



HOWARD COUNTY HEALTH DEPARTMENT

64015

DATE 9/12/18

AS

Received From

PHONE #

410 579-2442

For

☐ CASH
☒ CHECK

NO.

8020

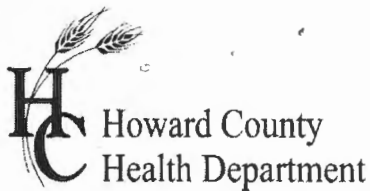
Per App/ ~~1120~~ 1120
Shaffer-Svillend.

\$ 500.00

Received By

Ken

Dollars



APPLICATION

FOR PERCOLATION TESTING AND SITE EVALUATION

TEST DATE(S) _____ TEST TIME _____

AGENCY REVIEW: _____

O/P 546332
DATE 4-28-14

DO NOT WRITE ABOVE THIS LINE

I HEREBY APPLY FOR THE NECESSARY TESTING/EVALUATION PRIOR TO ISSUANCE OF SEWAGE DISPOSAL SYSTEM PERMIT(S) TO:

CHECK AS NEEDED:

- ☒ CONSTRUCT NEW SEPTIC SYSTEM(S)
☐ REPAIR/ADD TO AN EXISTING SEPTIC SYSTEM
☐ REPLACE AN EXISTING SEPTIC SYSTEM

CHECK AS NEEDED:

- ☐ NEW STRUCTURE(S)
☐ ADDITION TO AN EXISTING STRUCTURE
☒ REPLACE AN EXISTING STRUCTURE

CHECK ONE:

- ☐ CREATE NEW LOT(S)
☐ BUILD ON AN EXISTING LOT IN A SUBDIVISION
☒ BUILD ON AN EXISTING PARCEL OF RECORD

IS THE PROPERTY WITHIN 2500' OF ANY RESERVOIR?

- ☐ YES
☒ NO

THE TYPE OF STRUCTURE IS:

- ☒ RESIDENTIAL WITH 3 PROPOSED BEDROOMS IN THE COMPLETED STRUCTURE (NOTE **UNKNOWN** IF APPROPRIATE)
☐ COMMERCIAL (PROVIDE DETAIL OF NUMBERS AND TYPES OF EMPLOYEES/ CUSTOMERS ON ACCOMPANYING PLAN)
☐ INSTITUTIONAL/GOVERNMENT (PROVIDE DETAIL OF NUMBERS AND TYPES OF EMPLOYEES/USERS ON ACCOMPANYING PLAN)

PROPERTY OWNER(S) ESTATE OF JOHN LAWRENCE JONES

DAYTIME PHONE _____ CELL _____ FAX _____

MAILING ADDRESS _____
STREET CITY/TOWN STATE ZIP

APPLICANT PETER A. and CONSTANCE J. GALLERIZZO, CONTRACT PURCHASERS

DAYTIME PHONE 301-854-2229 CELL 240-281-4281 FAX 301-854-9992

MAILING ADDRESS 609 MARSHALL MANOR DR. SILVER SPRING MD 20905
STREET CITY/TOWN STATE ZIP

APPLICANT'S ROLE: DEVELOPER BUILDER BUYER RELATIVE/FRIEND REALTOR CONSULTANT

PROPERTY LOCATION

SUBDIVISION/PROPERTY NAME 1120 SHAFFERSVILLE RD LOT NO. _____

PROPERTY ADDRESS 1120 SHAFFERSVILLE RD MOUNT AIRY 21771
STREET TOWN/POST OFFICE

TAX MAP PAGE(S) 6 GRID 12 PARCEL(S) P-97 PROPOSED LOT SIZE 36,000 S.F.

AS APPLICANT, I UNDERSTAND THE FOLLOWING: THE SYSTEM INSTALLED SUBSEQUENT TO THIS APPLICATION IS ACCEPTABLE ONLY UNTIL PUBLIC SEWERAGE IS AVAILABLE. THIS APPLICATION IS COMPLETE WHEN ALL APPLICABLE FEES AND A SUITABLE SITE PLAN HAVE BEEN RECEIVED. I ACCEPT THE RESPONSIBILITY FOR COMPLIANCE WITH ALL M.O.S.H.A. AND "MISS UTILITY" REQUIREMENTS. APPROVAL IS BASED UPON SATISFACTORY REVIEW OF A PERC CERTIFICATION PLAN.

TEST RESULTS WILL BE MAILED TO APPLICANT.

Peter A. Gallerizzo Constance J. Gallerizzo
SIGNATURE OF APPLICANT

HOWARD COUNTY HEALTH DEPARTMENT, BUREAU OF ENVIRONMENTAL HEALTH, WELL AND SEPTIC PROGRAM
7178 COLUMBIA GATEWAY DRIVE COLUMBIA, MARYLAND 21046 (410) 313-2640 FAX (410) 313-2648
TDD (410) 313-2323 TOLL FREE 1-877-4MD-DHMH

(2)

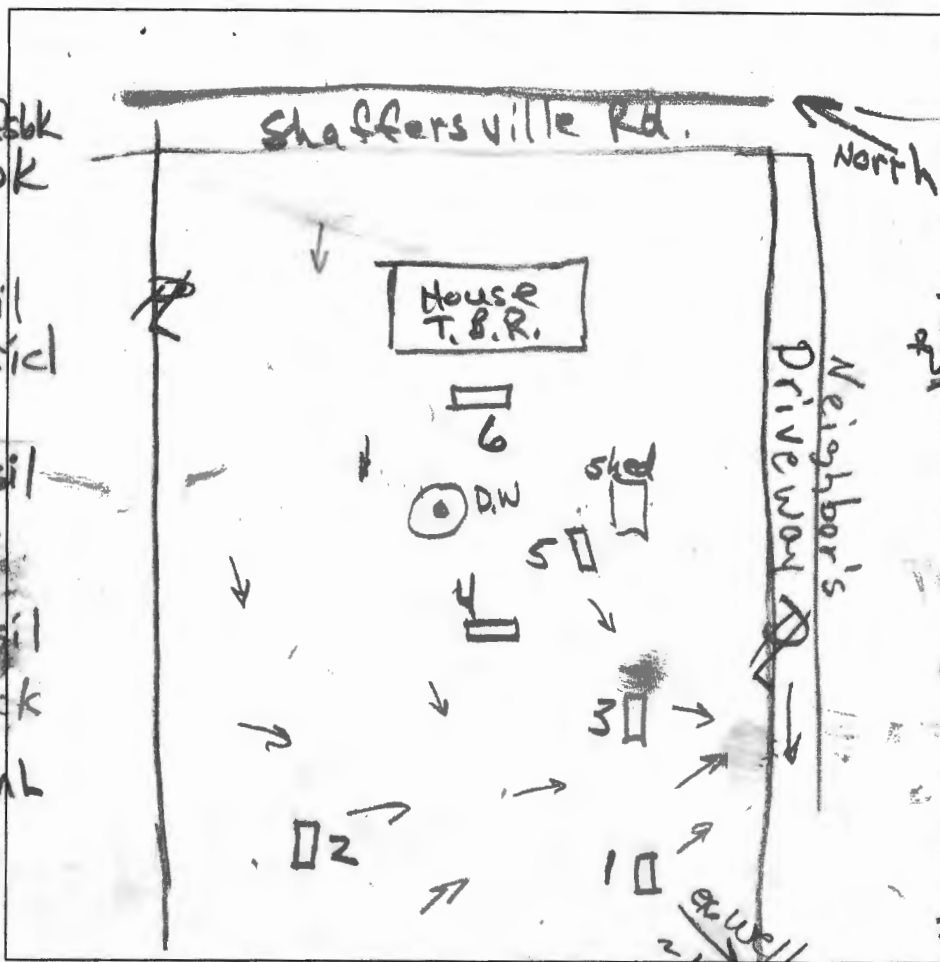
1.7' dk brn L, 2vcsbk
brn L, 1fcsbk
yel-brn sil
7msbk
3' red-yel vchsil
to red-yel chsil
SS
4.8' red-yel vchsil
SS, few flags
8.5' water
red-yel vchsil
10% flags
50% rock

(4)

1.8' dk grey-brn L
2vcsbk
brn ch
1fcsbk
yel-brn
chsil, SS
3.5' red-yel & brown
vchsil
40% rock
6.5' yellow & brn
vchsil
10-15% flags
9' (45-50% rock)

(6)

0.8' dk grey-brn L
brn L, 1fcsbk
yel-brn
2fcsbk
1.9' red-yel
vchsil
2.5' red, yellow
& red-yel
chsil
6' yellow
& red-yel
chsil
10-15% flags
40-45% rock
12.8'



(1)
0.4' dk brn L, 2vcsbk
2' brn L, 1fcsbk
yel-brn chsil
3.5' SS
7.5' yel-brn
vchsil
yel-red
vchsil, SS
10% flags
(total 45% rock)

(3)

0.4' dk grey-brn L
brn L, 2fcsbk
4.4' brn vch
1msbk
1.8' yel-brn sil
2msbk
2.5' brn sil
1msbk, few
chsil
3.5' brn ch sil
1msbk
5' yel-brn
sil, SS
6.7' yellow, brn
& red-yel
vchsil
10.8' 40% rock

(5)

2.5' dk brn L to brn L
red-yel ch L
2fcsbk
red-yel & brn
ch sil
6' red-yel & red
vchsil, 10-15%
flags
45-50% rock

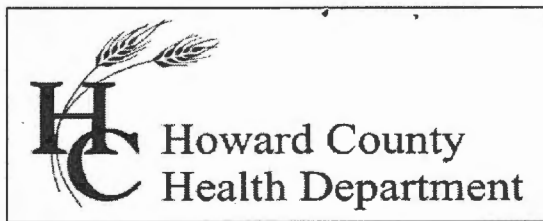
DATE	TEST #	DEPTH	START	BREAK 1" DROP	STOP 2" DROP	TIME OF 2ND INCH	P/F/H
5/12/14	1	7.5'	Visual		Sidewall 1-3' 0.8 gpd/ft ²		P
5/12/14	2	26.8'	11:02	11:11	11:23	12	P
5/12/14	3	2.8'	11:35	11:40	11:47	7	P
5/12/14	3	5.9'	11:36	11:39	11:43	4	P
5/12/14	4	4.1'	12:09	12:13	12:20	7	P
5/12/14	5	9'	Visual		2.5' to 5' Sidewall OK 0.8 gpd/ft ²		P
5/12/14	6	5.7'	12:51	12:55	1:06	9	P

REMARKS: #1 & #2, 1st Invert, LPD, #3 Sidewall 1' to 5' 9' 45-50% rock

SANITARIAN: R. Bricker BACKHOE: Angelo & Eric OTHERS: Peter Gallorizzo

TEST HOLES USED IN SDA: _____ AVG. PERC TIME: _____ SQ. FT. / BR: _____

TRENCH WIDTH: _____ INLET DEPTH: _____ MAX. BOT DEPTH: _____ EFFECTIVE S/W: _____



Bureau of Environmental Health

8930 Stanford Blvd., Columbia, MD 21045
Main: 410-313-1771 | Fax: 410-313-2648
TDD 410-313-2323 | Toll Free 1-866-313-6300
www.hchealth.org
Facebook: www.facebook.com/hocohealth
Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

May 12, 2014

To: Peter Gallerizzo, Applicant
petegcds@juno.com

RE: Percolation Test Report, A546332; 1120 Shaffersville Road

Percolation tests were conducted at 1120 Shaffersville Road (Tax Map 6, Parcel 97) on May 12, 2014. Test locations '1' to '6' were conducted at planned locations on the front portion of the subject property. The percolation test Field Worksheet is enclosed with this letter.

All six test locations 'PASS', having soils that are satisfactory for wastewater treatment and disposal. Locations of percolation tests that 'PASS' are used to define the sewage disposal area (SDA) proposed on the Percolation Certification Plan. At this time, the area represented by the test locations is believed to be adequate for three drainfields. The percolation test results and suitable area for wastewater discharge are certified by the Approving Authority's signature of the Percolation Certification Plan.

The distribution pipe inverts and approvable trench bottom depths are variable in the area tested. The distribution pipe inverts and trench bottoms may be deeper on the sloping area – top to bottom. On the flanks of the swale, the distribution pipe invert may be as shallow as 1 foot, and the trench bottoms may be only 3 feet deep. Elevation contours at 1-foot intervals should be illustrated for the areas represented by percolation tests '1', '2', and '3'.

If you have any questions regarding this evaluation or requirements for a Percolation Certification Plan or BAT Site Plan, please contact me by email or by calling (410) 313-2691.

Respectfully,

Robert Bricker, CPSS, REHS/RS, L.E.H.S.
Environmental Sanitarian II
Well and Septic Program

Enclosure: Percolation Test Application and Field Worksheet

Copy: file



Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

SEWAGE DISPOSAL SYSTEM SPECIFICATIONS WORKSHEET

Address: 1120 Shaffersville Road

Subdivision: Tax Map 6, Parcel 97 Lot:

Initial system: Application rate: 0.8 Effective area beginning depth: 2.5 Bottom maximum depth: 8

1st Replacement: Application rate: 0.8 Effective area beginning depth: 2.5 Bottom maximum depth: 5

2nd Replacement: Application rate: 0.8 Effective area beginning depth: 1 Bottom maximum depth: 3

Design Flow = 150 gallons per day per bedroom

Design flow ÷ application rate = square footage of drainfield required

Linear length of trench required = drainfield square footage x sidewall reduction percentage ÷ trench width

Sidewall reduction credit formula:

$$\frac{W + 2}{W + 1 + 2D} \times 100 = \text{Percent of length of standard trench where } W = \text{trench width and } D = \text{depth between effective area beginning depth and trench bottom.}$$

Standard design requirements:

- Trenches must be located to provide room for 3 systems in the disposal area
- All trenches must be equal length unless low pressure dosed
- All trenches must be on contour
- Tank and trenches must be placed as shallow as possible while maintaining 2% fall in pipe from house and at least 18" cover over trenches. If 2% fall from house is not possible, the minimum allowable fall is 1%.
- Minimum trench spacing: 10' for all trenches utilizing sidewall reduction credit. Additional spacing may be necessary for any trench using over 3.5' of effective sidewall. In those cases, the spacing formula is $2D + W$ up to a maximum spacing of 18'.
- Minimum trench spacing for trenches with no sidewall credit (bottom area only) is 6' for a 2' wide trench and 9' for a 3' wide trench (spacing is measured edge to edge)
- Maximum trench length is 100'
- Maximum pipe depth is 4'

Additional requirements: Pump Tank with Pump

All Distribution Pipe Inverts are at 2 feet depth from Grade except when effective absorption area less than 2 feet dept from Grade is being utilized for sidewall credit.

Approved: R Bricker Date: 1/22/2019

LEGEND

- 1 ○ STAKED PERC TEST
- MEASURED PERC TEST
- 756 CONTOUR
- 752.9 SPOT ELEVATION
- GgB SOIL TYPE
- PROPOSED TRENCH
- PROPOSED WELL SITE
- EXISTING WELL

HEALTH NOTES

MDE SEWAGE DISPOSAL AREA STATEMENT FOR LOTS CREATED BEFORE MARCH 1972:

This area designates a private sewage area as required by the Maryland Department of the Environment for individual sewage disposal. For lots created prior to March of 1972 it provides at least enough area to accommodate an initial and two replacement septic systems as required by the Howard County Health Department. Improvements of any nature in this area are restricted until public sewerage is available. This area shall become null and void upon connection to a public sewerage system. The county Health Officer shall have the authority to grant adjustments to the private sewage area. Recordation of a modified sewage area shall not be necessary.



ANY CHANGES TO A PRIVATE SEWAGE AREA SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.

The well shall be drilled prior to building permit submittal. It is the developer's responsibility to schedule the well drilling prior to building permit submission. It will not be considered "government delay" if the well drilling holds up Health Department approval of the building permit.

Existing wells, septic systems, and sewage disposal areas within 100' of the property and those wells within 200' down gradient of existing or proposed septic systems or sewage disposal areas have been shown.

Topography is illustrated at one-foot elevation contours within the sewage disposal area. Elevation datum was referenced by static GPS observation to the indicated Howard County Control Station 06C3. Field location points were measured using a digital total station and prism pole. One foot elevation contours were computer generated from the field shots.

THE LOT SHOWN HEREON COMPLIES WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT.

THE SUBJECT PROPERTY HAS A LIMITATION OF THREE (3) BEDROOMS UNLESS AN EXHIBIT PRESENTED BY A CERTIFIED PROFESSIONAL DEMONSTRATES THAT THE SEWAGE DISPOSAL AREA WILL ACCOMMODATE THE WASTEWATER DISCHARGE FOR A RESIDENCE HAVING MORE THAN 3 BEDROOMS.

An Onsite Sewage Disposal System Design Plan must be submitted to the Health Department and approved by the Health Department prior to approval of the Building Permit to construct a residence.

PURPOSE NOTE

THE SUBJECT PROPERTY IS BEING RE-DEVELOPED AS A NEW SINGLE FAMILY DWELLING FOR THE OWNER. TESTING HAS BEEN CONDUCTED TO CONSTRUCT A PRIVATE SEWAGE DISPOSAL SYSTEM.

Contact Information

FORMER OWNER: ESTATE OF JOHN LAWRENCE JONES

CURRENT OWNER: YOUGH ASSOCIATES II LLC
6800 DEERPATH RD, SUITE 100
ELKBRIDGE, MD 21075

OWNER'S CONTACT: JOE LINK 443-831-0606

ENGINEER/SURVEYOR: PETER GALLERIZZO 240-281-4281

NOTES

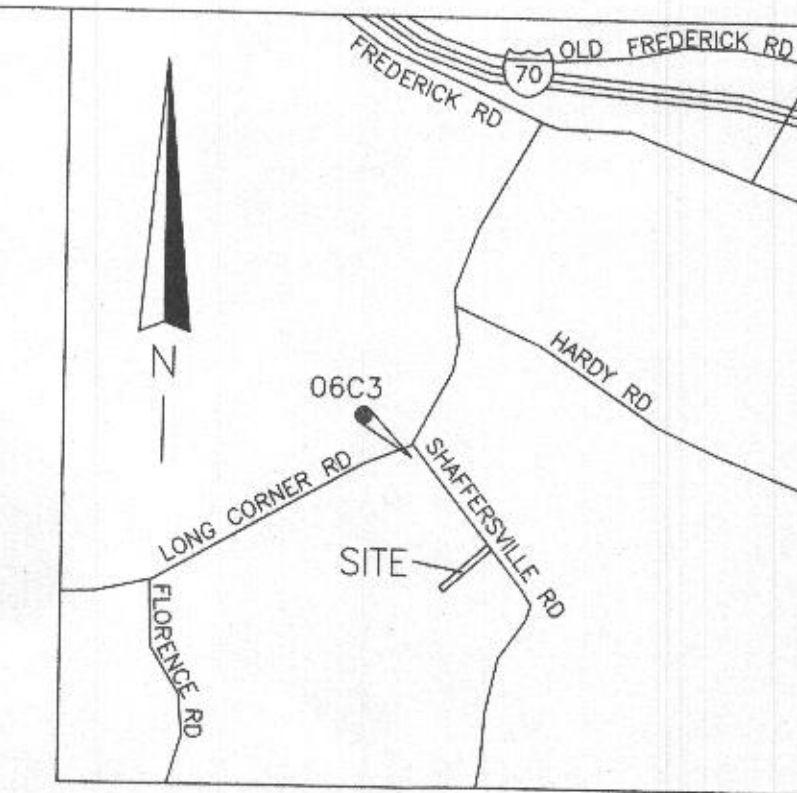
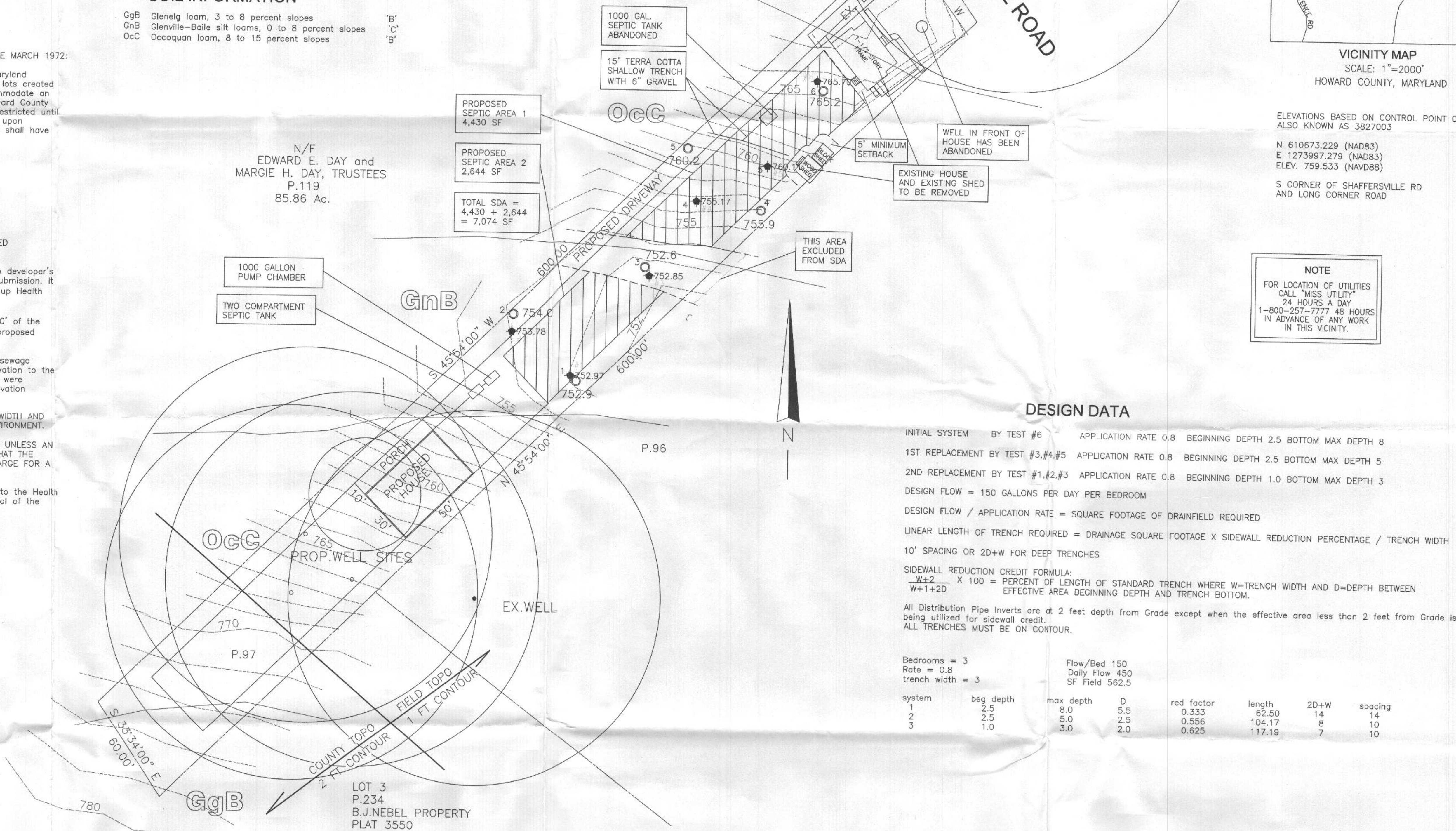
- LOT IS RECORDED IN LIBER 18169 AT FOLIO 308.
- FIELD RUN TOPO SURVEY BY PETER A. GALLERIZZO APRIL 2014.
- LOT WILL BE SERVED BY PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS.
- VERTICAL DATUM IS NAVD88.
- ZONE IS RC-DEO.
- SETBACKS ARE 50' FRONT, 10' SIDE, 30' REAR YARD.
- EXISTING DWELLING AND ACCESSORY STRUCTURES TO BE RAZED UNDER A DEMOLITION PERMIT AFTER ISSUANCE OF PERMIT FOR NEW DWELLING.
- PREVIOUS PERC TEST REPORT DATED MAY 12, 2014.

SOIL INFORMATION

- GgB Glenelg loam, 3 to 8 percent slopes 'B'
- GnB Glenville-Baile silt loams, 0 to 8 percent slopes 'C'
- OcC Occoquan loam, 8 to 15 percent slopes 'B'

PERC TEST FEE RECEIPT NO. A564015

PREVIOUS PERC TEST FEE RECEIPT NO. A546332



VICINITY MAP
SCALE: 1"=2000'
HOWARD COUNTY, MARYLAND

ELEVATIONS BASED ON CONTROL POINT 06C3
ALSO KNOWN AS 3827003

N 610673.229 (NAD83)
E 1273997.279 (NAD83)
ELEV. 759.533 (NAVD88)

S CORNER OF SHAFFERSVILLE RD
AND LONG CORNER ROAD

NOTE
FOR LOCATION OF UTILITIES
CALL "MISS UTILITY"
24 HOURS A DAY
1-800-257-7777 48 HOURS
IN ADVANCE OF ANY WORK
IN THIS VICINITY.

DESIGN DATA

INITIAL SYSTEM BY TEST #6 APPLICATION RATE 0.8 BEGINNING DEPTH 2.5 BOTTOM MAX DEPTH 8
1ST REPLACEMENT BY TEST #3,#4,#5 APPLICATION RATE 0.8 BEGINNING DEPTH 2.5 BOTTOM MAX DEPTH 5
2ND REPLACEMENT BY TEST #1,#2,#3 APPLICATION RATE 0.8 BEGINNING DEPTH 1.0 BOTTOM MAX DEPTH 3
DESIGN FLOW = 150 GALLONS PER DAY PER BEDROOM
DESIGN FLOW / APPLICATION RATE = SQUARE FOOTAGE OF DRAINFIELD REQUIRED
LINEAR LENGTH OF TRENCH REQUIRED = DRAINAGE SQUARE FOOTAGE X SIDEWALL REDUCTION PERCENTAGE / TRENCH WIDTH
10' SPACING OR 2D+W FOR DEEP TRENCHES
SIDEWALL REDUCTION CREDIT FORMULA:
 $\frac{W+2}{W+1+2D} \times 100 = \text{PERCENT OF LENGTH OF STANDARD TRENCH WHERE } W=\text{TRENCH WIDTH AND } D=\text{DEPTH BETWEEN EFFECTIVE AREA BEGINNING DEPTH AND TRENCH BOTTOM.}$
All Distribution Pipe Inverts are at 2 feet depth from Grade except when the effective area less than 2 feet from Grade is being utilized for sidewall credit.
ALL TRENCHES MUST BE ON CONTOUR.

Bedrooms = 3		Flow/Bed 150					
Rate = 0.8		Daily Flow 450					
trench width = 3		SF Field 562.5					
system	beg depth	max depth	D	red factor	length	2D+W	spacing
1	2.5	8.0	5.5	0.333	62.50	14	14
2	2.5	5.0	2.5	0.556	104.17	8	10
3	1.0	3.0	2.0	0.625	117.19	7	10

Professional Certification

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 12674, Expiration Date: 10-23-2019

Peter A. Gallerizzo
Peter A. Gallerizzo Date FEB. 11, 2019



APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

30 0 30 60
SCALE: 1"=30'

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
2/17/2019
Date

PROJECT: TAX MAP 0006, TAX ACCT. 04-313526 GRID 0012 ; PARCEL 0097 YOUGH ASSOC. II LLC 1120 SHAFFERSVILLE RD MOUNT AIRY, MARYLAND 21771	DATE: 01/31/2019 JOB: YA2181001 DWG: 181019 SCALE: 1"=30'	PETER A. GALLERIZZO CIVIL ENGINEERING & LAND SURVEYING 11031 BECKLEY ROAD HAGERSTOWN, MARYLAND 21740 petegcds@gmail.com 240-281-4281	SHEET: C-1 PAGE: 1 OF 1
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