

RUSNOCK RESIDENCE

PERMIT SET



Bowley Jones
Architects

CERTIFIED



I, ADRIENNE M. JONES, CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 17827, EXPIRATION DATE 9-8-2022

**RUSNOCK
RESIDENCE**
11729 WAYNERIDGE STREET
FULTON, MD 20759

SHEET TITLE
COVER SHEET

Field No.	21002	Rev	3/22/21
PERMIT SET			
Num.	Description	Date	

SHEET NUMBER
A0.00

SQUARE FOOTAGE

	EXISTING	PROPOSED
TERRACE LEVEL	1,800 S.F.	1,800 S.F.*
FIRST FLOOR	1,543 S.F.	1,656 S.F.*
GARAGE	250 S.F.	250 S.F.
DECK	176 S.F.	392 S.F.
PATIO	162 S.F.	537 S.F.
TOTAL FINISHED AREA (ADDITION ONLY)		
113 S.F.		
TOTAL SQUARE FOOTAGE		
4,635 S.F.		
TOTAL FINISHED AREA*		
3,456 S.F.		

INDEX TO DRAWINGS

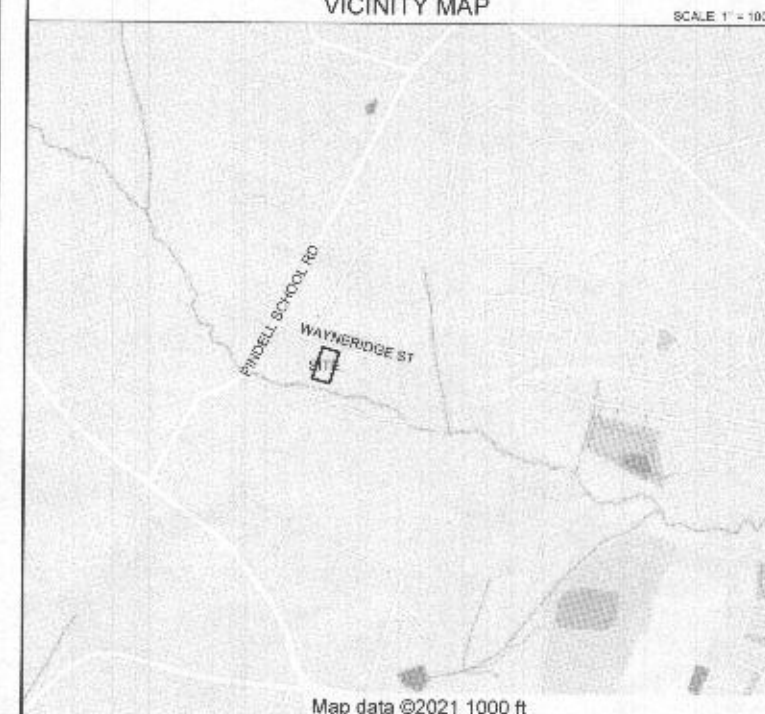
A0.00	COVER SHEET
A0.01	CODE REVIEW
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A1.01	DEMO TERRACE LEVEL PLAN
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A1.05	FIRST FLOOR WALL BRACING PLAN
A1.06	ROOF PLAN
A1.07	ROOF FRAMING PLAN
A2.01	EXTERIOR ELEVATIONS
A2.02	EXTERIOR ELEVATIONS
A3.01	DETAILED CROSS-SECTIONS

SYMBOL KEY

	ELEV. 15'-6"	ELEVATION CALLOUT
	detail no. A3.01 page no. direction of view	SECTION CALLOUT
	detail no. A3.01 page no.	DETAIL CALLOUT
	detail no. A4.01 page no.	INTERIOR ELEVATION CALLOUT

VICINITY MAP

SCALE 1" = 1000'



Map data ©2021 1000 ft

Design Loads - 2018 International Residential Code

Ground snow load - 25 psf
Wind speed - 115 mph
Attics with storage - 20 psf
Decks - 40 psf
Rooms (other than sleeping) - 40 psf
Handrails - 200 lb concentrated lateral load
Soil bearing capacity - 2,000 psf

Wood Framing

Must be spaced 16 inches on centers
Must be bolted to foundation with bolts of not less than one-half inch in diameter at 6 feet maximum centers
Minimum embedded to a depth of not less than 8 inches in placed concrete
Less than 15 inches in width of all wall supported thereon
Pressure treated joists < 18" to ground
Provide 15 1/2" heel at roof truss bearings for R-49 insulation installation
Provide collar ties or structural ridge at framed roofs less than 3 1/2 in 12 pitch
Deck construction must comply with all specifications provided in the Howard County Typical Deck Details Guide.

Wood and Door Openings

Must be double studs
Must have double headers
All headers must be set on top of the studs, and must be set on edge
For all single window and door openings, not exceeding 48 inches, the headers shall not be less than double 2x4 supporting one floor or roof
For all twin openings not exceeding 72 inches, the headers shall not be less than double 2x6 supporting one floor or roof
All triple openings not exceeding 8 feet, the headers shall not be less than double 2x8, and not exceeding 10 feet, not less than double 2x10 supporting one floor or roof. All headers must be braced at the top

Roof Framing

Roof sheathing panel nominal thickness from 3/8 inch to 7/8 inch.
Reference: 2018 IRC Table R503.2.1.1(1)
Eave overhang shall not exceed 24 inches
Rake overhang shall not exceed 12 inches
A readily accessible attic access opening not less than 22 inches by 30 inches shall be provided to any attic area having a clear height of over 30 inches
Access to the attic opening containing appliances shall be provided by a permanent or pull-down stairway in all new construction

Moisture Protection (Roof)

Ice barrier is required to be installed for new construction & re-roofing works with asphalt shingles, metal roof shingles, mineral-surfaced roll roofing, slate & slate-type shingles, wood shingles & wood shakes.
Reference: 2018 IRC R905.1.2
Drip edge is required for new construction & re-roofing works, shall be provided at eaves & rake edges of shingle roof. Reference: 2018 IRC R905.2.8.5

One and Two Family Dwellings Code Requirements

Stairways

Minimum clear width - 3 feet
Minimum tread - 10-inches
Maximum riser - 7 3/4 inches

Guardrail

Minimum height - 36-inches

Railing

Minimum height - 34 to 38-inches
(required at least one side of stair)

Pickets

Maximum clear spacing between pickets - 4-inches

Ceiling height

Habitable rooms - 7 ft, 0 in
Other areas - 6 ft, 8 in
Under beams & ducts - 6 ft, 4 in

Bathrooms

Non-absorbent gypsum baseboard around shower & bath areas

Fire stopping

All duct chases, bulkheads, laundry chutes, metal flues, tub traps, and all shafts at each floor

Fuse box

Do not locate fuse box in clothes closets

Exterior stud walls

2x4 or 2x6, P.T. sole plates in contact with masonry or concrete

Wall coverings

Drywall - 1/2 inch

Habitable rooms

Minimum area - 70 sq. ft.
Minimum horizontal dimension - 7 feet

Garage Separation

Attached garage separation from residence and attic minimum 1/2" gypsum board. Habitable rooms above garage minimum 5/8" Type "X" gypsum board.
Non-combustible floor sloped to overhead door with 4" minimum elevation to residence floor.
Minimum 20 minute or 1-3/8" solid wood door with self-closer.
No openings into sleeping areas.

MEP

All Electrical, Mechanical, and Plumbing Construction must be done in accordance with the adopted Howard County Codes and subject to field inspection.

Table of Building Envelope Requirements*

Windows and Insulation	
Window U Factor	0.35
Ceiling	R-49 (or R-38 uncompressed)
Exterior Walls	R-20 with 2x6 stud wall R-13 + R-5 with 2x4 stud wall
Floor over unheated space	R-19

*Notes

This table is based upon the International Energy Conservation Code, published by the International Code Council.
U-factors are MAXIMUM acceptable levels.

Insulation R-values are MINIMUM acceptable levels.

This table applies to single-family, wood frame residential construction.

"Window" refers to any translucent or transparent material (i.e. glazing) in exterior openings of buildings, including skylights, sliding glass doors, the glass areas of opaque doors, and glass block.

Window U-factor must be determined from a National Fenestration Rating Council (NFRC) label on the product.

Window area % is the ratio of the rough opening of windows to the gross wall area, expressed as a percentage. Up to one percent of the total window area may be exempt from the U-factor requirement.

Opaque doors are not considered glazing (or windows) and must have a maximum U-factor of 0.35. One exempt door allowed.

The code requires that windows be labeled in a manner to determine that they meet the IECC's air infiltration requirements; specifically, equal to or better than 0.30 cfm per square foot of window area (swinging doors below 0.50 cfm) as determined in accordance with AAMA/WDMA 101/I.S.2 (ASTM E 283).

R-2 shall be added to the requirements for heated slabs.

Floors over outside air must meet ceiling requirements.

R-values for walls represent the sum of cavity insulation plus insulated sheathing, if any.

Prescriptive packages are based upon normal HVAC equipment efficiencies.

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RUSNOCK
RESIDENCE
11729 WAYNERIDGE STREET
FULTON, MD 20759

SHEET TITLE

CODE REVIEW

Project No.	21002	Date	01/27/21
PERMIT SET			
Num.	Description	Date	

SHEET NUMBER

A0.01

SCALE: 1" = 50'

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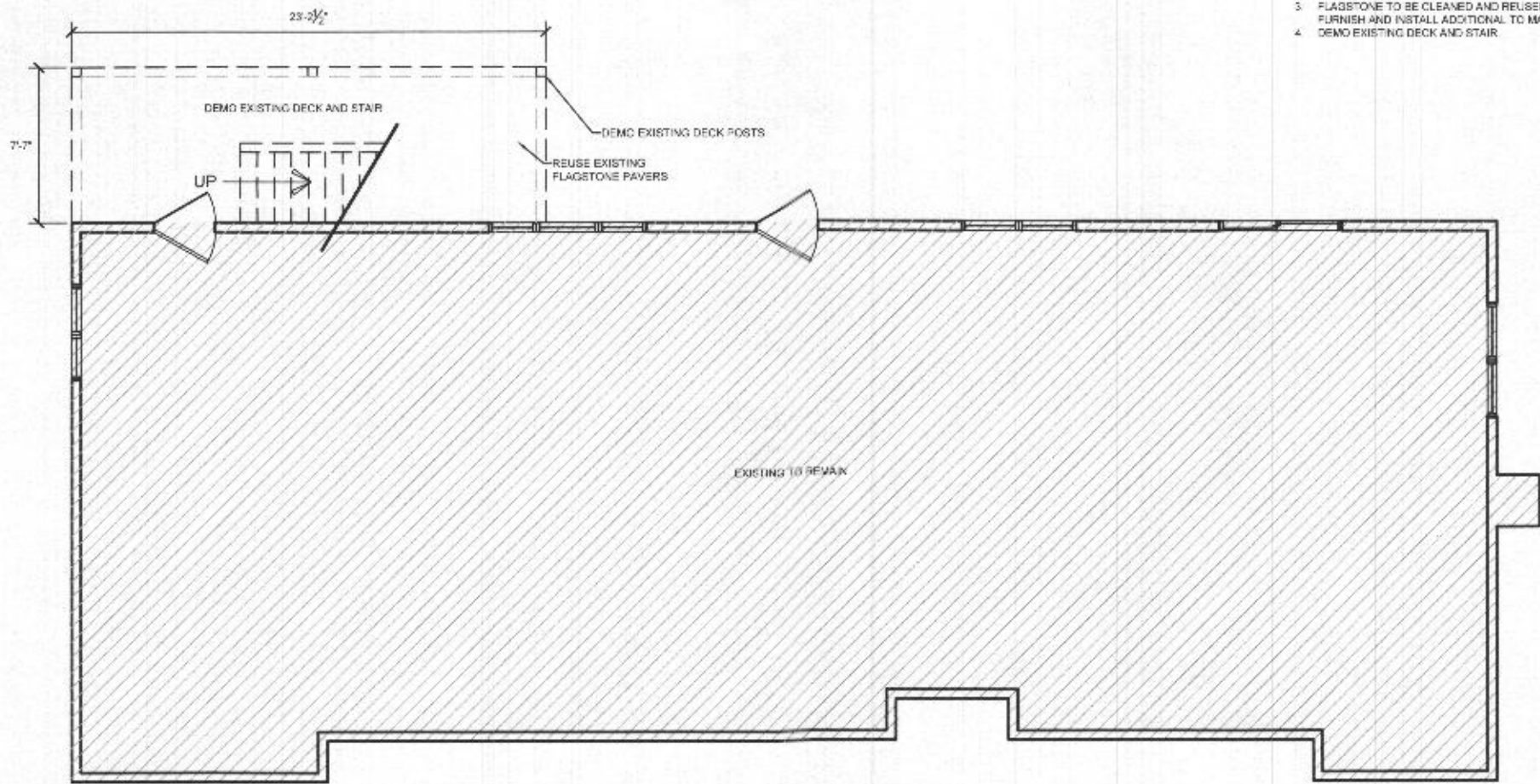
**RUSNOCK
RESIDENCE**
11729 WAYNERIDGE STREET
FULTON, MD 20759

SHEET TITLE
**DEMO TERRACE
LEVEL PLAN**

Project Number:	21-000	Date:	07/22/21
PERMIT SET			
Num.	Description	Date	

SHEET NUMBER
A1.01

- GENERAL NOTES:
1. DO NOT SCALE DRAWINGS.
 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE FAMILIAR WITH THE SITE CONDITIONS.
 3. FLAGSTONE TO BE CLEANED AND REUSED, FURNISH AND INSTALL ADDITIONAL TO MATCH.
 4. DEMO EXISTING DECK AND STAIR.



DEMO TERRACE LEVEL PLAN
SCALE: 1/8" = 1'-0"

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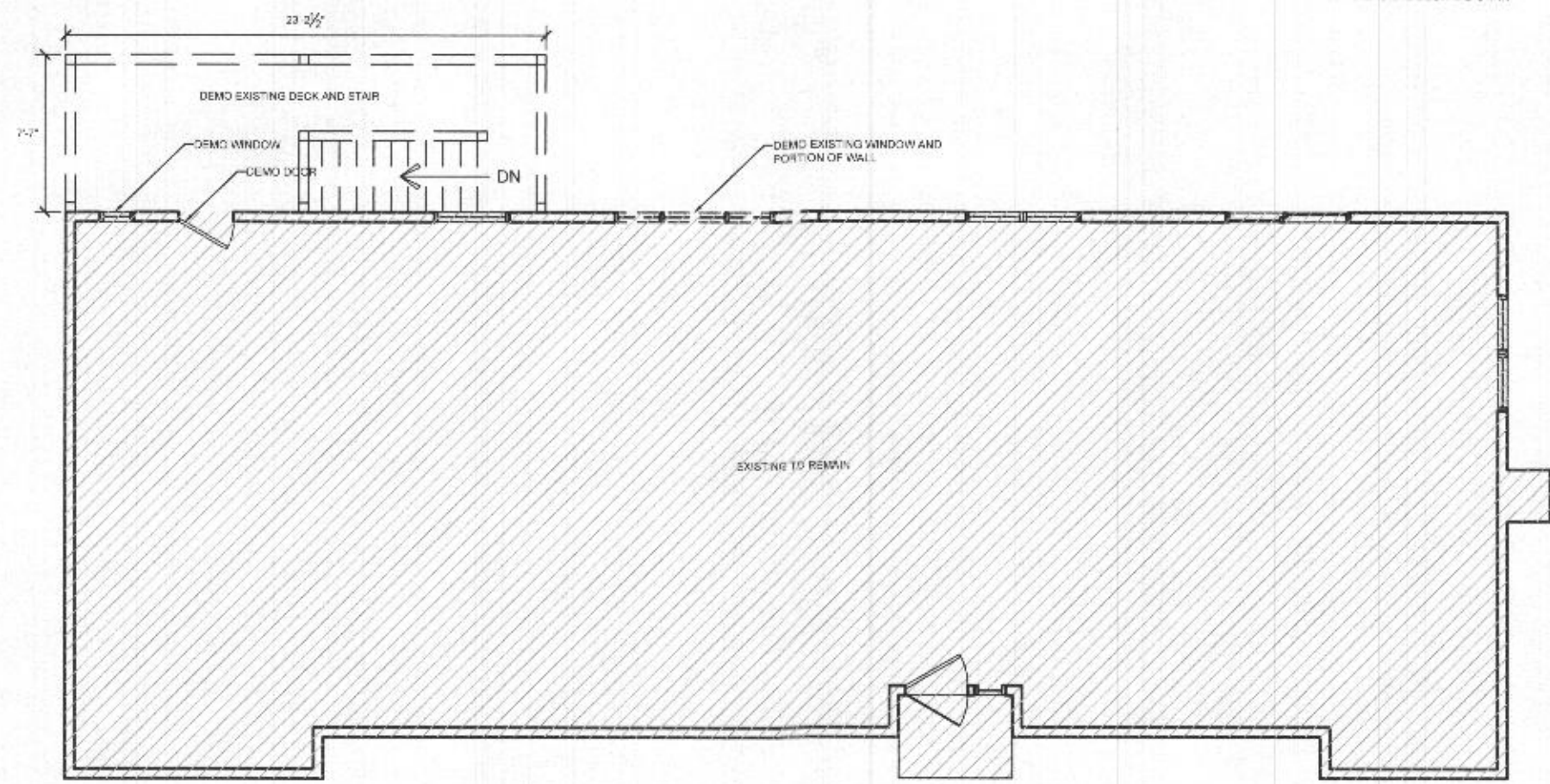
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11729 WAYNERIDGE STREET
FULTON, MD 20759

SHEET TITLE
**DEMO FIRST FLOOR
PLAN**

Project Number	21062	Date	02/27/21
PERMIT SET			
Num.	Description	Date	

SHEET NUMBER
A1.02

- GENERAL NOTES
1. DO NOT SCALE DRAWINGS
 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE FAMILIAR WITH THE SITE CONDITIONS
 3. DEMO EXISTING DECK AND STAIR



DEMO FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

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FULTON, MD 20759

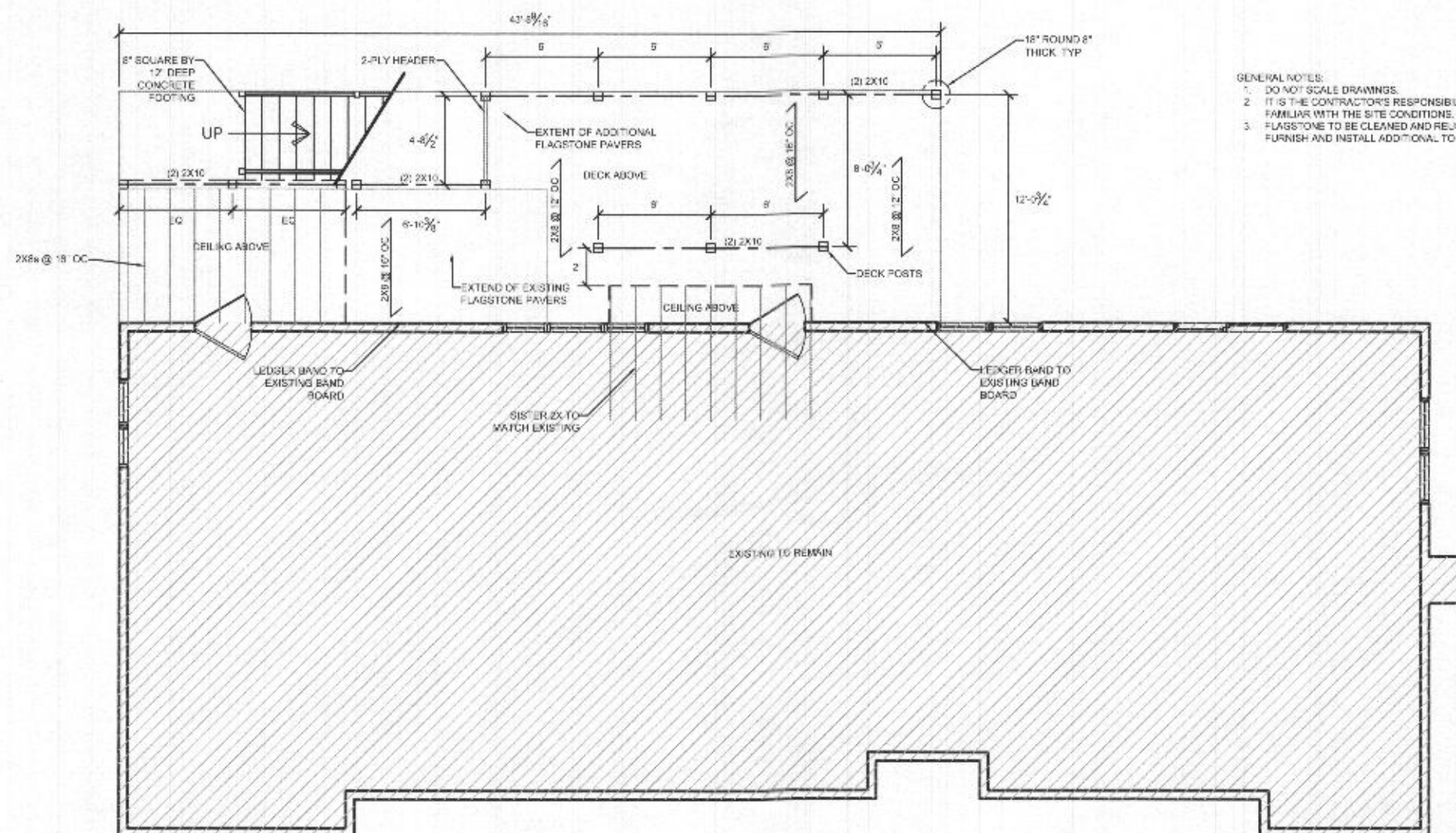
SHEET TITLE

**TERRACE LEVEL
PLAN**

Project Number:	21000	Date:	07/27/21
PERMIT SET			
Num.	Description	Date	

SHEET NUMBER

A1.03



- GENERAL NOTES:
1. DO NOT SCALE DRAWINGS.
 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE FAMILIAR WITH THE SITE CONDITIONS.
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TERRACE LEVEL PLAN

SCALE: 1/8" = 1'-0"

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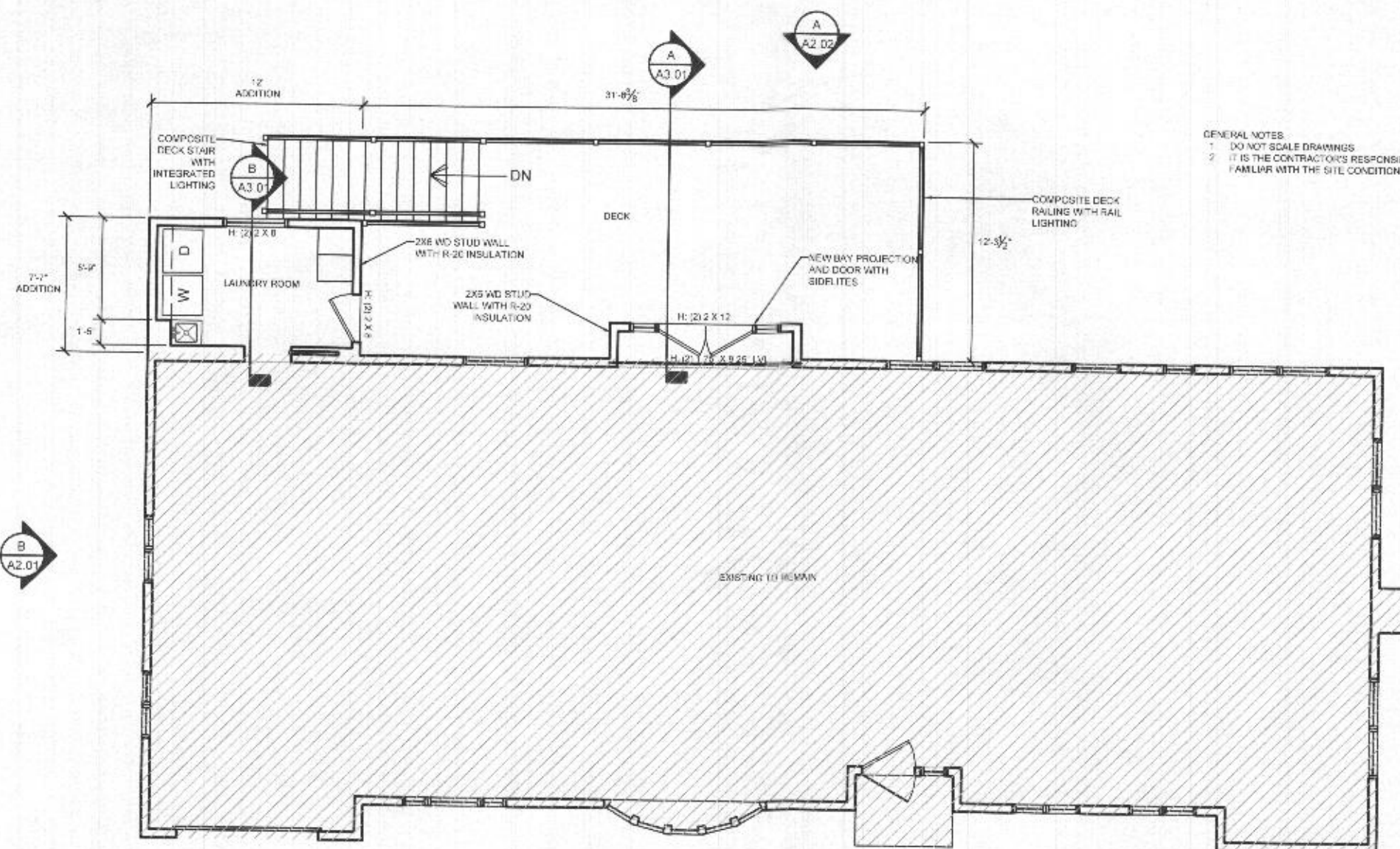
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**RUSNOCK
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11729 WAYNERIDGE STREET
FULTON, MD 20759

SHEET TITLE
FIRST FLOOR PLAN

Project:	21002	Date:	2/27/21
PERMIT SET			
Num.	Description	Date	

SHEET NUMBER
A1.04



GENERAL NOTES:
1. DO NOT SCALE DRAWINGS
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE FAMILIAR WITH THE SITE CONDITIONS

FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"