



HOWARD COUNTY HEALTH DEPARTMENT

36728

DATE 02 09 2012

A5

Received From

Covey Construction and Consulting PHONE # (410) 984-2824
5900 Whalboat Drive 202

For

PerC Test - Heritage Heights
(Lot 9) tax map 31 quad 12

☐ CASH

☒ CHECK

NO.

0518

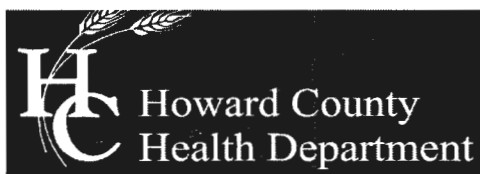
Five hundred and six dollars ⁰⁰/₁₀₀ Dollars

\$

506.00

Received By

Joanita King



Bureau of Environmental Health
7178 Columbia Gateway Drive, Columbia, MD 21046-2147
(410) 313-2640 Fax (410) 313-2648
TDD (410) 313-2323 Toll Free 1-866-313-6300
website: www.hchealth.org

Date: March 5, 2012

Peter L. Beilenson, M.D., M.P.H., Health Officer

To: Mr. Lynn Covey
5900 Whaleboat Drive
Clarksville, Maryland 21029

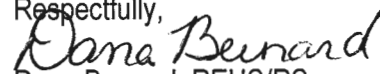
RE: **Percolation Testing Report, Heritage Heights, Lot #9, A# 536728**

Percolation testing was conducted on the referenced property on February 28, 2012. The purpose for conducting these percolation tests was to delineate a septic reserve area for an anticipated establishment of a sewage disposal area.

All percolation tests conducted were standard tests, measuring rate of fall for a pre-wet period followed by measurement and recordation of the time required for the water level to drop 1 inch. Soil conditions either satisfactory or unsatisfactory for onsite wastewater disposal were observed at the specified test locations. Areas that may be included in a septic reserve are represented by test locations having satisfactory soil conditions. The area of the septic reserve must be at least 10,000 square feet, though Howard County Code [3.805.A.2.X] requires that the area be large enough to accommodate an initial drain field and two repair drain fields for the planned residence.

Soil conditions observed were **unsatisfactory** for onsite wastewater treatment and disposal. The test holes evaluated were found to be unsatisfactory due to high water table and slow percolation rates. Field data collected is shown on the Percolation Test Worksheet enclosed with this letter.

If you have any questions regarding this evaluation, please contact me at the above address or by calling (410) 313-2775.

Respectfully,

Dana Bernard, REHS/RS
Environmental Sanitarian
Well and Septic Program

Enclosures (1)

Copy: Eugene and June Liverette
6112 Thompson Drive
Clarksville, Maryland 21029

File



APPLICATION

FOR PERCOLATION TESTING AND SITE EVALUATION

TEST DATE(S) _____ TEST TIME _____

AP 536728

AGENCY REVIEW: _____

DATE 2-9-12

DO NOT WRITE ABOVE THIS LINE

I HEREBY APPLY FOR THE NECESSARY TESTING/EVALUATION PRIOR TO ISSUANCE OF SEWAGE DISPOSAL SYSTEM PERMIT(S) TO:

CHECK AS NEEDED:

- ☒ CONSTRUCT NEW SEPTIC SYSTEM(S)
☐ REPAIR/ADD TO AN EXISTING SEPTIC SYSTEM
☐ REPLACE AN EXISTING SEPTIC SYSTEM

CHECK AS NEEDED:

- ☒ NEW STRUCTURE(S)
☐ ADDITION TO AN EXISTING STRUCTURE
☐ REPLACE AN EXISTING STRUCTURE

CHECK ONE:

- ☐ CREATE NEW LOT(S)
☒ BUILD ON AN EXISTING LOT IN A SUBDIVISION
☐ BUILD ON AN EXISTING PARCEL OF RECORD

IS THE PROPERTY WITHIN 2500' OF ANY RESERVOIR?

- ☐ YES
☒ NO

THE TYPE OF STRUCTURE IS:

- ☒ RESIDENTIAL WITH 3 PROPOSED BEDROOMS IN THE COMPLETED STRUCTURE (NOTE UNKNOWN IF APPROPRIATE)
☐ COMMERCIAL (PROVIDE DETAIL OF NUMBERS AND TYPES OF EMPLOYEES/ CUSTOMERS ON ACCOMPANYING PLAN)
☐ INSTITUTIONAL/GOVERNMENT (PROVIDE DETAIL OF NUMBERS AND TYPES OF EMPLOYEES/USERS ON ACCOMPANYING PLAN)

PROPERTY OWNER(S) Eugene & June Liverette

DAYTIME PHONE 410-531-2389 CELL _____ FAX _____

MAILING ADDRESS 6112 Thompson Drive Clarksville MD 21029
STREET CITY/TOWN STATE ZIP

APPLICANT Lynn Covey

DAYTIME PHONE _____ CELL 410-984-2824 FAX _____

MAILING ADDRESS 5900 Whaleyport Drive Clarksville MD 21029
STREET CITY/TOWN STATE ZIP

APPLICANT'S ROLE: DEVELOPER BUILDER BUYER RELATIVE/FRIEND REALTOR CONSULTANT

PROPERTY LOCATION

SUBDIVISION/PROPERTY NAME Heritage Heights LOT NO. 9

PROPERTY ADDRESS Thompson Dr. Clarksville 21029
STREET TOWN/POST OFFICE

TAX MAP PAGE(S) 34 GRID 12 PARCEL(S) 217 PROPOSED LOT SIZE 20,000 SF

AS APPLICANT, I UNDERSTAND THE FOLLOWING: THE SYSTEM INSTALLED SUBSEQUENT TO THIS APPLICATION IS ACCEPTABLE ONLY UNTIL PUBLIC SEWERAGE IS AVAILABLE. THIS APPLICATION IS COMPLETE WHEN ALL APPLICABLE FEES AND A SUITABLE SITE PLAN HAVE BEEN RECEIVED. I ACCEPT THE RESPONSIBILITY FOR COMPLIANCE WITH ALL M.O.S.H.A. AND "MISS UTILITY" REQUIREMENTS. APPROVAL IS BASED UPON SATISFACTORY REVIEW OF A PERC CERTIFICATION PLAN.

TEST RESULTS WILL BE MAILED TO APPLICANT

SIGNATURE OF APPLICANT

HOWARD COUNTY HEALTH DEPARTMENT, BUREAU OF ENVIRONMENTAL HEALTH, WELL AND SEPTIC PROGRAM
7178 COLUMBIA GATEWAY DRIVE COLUMBIA, MARYLAND 21046 (410) 313-2640 FAX (410) 313-2648
TDD (410) 313-2323 TOLL FREE 1-877-4MD-DHMH

A/P _____

2012 FEB -9

AM 10:57

DATE	TEST #	DEPTH	START	BREAK 1" DROP	STOP 2" DROP	TIME OF 2ND INCH	P/F/H

REMARKS _____

SANITARIAN _____ BACKHOE _____ OTHERS _____

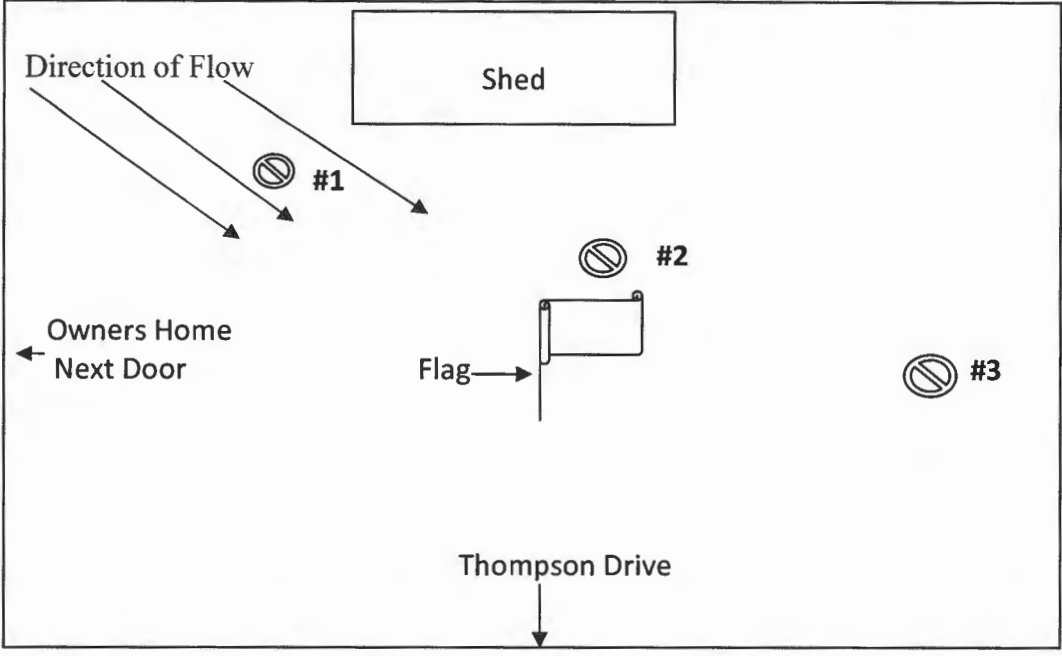
TEST HOLES USED IN SDA _____ AVG. PERC TIME _____ SQ. FT/BR _____

TRENCH WIDTH _____ INLET DEPTH _____ MAX. BOT DEPTH _____ EFFECTIVE SW _____

A/P #_536728_____Percolation Information- Heritage Heights Lot #9

1

Not Tested
at
Customers
Request



#

#2

Grey Brown
2sbk SCL
-----8'

Red Brown
Heavy CL
-----9'

Red, Brown
5%-10%
Small Stones
Much Mica
Medium SL

H2O
@ 12 feet

-----14'

Date	Test #	Depth	Start	Break 1" Drop	Break 2" Drop	Time of 2 nd Inch	P/F/H
2-28-12	1	Not	Tested	At	Customers	Request	
2-28-12	2	8.5'/14'	11:20	11:52		32 min. →	F
2-28-12	3	13'					→ F

#

3

Grey Brown
2sbk SCL
-----8'

Red Brown
Heavy CL
-----8.5'

Red, Brown
5%-10%
Small Stones
Much Mica
Medium SL

H2O
@ 12 feet

↓

-----13'

Remarks__Not able to establish sewage disposal area._____

Sanitarian _Dana Bernard_____ Backhoe _____ Others_____

Test Holes Used in _____ Avg. Perc Time _____ SQ.FT/BR _____

Trench Width _____ Inlet Depth _____ Max Bot.Depth _____ Effective S/W _____

#

Maryland Department of Assessments and Taxation
Real Property Data Search (vw3.1A)
HOWARD COUNTY

[Go Back](#)
[View Map](#)
[New Search](#)
[GroundRent](#)
[Redemption](#)
[GroundRent](#)
[Registration](#)

Account Identifier: District - 05 Account Number - 357896

Owner Information

Owner Name: LIVERETTE EUGENE & WF **Use:** RESIDENTIAL
Principal Residence: NO
Mailing Address: 6112 THOMPSON DR
CLARKSVILLE MD 21029-1504 **Deed Reference:** 1) /00386/ 00710
2)

Location & Structure Information

Premises Address HERITAGE HTS
CLARKSVILLE 21029-0000
Legal Description 1 LOT 9 BL C S 1
HERITAGE HEIGHTS
CLARKSVILLE

Map	Grid	Parcel	Sub District	Subdivision	Section	Block	Lot	Assessment Area	Plat No: Plat Ref:
0034	0012	0217		0000			9	2	

Special Tax Areas
Town NONE
Ad Valorem 101
Tax Class

Primary Structure Built	Enclosed Area	Property Land Area	County Use
		0.4500 AC	

Stories **Basement** **Type** **Exterior**

Value Information

	Base Value	Value As Of 01/01/2011	Phase-in Assessments As Of 07/01/2011	As Of 07/01/2012
Land	4,500	4,500		
Improvements:	0	0		
Total:	4,500	4,500	4,500	4,500
Preferential Land:	0			0

Transfer Information

Seller:	Date:	Price:
Type:	Deed1:	Deed2:
Seller:	Date:	Price:
Type:	Deed1:	Deed2:
Seller:	Date:	Price:
Type:	Deed1:	Deed2:

Exemption Information

Partial Exempt Assessments	Class	07/01/2011	07/01/2012
County	000	0.00	
State	000	0.00	
Municipal	000	0.00	0.00

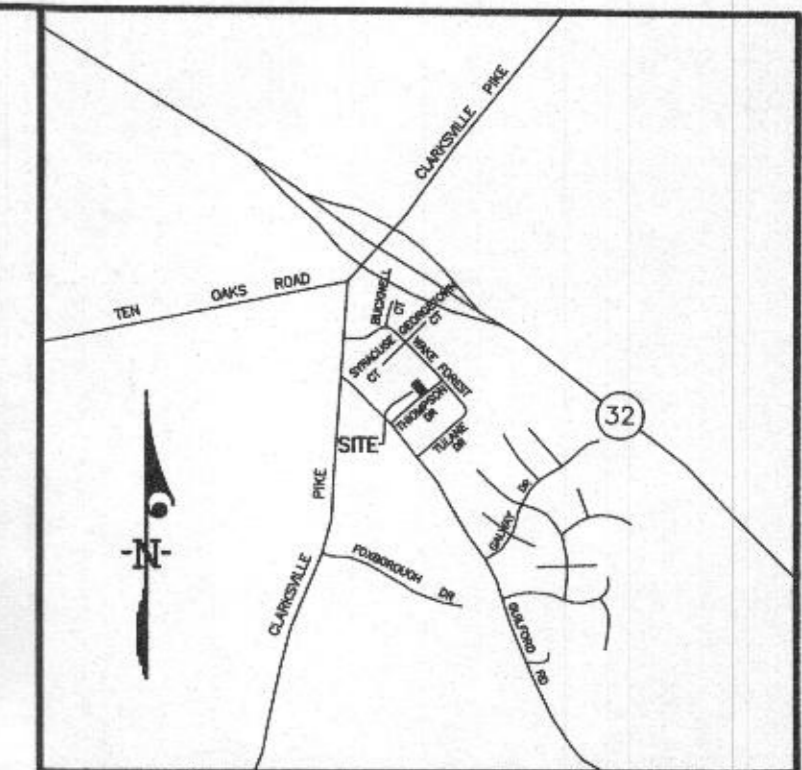
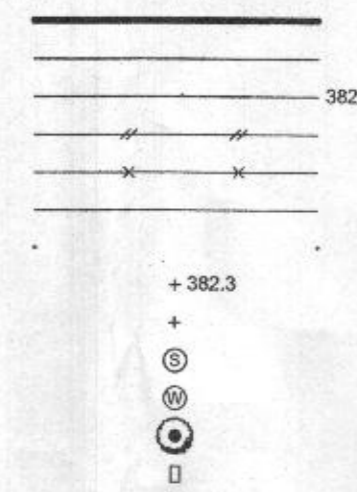
Tax Exempt: **Special Tax Recapture:**
Exempt Class:

FILE INQUIRY NOTES

[illegible]

LEGEND

BOUNDARY
ADJOINING BOUNDARY
EXISTING CONTOUR
WOOD/VINYL FENCE
CHAIN LINK FENCE
GRAVEL DRIVEWAY
EXISTING TREELINE
EXISTING SPOT ELEVATION
FLAG POLE
SEPTIC TANK
WELL
TREE
MAILBOX

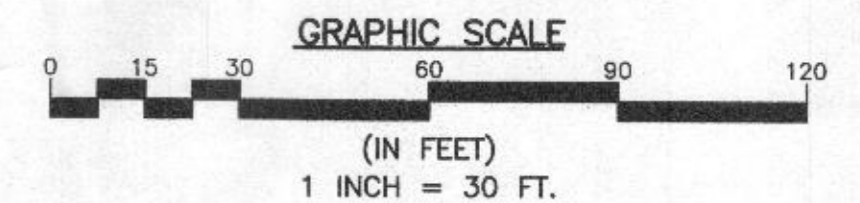


HOWARD COUNTY BENCH MARK
NO. 34FM3

VICINITY MAP
Scale: 1"=2000'

GENERAL NOTES:

- Existing topography shown is from field run topography by Sill Adcock, January 2012. Perc. test location elevations based on field run survey by Sill Adcock.
- All existing and proposed, septic systems and wells within 100' feet of the adjoining property have been shown.
- This area designates a private SEWAGE DISPOSAL AREA as required by Maryland Department of Environment for individual sewage disposal. Improvements of any nature in this area are restricted. This SEWAGE DISPOSAL AREA shall become null and void upon connection to a public sewerage system. The County Health officer shall have authority to grant adjustment to the private SEWAGE DISPOSAL AREA.
- No grading shall be performed over any portion of a septic easement unless specifically approved by the Health Department.
- Subject property is zoned R-12 per the 2/02/04 comprehensive zoning plan and the "comp. lite" zoning amendments effective 7/28/06.
- All wells are to be drilled prior to Build permit issuance.
- The lot shown hereon complies with the minimum ownership width and lot area as required by the Maryland State Department of the Environment.
- The house location shown complies with the minimum building restriction regulation.
- Any change to a private sewage easement will require a revised perc certification plan.
- Existing septic fields shown are from existing Health Department records.



OWNER

EVGENE LIVERETTE
6112 THOMPSON DRIVE
CLARKSVILLE, MD 21029

DEVELOPER/CONTRACT PURCHASER

LYNN COVEY
5900 WHALEBOAT DRIVE
CLARKSVILLE, MD 21029



CLARK · FINEFROCK & SACKETT, INC.
ENGINEERS · PLANNERS · SURVEYORS

7130 MINSTREL WAY · COLUMBIA, MD 21045 · (410) 381-7500 BALT. · (301) 621-8100 WASH.

DESIGNED DAR	PERCOLATION CERTIFICATION PLAT LOT 9 TAX MAP 34, GRID 12 HERITAGE HEIGHTS FOURTH (4th) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1" = 30'
DRAWN RM		DRAWING 1 of 1
CHECKED DAR		JOB NO. 11-094
DATE 2-6-12		FILE NO. 11-094 0
FOR : LYNN COVEY 5900 WHALEBOAT DRIVE CLARKSVILLE, MD 21029		

PERC CERTIFICATION:

I certify that the information shown hereon are based on field work done under my direct supervision, and is correct, to the best of my professional knowledge and belief.

William L. Wachen
Surveyor: WILLIAM L. WACHEN
Date: 11 Feb 12

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS

COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

DATE

J:\3KEYS-VILLAGE\Lots5-8perc.dwg