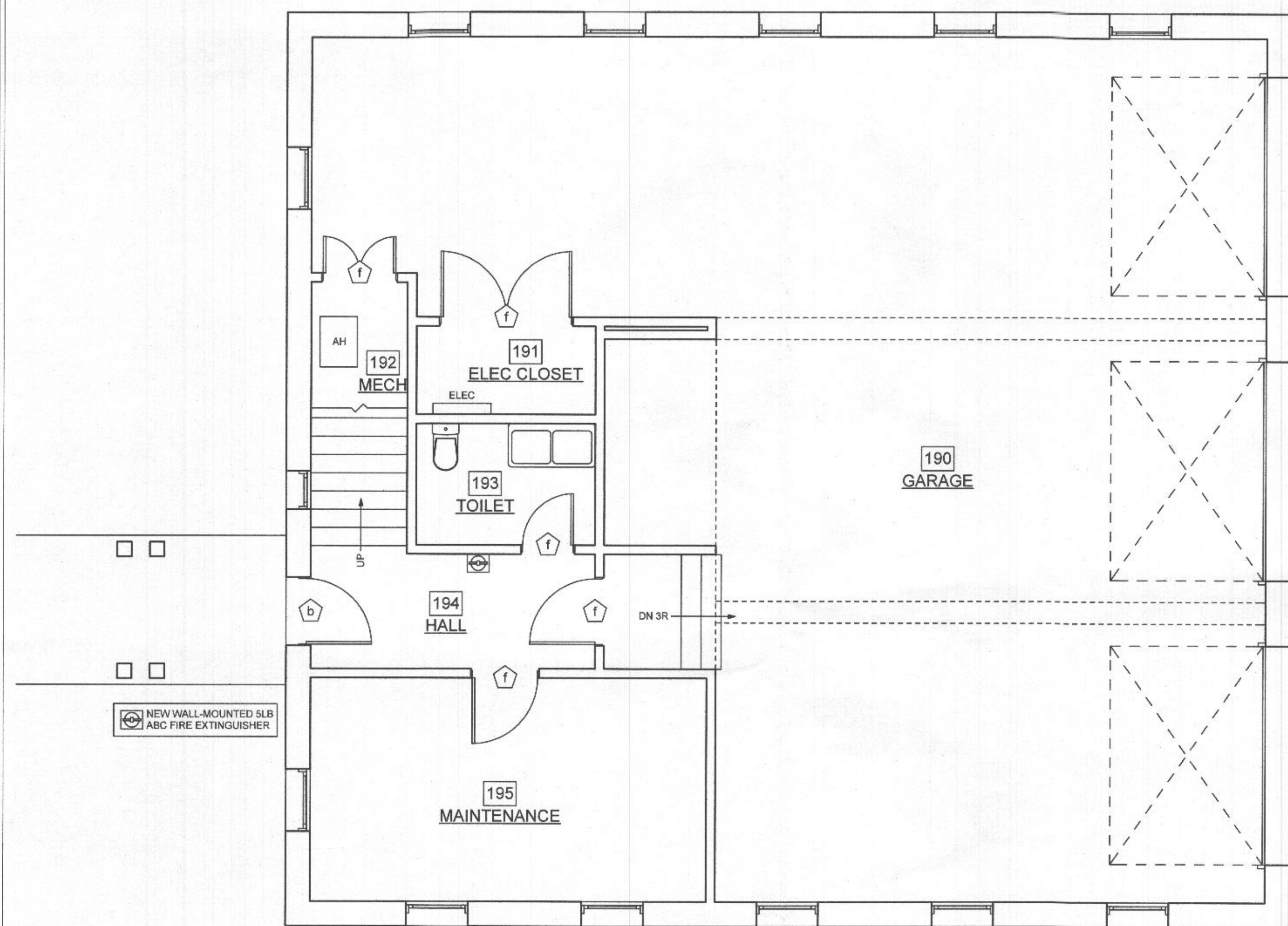
11130 Dovedale Court, Suite 200 • Marriottsville, MD 21104

Office: 443-325-5076 Ext: 102 • Cell: 443-878-4314

Fax: 410-696-2022

Email: paul@sillengineering.com

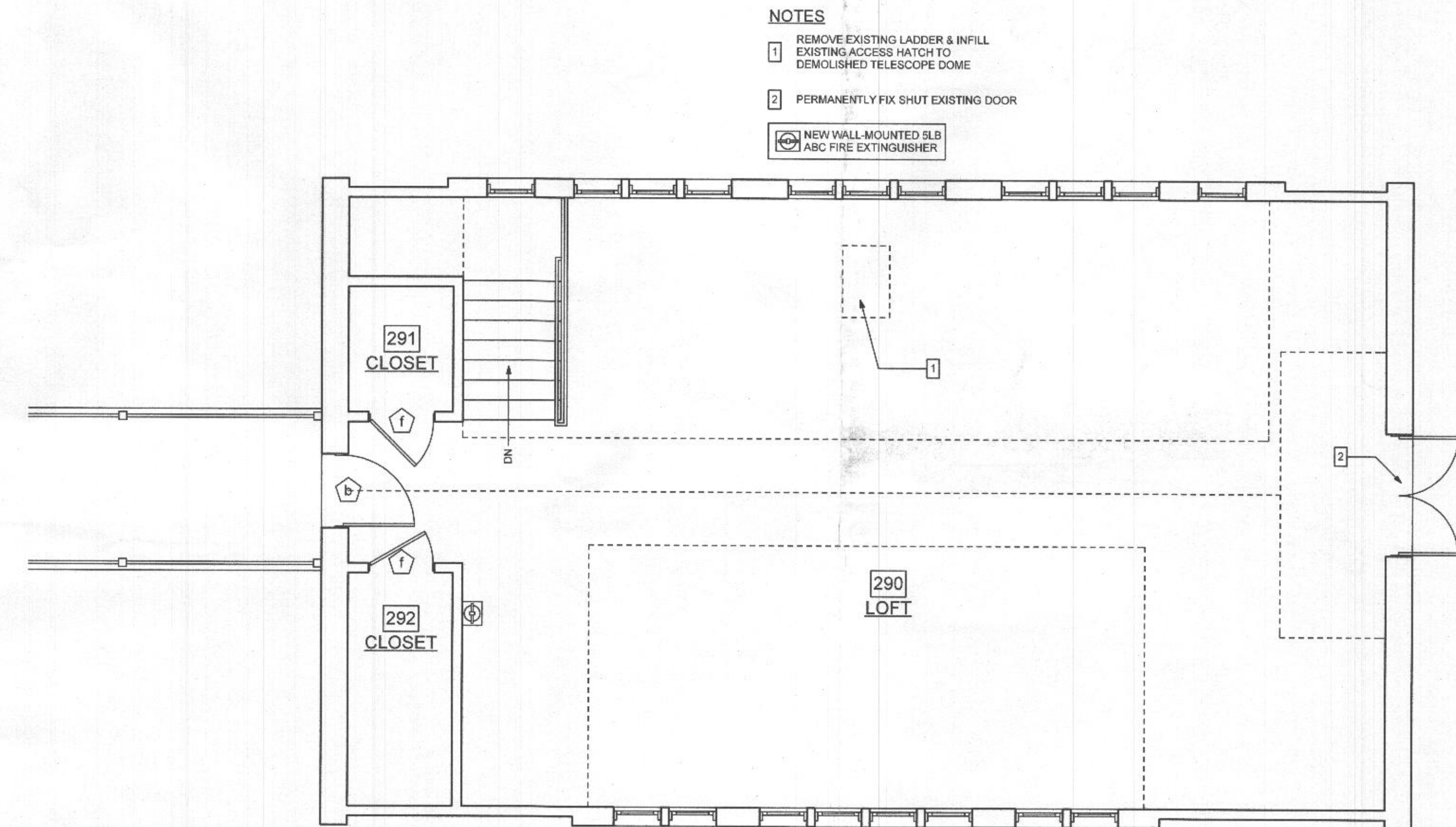
Website: www.sillengineering.com



Proposed Garage First Floor Plan

SCALE: 1/4" = 1'-0"

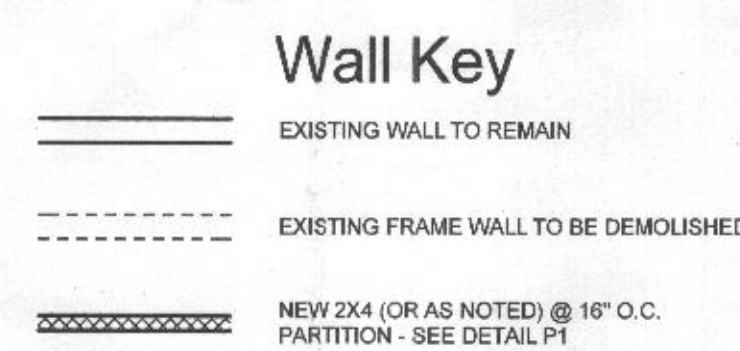
0 2' 4' 8'



Proposed Garage Second Floor Plan

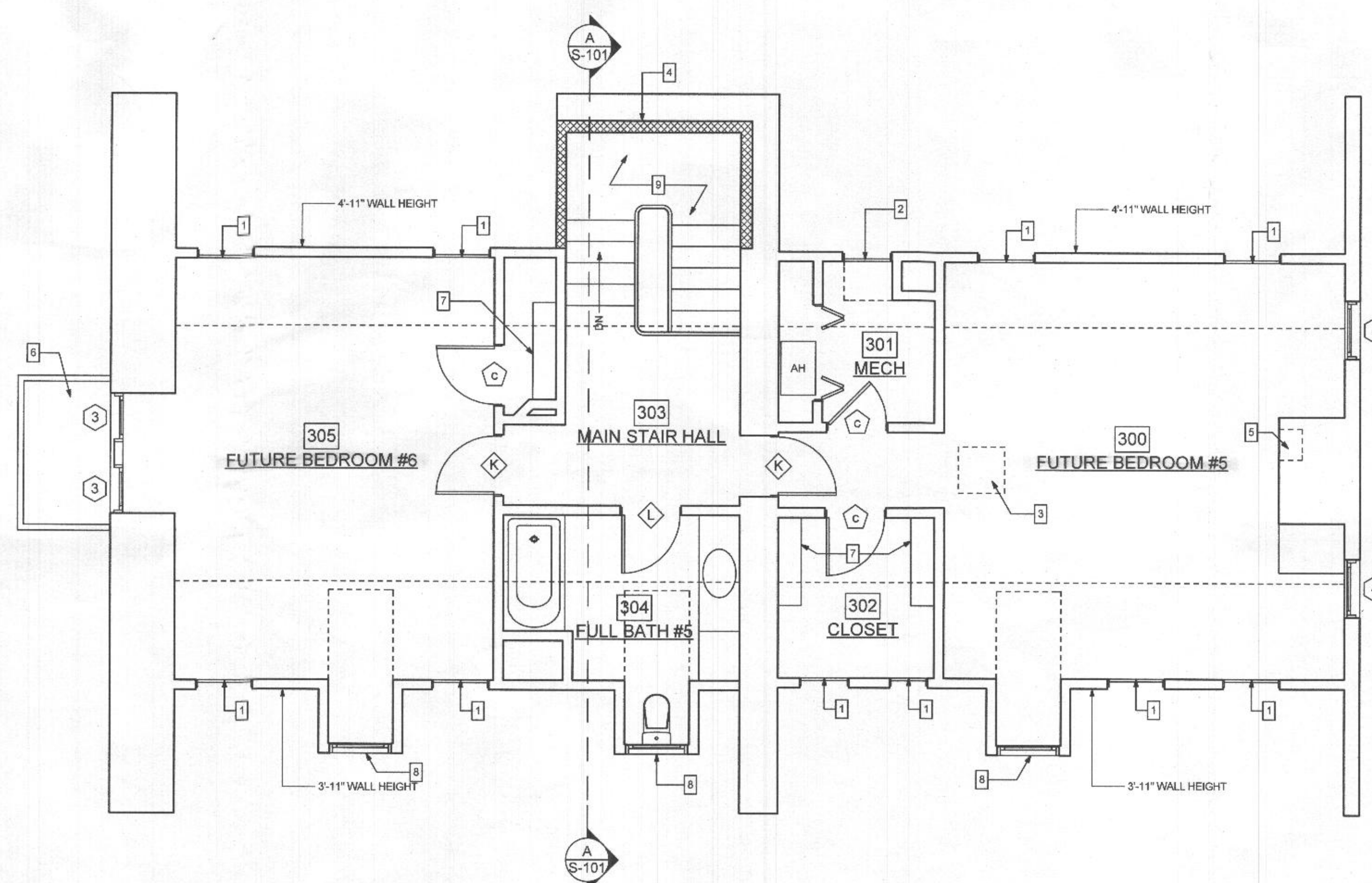
SCALE: 1/4" = 1'-0"

0 2' 4' 8'



NOTES

- 1 EXISTING UNDER-EAVE STORAGE SPACES TO BE ABANDONED - PERMANENTLY FIX EXISTING ACCESS PANELS CLOSED
- 2 PROVIDE NEW HASP AND PADLOCK AT EXISTING ATTIC ACCESS PANEL
- 3 EXISTING ACCESS PANEL TO EXISTING ATTIC - PROVIDE NEW LOCK OR REPLACE W/ NEW LOCKABLE A.P.
- 4 NEW 2X6 EXTERIOR FRAME WALL BUILT ON EXISTING WALL/ROOF TO SUPPORT NEW RAFTERS OVER - SEE SECTION A
- 5 EXISTING ACCESS PANEL TO BE ABANDONED - PERMANENTLY FIX CLOSED
- 6 NEW 80"x48" BOLT-ON METAL BALCONY - DECORON PFB-80X48 OR SIMILAR - FASTENED TO EXISTING MASONRY EXTERIOR WALL WITH ANCHORS PER BALCONY MANUFACTURER PROVIDE NEW ANTI-LIGATURE ROD MOUNTED TO NEW 1X12 FASTENED TO EXISTING WALL
- 7 REMOVE EXISTING STORM WINDOWS, SCRAPE & REPAINT EXISTING WOOD WINDOW AS REQUIRED, & REINSTALL STORM WINDOWS
- 8 NEW ROOF OVER - SEE PROPOSED THIRD FLOOR FRAMING PLAN



Proposed Third Floor Plan

SCALE: 1/4" = 1'-0"

0 2' 4' 8'

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RONALD JOHNSTON AND
ASSOCIATES, ARCHITECTS
11407 BARLEY FIELD WAY
MARTINVILLE, MD 21104 • 410-442-3667

PROFESSIONAL CERTIFICATION

I CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME, AND THAT I AM
A duly LICENSED ARCHITECT UNDER THE LAWS
OF THE STATE OF MARYLAND.
LICENSE NUMBER: 1338
EXPIRATION DATE: 12/31/2022

Proposed Alterations and Change of Occupancy for
Monte Nido Maryland
Permit Set

REVISIONS

NO.	DATE	DESCRIPTION

DATE

01/31/2019

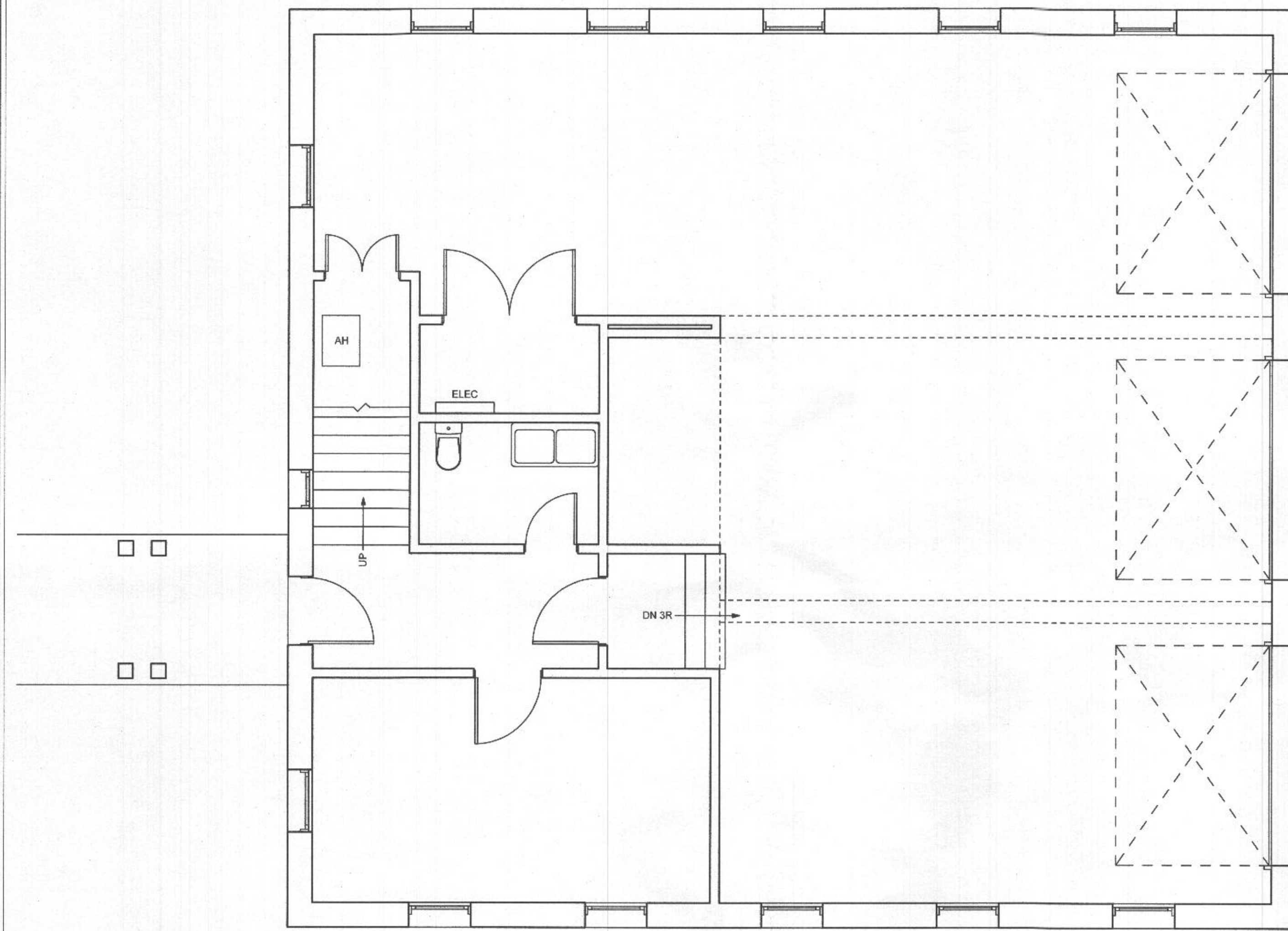
SHEET CONTENTS

Proposed Third Floor Plan,
Wall Key, Proposed
Garage First Floor Plan,
Proposed Garage Second
Floor Plan

SHEET NO.

A-204

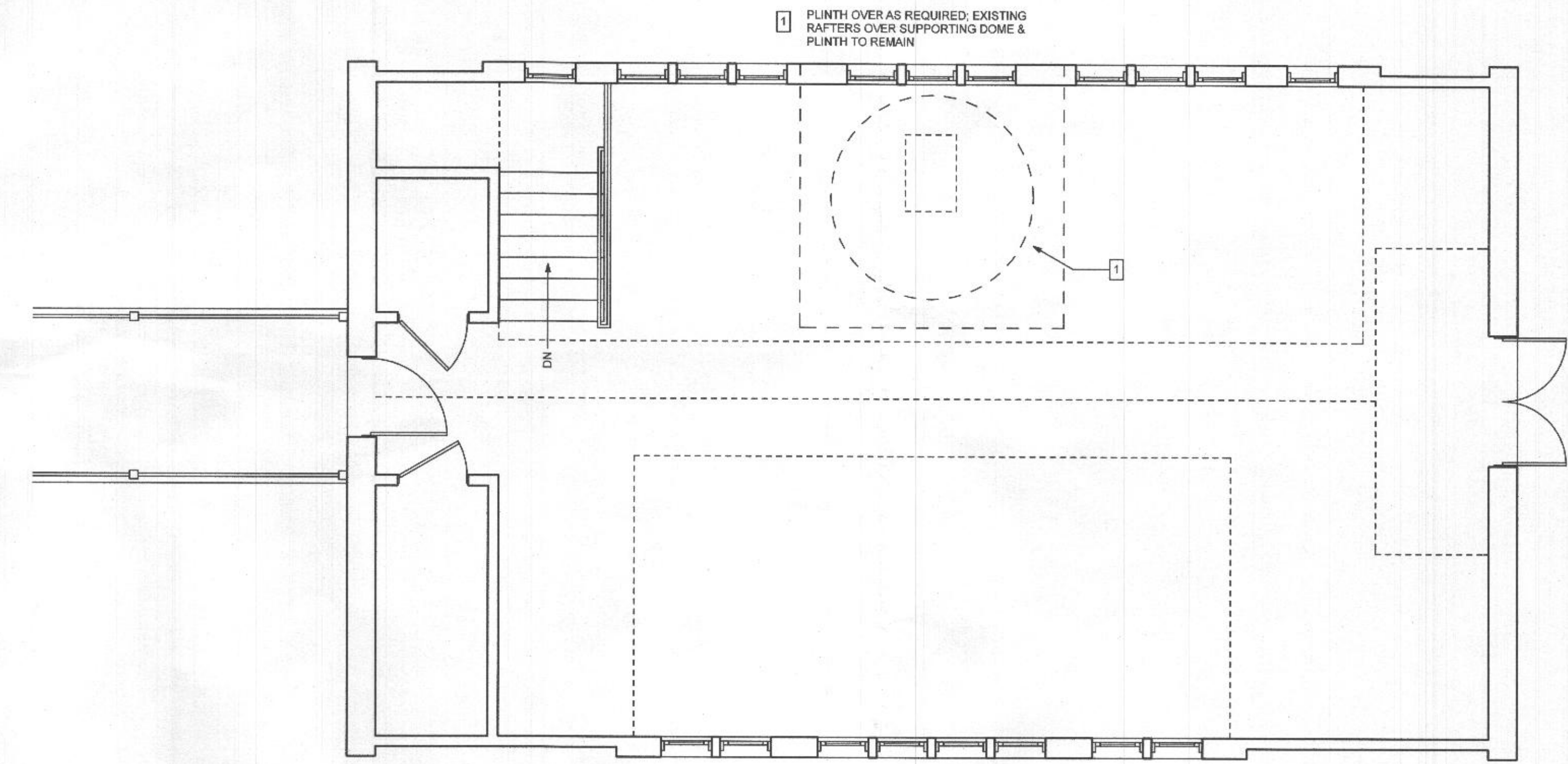
Proposed 3rd Fl + Garage



Existing/Demolition Garage First Floor Plan

SCALE: 1/4" = 1'-0"

0 2' 4' 8'



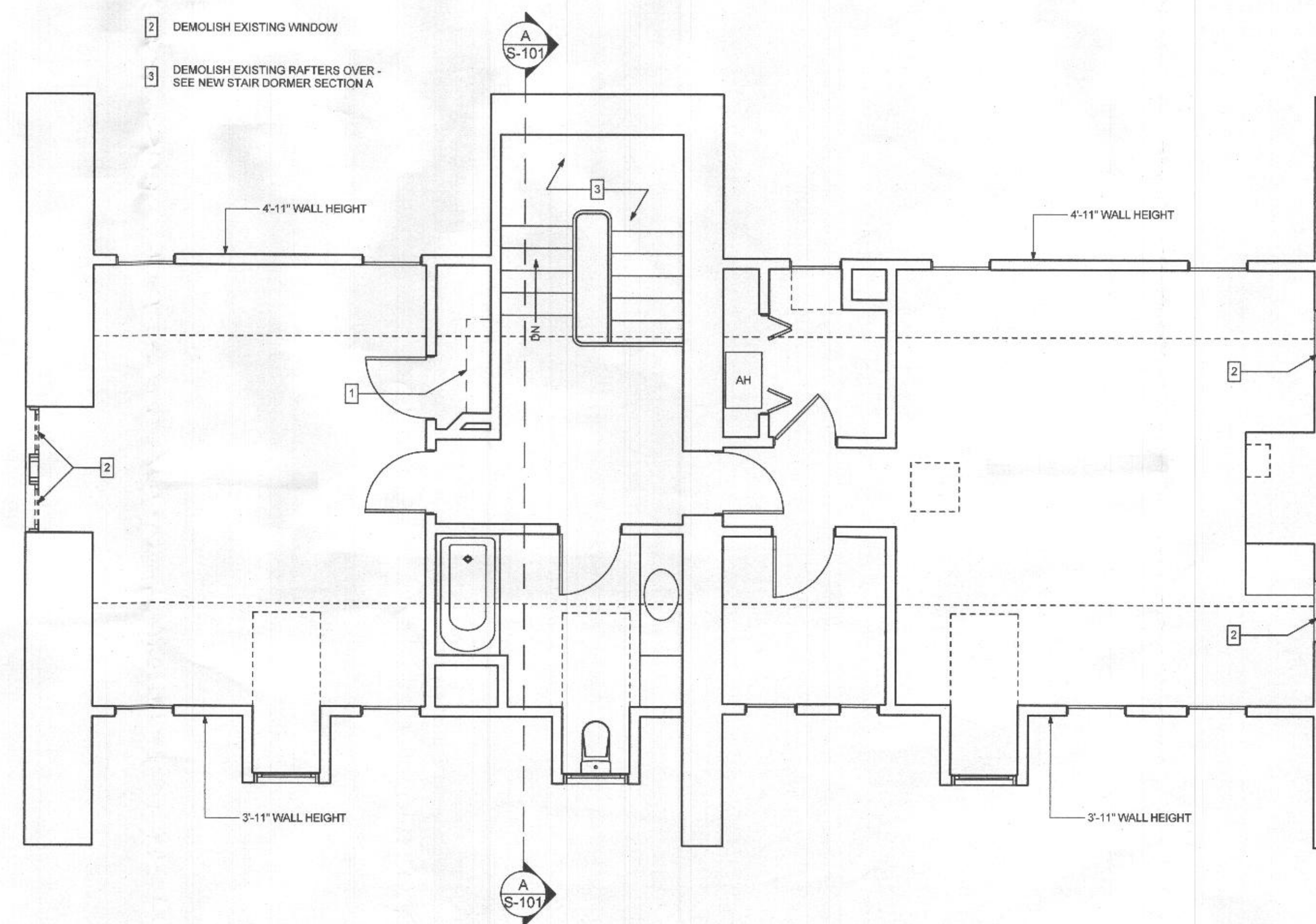
Existing/Demolition Garage Second Floor Plan

SCALE: 1/4" = 1'-0"

0 2' 4' 8'

Wall Key
 ——— EXISTING WALL TO REMAIN
 - - - - - EXISTING FRAME WALL TO BE DEMOLISHED
 ===== NEW 2X4 (OR AS NOTED) @ 16" O.C. PARTITION - SEE DETAIL P1

NOTES
 1 DEMOLISH EXISTING RODS & SHELF UNITS
 2 DEMOLISH EXISTING WINDOW
 3 DEMOLISH EXISTING RAFTERS OVER - SEE NEW STAIR DORMER SECTION A



Existing/Demolition Third Floor Plan

SCALE: 1/4" = 1'-0"

0 2' 4' 8'

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RONALD JOHNSTON AND ASSOCIATES, ARCHITECTS
 11407 BARLEY FIELD WAY
 MARriottSVILLE, MD 21104
 • 410-442-3667

PROFESSIONAL CERTIFICATION

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A duly licensed architect under the laws of the State of Maryland.
 LICENSE NUMBER: 18011
 EXPIRATION DATE: 02/28/2022

Proposed Alterations and Change of Occupancy for
Monte Nido Maryland
 Permit Set

REVISIONS

DATE

01/31/2019

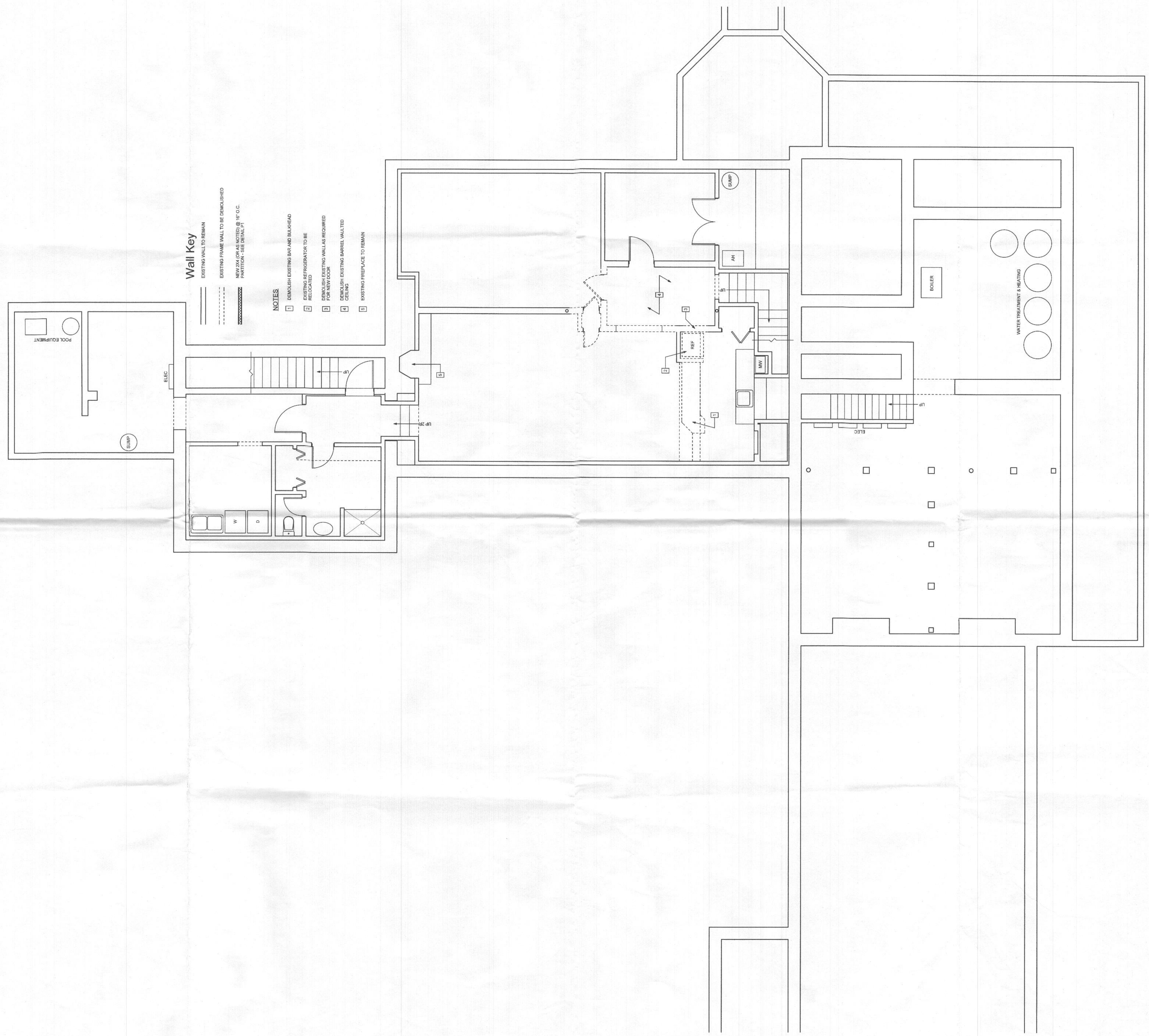
SHEET CONTENTS

Existing/Demolition Third Floor Plan, Wall Key, Existing/Demolition Garage First Floor Plan, Existing/Demolition Garage Second Floor Plan

SHEET NO.

A-104

Existing/Demo 3rd FL + Garage



- Wall Key**
- EXISTING WALL TO REMAIN
 - EXISTING FRAME WALL TO BE DEMOLISHED
 - NEW 2x4 OR AS NOTED @ 16" O.C. PARTITION - SEE DETAIL P1
- NOTES**
- DEMOLISH EXISTING BAR AND BULKHEAD
 - EXISTING REFRIGERATOR TO BE RELOCATED
 - DEMOLISH EXISTING WALL AS REQUIRED FOR NEW DOOR
 - DEMOLISH EXISTING BARREL VULTED CEILING
 - EXISTING PREPARE TO REMAIN

Existing/Demolition Basement Plan

SCALE: 1/4" = 1'-0"

0 2' 4' 8'

Proposed Alterations and Change of Or
Monte Nido Mary
Permit Set

REVISIONS

NO.	DATE	DESCRIPTION
1	01/31/2019	EXISTING/Demolition Basement Plan, Wall Key

SHEET NO. A-101

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11407 BARLEY FIELD WAY
MARIOTTSVILLE, MD 21104 • 410-442-3667

PROFESSIONAL CERTIFICATION

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A duly LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NUMBER: 13552 EXPIRATION DATE: 12/31/2020