

PERMIT NUMBER: B

21004761

DATE ACCEPTED:



RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4
www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 1890 WOODSTOCK RD		Unit:
City: WOODSTOCK	State: MD	Zip Code: 21163
Subdivision/Village/Complex Name:		SDP/WP/BA #:
Lot: 2-Beckett Property	Tax Map:	Parcel:
Grading Permit #:		

DESCRIPTION OF WORK REQUIRED

Existing Use: BARN	Proposed Use: BARN	Estimated Cost: \$55,500.00
Trade Work to Be Completed (Separate Permits Required): <input checked="" type="checkbox"/> Mechanical (HVACR) <input checked="" type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> None		
DEMO EXISTING BARN AND INSTALL NEW 30FT X 40FT POLE BARN IN SAME LOCATION AS EXISTING		
<i>Detached Garage</i>		

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): WILLIAM SASSER		Primary Residence: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Owner's Street Address: 1890 WOODSTOCK RD		
City: WOODSTOCK	State: MD	Zip Code: 21163
Phone: (410) 302-0120	Email: BSASSER307@AOL.COM	

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Ken Cialkowski Construction Services LLC		Contact Name: KEN CIALKOWSKI
Street Address: 3219 MARSTON RD		
City: WESTMINSTER	State: MD	Zip Code: 21157
Phone: (410) 259-2874	Email: KEN@CONTRACTORKEN.COM	

CONTRACTOR INFORMATION REQUIRED

Business Name: KEN CIALKOWSKI CONSTRUCTION SERVICES LLC		
Licensee's Name: Ken Cialkowski Construction Services LLC	License #: 95983	
Street Address: 3219 MARSTON RD		
City: WESTMINSTER	State: MD	Zip Code: 21157
Phone: (410) 259-2874	Email: KEN@CONTRACTORKEN.COM	

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: STRUCTURAL ENGINEERING RESOURCES LLC		Name: JEFFERY B. FERTICH
Street Address: 26 N FOURTH STREET		
City: GETTYSBURG	State: PA	Zip Code: 17325
Phone: (717) 337-1335	Email: JEFF@SERLLC.US	

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: <input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/> SF Duplex <input type="checkbox"/> Mobile Home <input type="checkbox"/> Multi-Family Dwelling (MF*)		Condo: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Utilities: <input checked="" type="checkbox"/> Electric <input type="checkbox"/> Gas	Water Supply: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Well)	Sewage Disposal: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Septic)
Heating System: <input type="checkbox"/> Electric <input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane <input checked="" type="checkbox"/> Other: Mini Split System		Roadside Tree Project: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes: #
Sprinkler System: <input type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R <input type="checkbox"/> NFPA 13D <input checked="" type="checkbox"/> None		Fire Alarm System: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: NIA				
# of Bedrooms (SF):	# of efficiency units (MF*):	# of 1 BR (MF*):	# of 2 BR (MF*):	# of 3 BR (MF*):
# Rooms:	# Full Baths:	# Half Baths:	# Fireplaces:	
Garage/Carport Info: <input type="checkbox"/> Attached Garage <input checked="" type="checkbox"/> Detached Garage <input type="checkbox"/> Integral Garage <input type="checkbox"/> Carport <input type="checkbox"/> None				
Basement/Foundation Info: <input checked="" type="checkbox"/> Slab on Grade <input type="checkbox"/> Post & Pier <input type="checkbox"/> Unfinished Basement <input type="checkbox"/> Finished Basement: <input type="checkbox"/> Full or <input type="checkbox"/> Partial				
1st Fl Width: 30'	1st Fl Depth: 40'	2nd Fl Width:	2nd Fl Depth:	Bsmt Width: Bsmt Depth:
Energy Method: <input type="checkbox"/> Prescriptive <input type="checkbox"/> Performance <input type="checkbox"/> UA Alternative <input type="checkbox"/> ERI		Gross Area: 1,200 sq ft	Occupiable Area: sq ft	

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

<i>[Signature]</i> APPLICANT'S ORIGINAL SIGNATURE	<i>Member</i> DATE SIGNED: 10/28/21
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FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

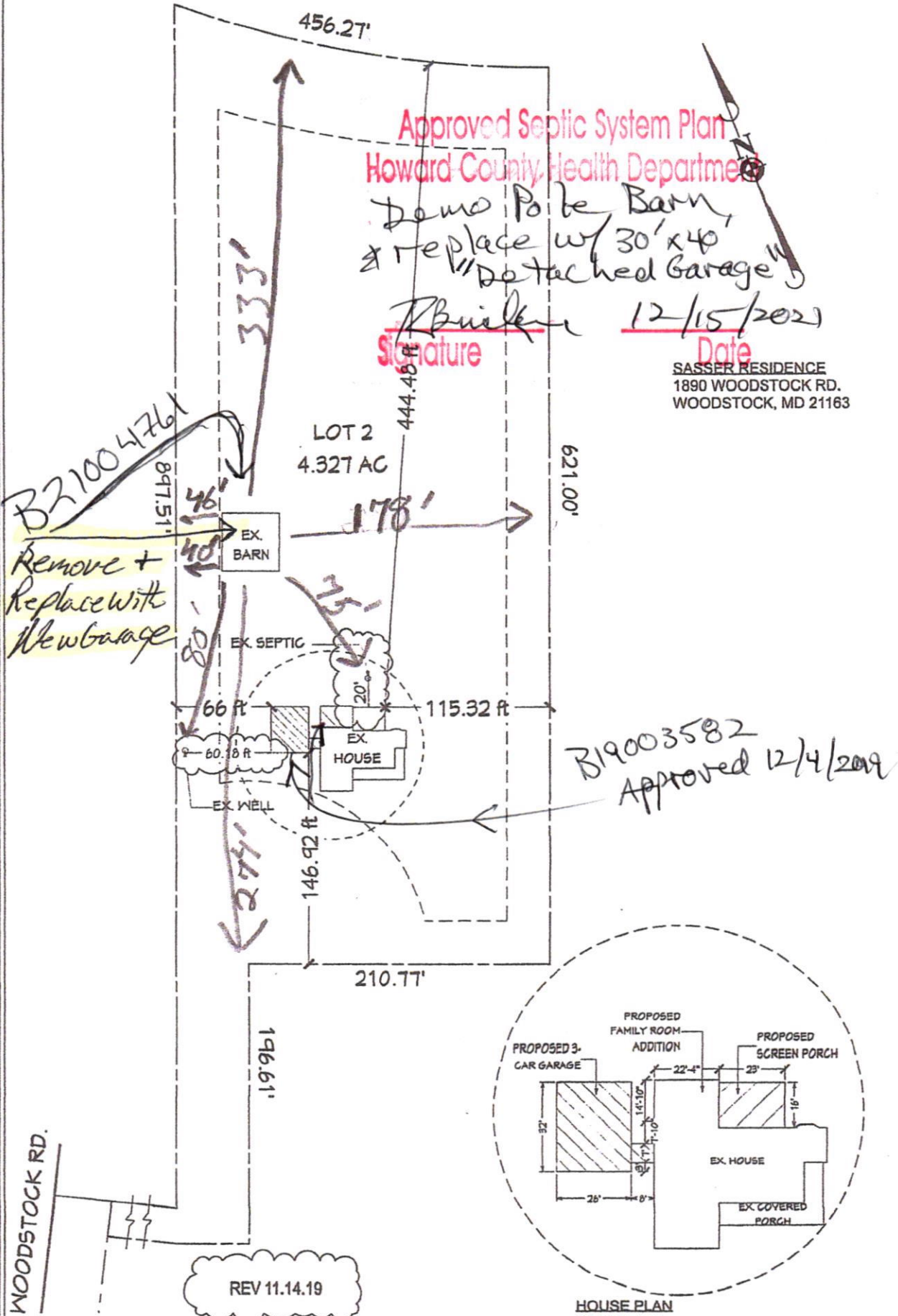
AGENCIES REQUIRED/APPROVALS:				
<input checked="" type="checkbox"/> PR	<input checked="" type="checkbox"/> DPZ	<input checked="" type="checkbox"/> OED	<input checked="" type="checkbox"/> Health <i>[Signature]</i>	<input type="checkbox"/> SHA <input type="checkbox"/> CID
SUBMITTAL FEES:		PAYMENT:		ACCEPTED BY:

Approved Septic System Plan
Howard County Health Department

demo Pole Barn
& replace w/ 30' x 40'
"Detached Garage"

R. Buick
Signature Date 12/15/2021

SASSER RESIDENCE
1890 WOODSTOCK RD.
WOODSTOCK, MD 21163



PROJECT DESCRIPTION:

Sasser Plat

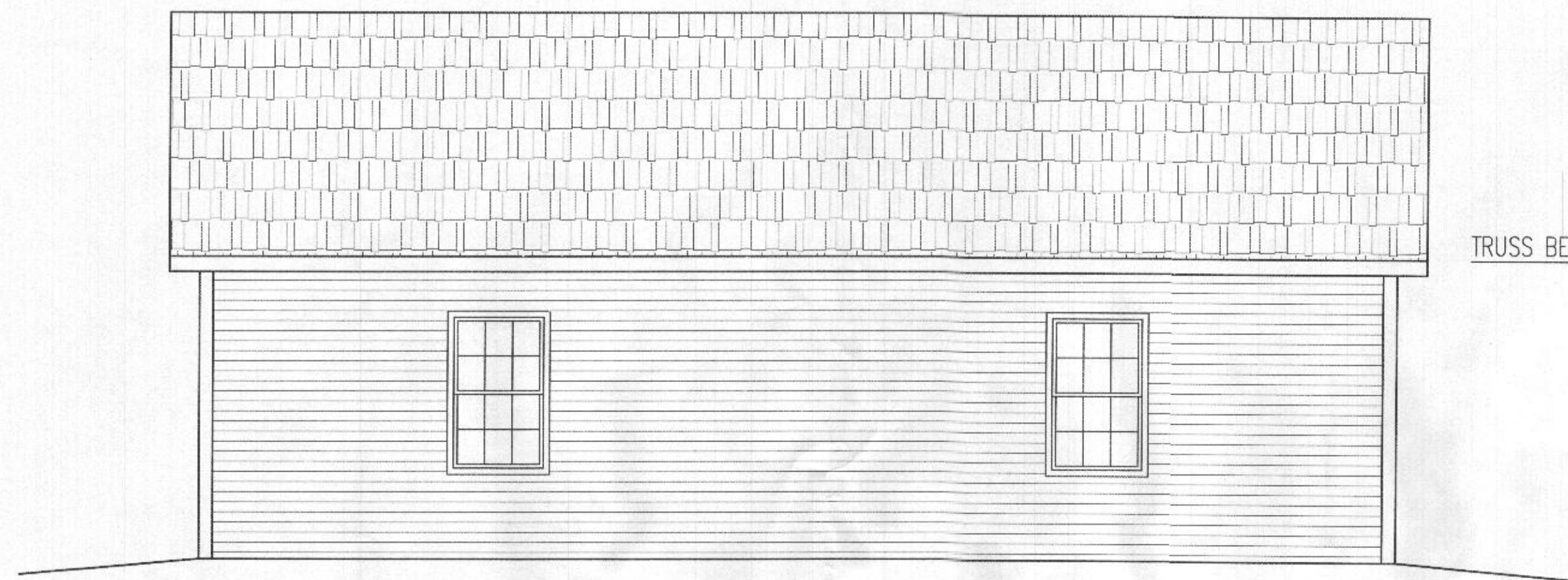
THIS DRAWING IS THE PROPERTY OF OWINGS HOME SERVICES. ALL RIGHTS RESERVED. DUPLICATION OF THIS DRAWING IN ANY FORM IS NOT PERMITTED WITHOUT THE EXPRESSED WRITTEN CONSENT OF OWINGS HOME SERVICES.

THESE PLANS, ELEVATIONS, DETAILS ETC. CONTAINED HEREIN ARE FOR

DATE:
10/16/19

SCALE:



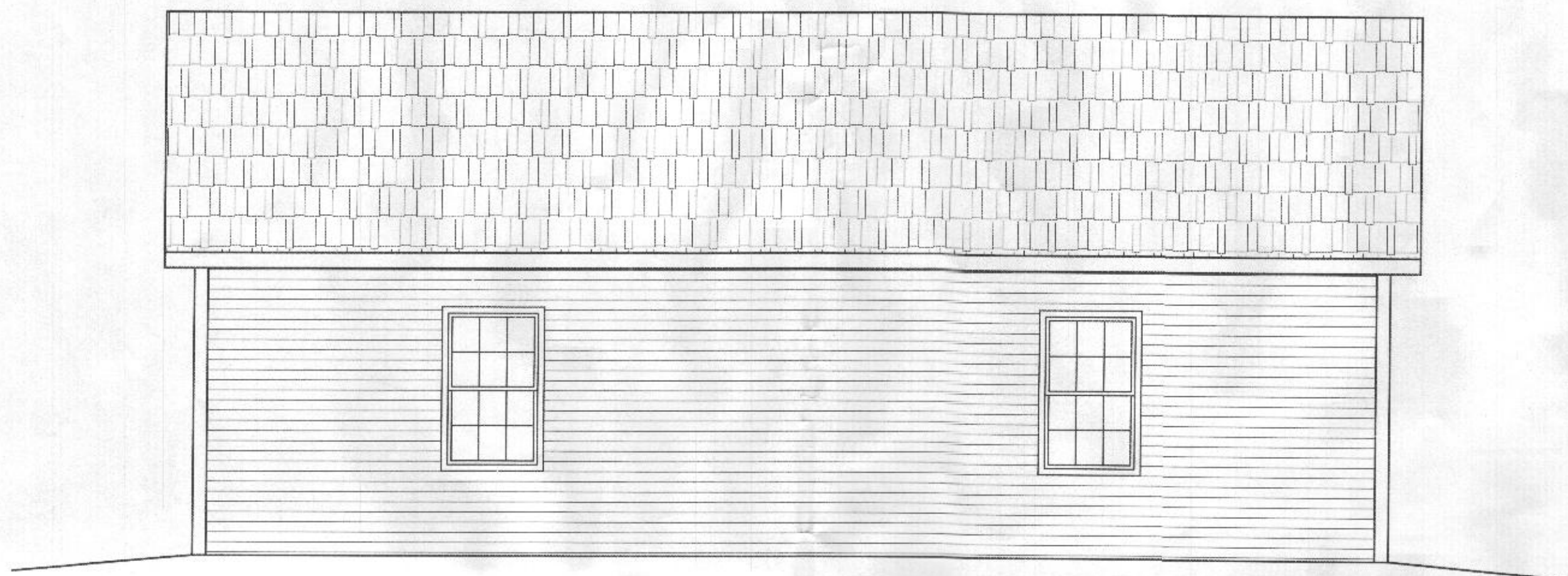


LEFT SIDE ELEVATION
1/4" PER FOOT

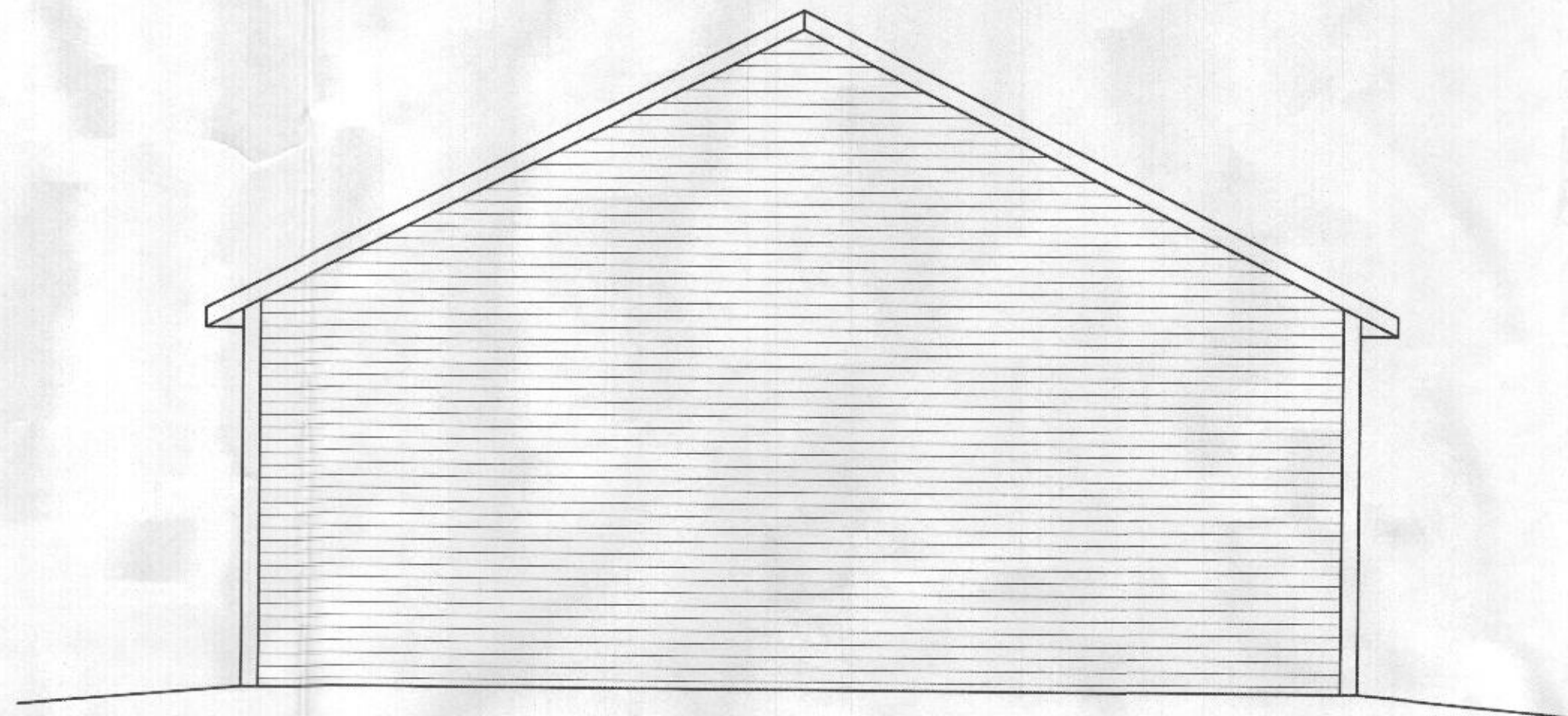
TRUSS BEARING 10'-0"



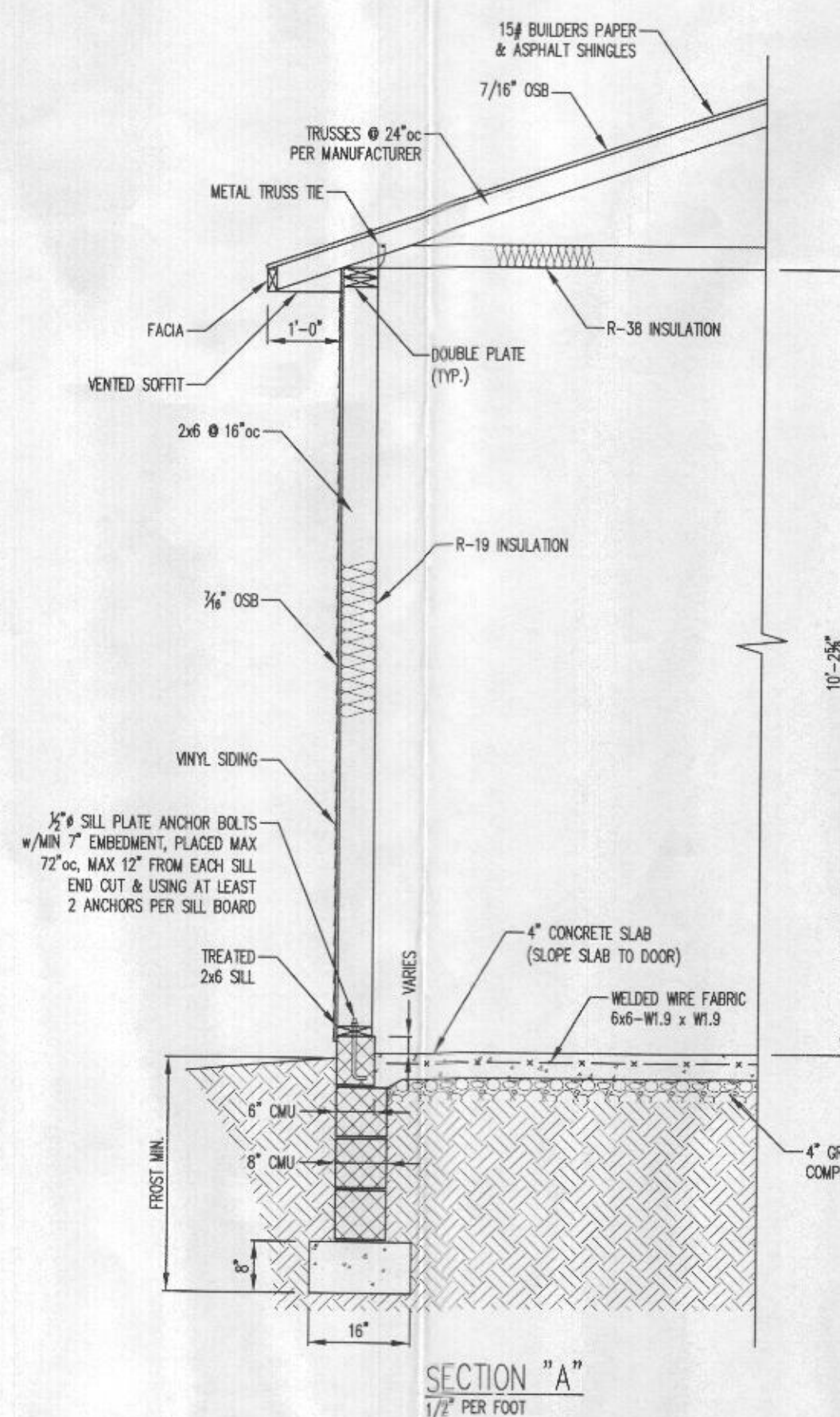
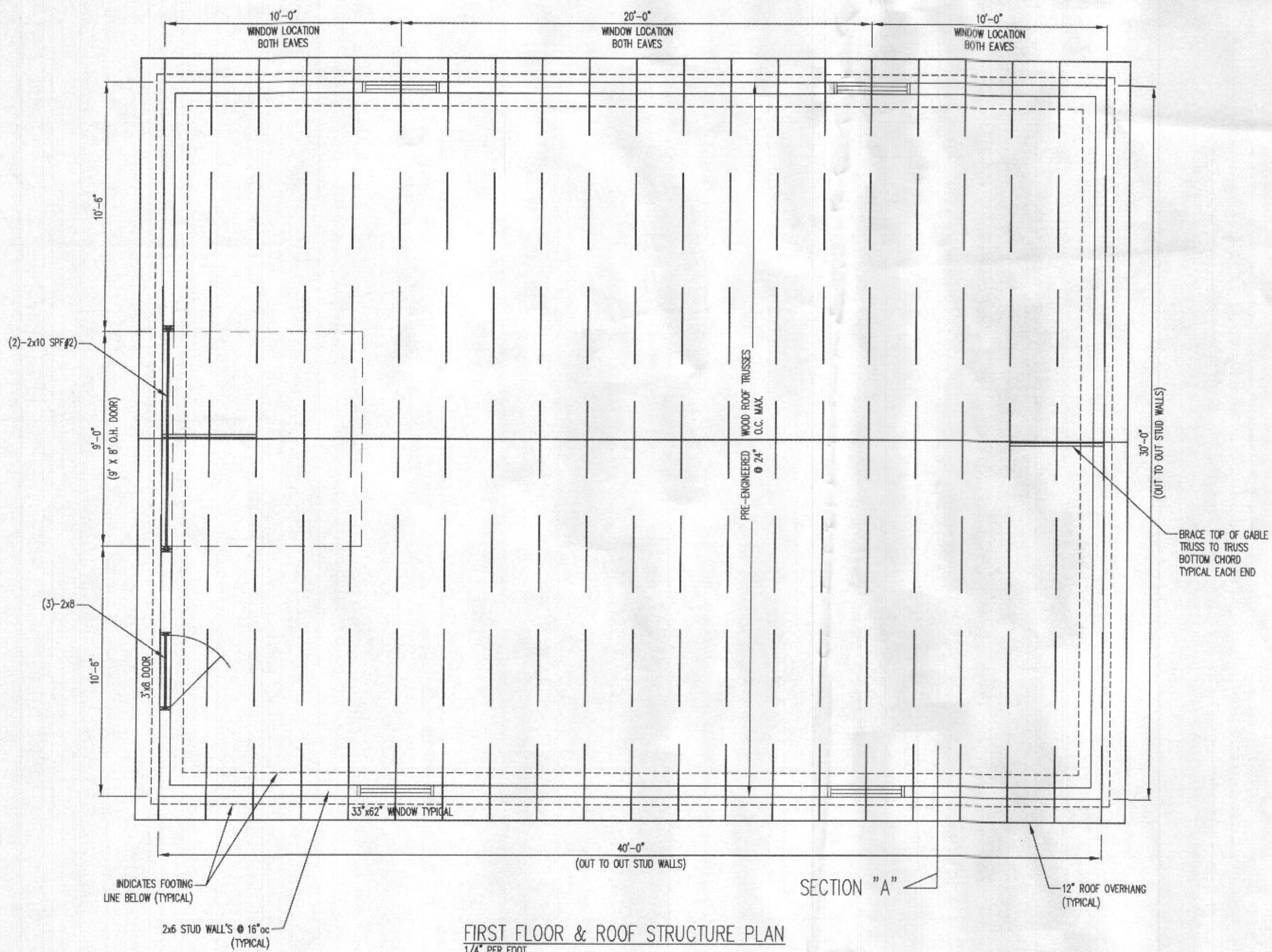
FRONT ELEVATION
1/4" PER FOOT



RIGHT SIDE ELEVATION
1/4" PER FOOT



REAR ELEVATION
1/4" PER FOOT



DIVISION 1 - GENERAL REQUIREMENTS
ALL WORK TO CONFORM WITH THE REQUIREMENTS OF BUILDING CODE:
INTERNATIONAL RESIDENTIAL CODE, 2018

DESIGN LIVE LOADS
GROUND SNOW LOAD 30 PSF
GARAGE FLOOR LOAD 50 PSF & 2000 LB POINT LOAD

DESIGN WIND LOADS ARE BASED ON A BASIC WIND SPEED OF 115 MPH
DIVISION 2 - FOUNDATION

ASSUMED SOIL BEARING VALUE
2000 POUNDS PER SQUARE FOOT FOR COLUMN AND WALL FOOTINGS. THE G.C. SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY INDICATION IN THE SOILS OF INSUFFICIENT BEARING CAPACITY.

FOUNDATION
ALL SPREAD FOOTINGS SHALL EXTEND MINIMUM 1'-0" INTO UNDISTURBED SOIL OR SHALL BEAR ON UNDISTURBED SOIL. THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW THE FINISHED EXTERIOR GRADE UNLESS NOTED OTHERWISE.

DIVISION 3 - CONCRETE

STRUCTURAL CONCRETE
REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185. DETAILING SHALL BE IN ACCORDANCE WITH ACI MANUAL 315 AND STANDARD 318-95. CONCRETE SHALL BE NORMAL WEIGHT. DESIGN COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 3000 PSI. EXPOSED EXTERIOR CONCRETE SHALL BE 3500 PSI.

DIVISION 4 - MASONRY
ALL MASONRY CONSTRUCTION SHALL BE IN ACCORDANCE WITH FOLLOWING STANDARDS:
BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES - ACI 530/ASCE 5.
SPECIFICATIONS FOR MASONRY STRUCTURES ACI 530.1/ASCE 6.
SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF LOAD BEARING CONCRETE MASONRY PUBLISHED BY NATIONAL CONCRETE MASONRY ASSOCIATION.

THE MINIMUM NET COMPRESSIVE STRENGTH OF MASONRY (f'm) SHALL BE 1500 PSI PER ACI 530.

HOLLOW AND SOLID LOAD BEARING CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C90 AND ASTM C145.

MORTAR AND GROUT SHALL CONFORM TO THE REQUIREMENTS OF THE ASTM TENTATIVE SPECIFICATIONS FOR MORTAR FOR UNIT MASONRY, ASTM C270, TYPE S MORTAR. HOLLOW UNITS SHALL BE LAID WITH FULL MORTAR COVERAGE ON HORIZONTAL AND VERTICAL FACE SHELLS AND WEBS. SOLID UNITS SHALL BE LAID WITH FULL HEAD AND BED JOINTS.

REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60. ALL VERTICAL MASONRY REINFORCING SHALL BE INSTALLED IN FULLY GROUTED CELLS AS SHOWN ON THE DRAWINGS WITH MINIMUM 48 BAR DIAMETER SPLICES. PROVIDE LOOSE STEEL ANGLE LINTELS OR PRECAST CONCRETE LINTELS FOR ALL OPENINGS IN LOAD-BEARING MASONRY WALLS AS SHOWN ON THE STRUCTURAL DRAWINGS DRAWINGS AND PER THE SCHEDULE BELOW, U.N.O.

DIVISION 5 - TIMBER

WOOD FRAMING
ALL LUMBER SHALL COMPLY WITH THE REQUIREMENTS OF AMERICAN INSTITUTE OF TIMBER CONSTRUCTION AND THE AMERICAN FOREST & PAPER ASSOCIATIONS (APFA) NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION - WOOD FRAME CONSTRUCTION MANUAL.

ALL STRUCTURAL WOOD MEMBERS SHALL BE #2 SPF OR BETTER.

ALL EXPOSED LUMBER SHALL BE PRESSURE TREATED WOOD MEMBERS #2 SOUTHERN PINE OR BETTER.

ALL STRESS GRADE LUMBER MEMBERS SHALL BE CLEARLY STAMPED WITH THE LUMBER INSPECTION ASSOCIATION SEAL SHOWING THE STRESS GRADE. ALL FABRICATION, ERECTION AND OTHER PROCEDURES SHALL CONFORM TO THE CURRENT "NATIONAL DESIGN SPECIFICATION FOR STRESS GRADE LUMBER AND ITS FASTENINGS."

"NEW AND EXISTING WOOD JOIST AND RAFTERS SHALL NOT BE CUT OR DRILLED UNLESS SO AUTHORIZED BY THE PROJECT STRUCTURAL ENGINEER."

ALL EXPOSED TIMBER SHALL BE PRESSURE TREATED AND LABELED WITH THE AMERICAN WOOD PRESERVES BUREAU QUALITY MARK, LP-2 "ABOVE GROUND USE." MINIMUM NET PRESERVATIVE RETENTION SHALL BE LABELED WITH THE AWPA QUALITY MARK, LP-22 "GROUND CONTACT USE." MINIMUM NET PRESERVATIVE RETENTION SHALL BE 0.40 POUNDS PER CUBIC FOOT.

PLYWOOD
PLYWOOD SHALL BE IDENTIFIED WITH THE APA TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

ROOF STRUCTURAL SHEATHING
UNLESS NOTED OTHERWISE ON PLANS 8d COMMON NAILS @ 6" O.C. @ PANEL EDGES AND PANEL FIELD.

WALL STRUCTURAL SHEATHING
UNLESS NOTED OTHERWISE ON PLANS 8d COMMON NAILS @ 6" O.C. @ PANEL EDGES AND 12" O.C. @ PANEL FIELD.



**STRUCTURAL
ENGINEERING
RESOURCES, LLC**
26 NORTH FOURTH STREET
GETTYSBURG, PA 17325
(717) 337-1335
www.SERLLC.us

30' x 40' x 10' GARAGE FOR:
KCCS/BILL SASSER
1890 WOODSTOCK ROAD
WOODSTOCK, MD 21163

11/3/2021

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of 1

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 2442, Expiration Date: 1-1-2023

B2100 4761 1890 Woodstock Road