

RECEIVED

PERMIT NUMBER: B2000A1251

DATE ACCEPTED:

NOV 16 2020



RESIDENTIAL BUILDING PERMIT APPLICATION & PERMITS DIVISION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4

www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 1033 Stepping Pl		Unit:
City: Sykesville	State: MD	Zip Code: 21784
Subdivision/Village/Complex Name: Walker Meadows		SDP/WP/BA #: GP-21-39
Lot: 12	Tax Map:	Parcel:
Grading Permit #:		

DESCRIPTION OF WORK REQUIRED

Existing Use: Vacant lot	Proposed Use: SFD	Estimated Cost: \$ 220,000
Trade Work to Be Completed (Separate Permits Required): ☐ Mechanical (HVACR) ☐ Electrical ☐ Plumbing ☐ None		
New 2 story "Marrymount" ELV A, with covered rear porch, 2 car garage, 1st floor bathroom and finished lower level (see room - lot.)		

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): NVR Inc. - contact: J. Anastasia		Primary Residence: ☐ Yes ☒ No
Owner's Street Address: 9720 Patuxent Woods Dr		
City: Columbia	State: MD	Zip Code: 21046
Phone: 410-379-5956	Email: janastasia@nvrinc.com	

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Decorative Building Services		Contact Name: Jim Kerwin
Street Address: PO Box 552 J		
City: Woodlawn	State: MD	Zip Code: 21797
Phone: 443-309-7792	Email: jim@decorativebuilding.com	

CONTRACTOR INFORMATION REQUIRED

Business Name: NV Homes		Contact: James Anastasia
Licensee's Name: NVR Inc.		License #: 56
Street Address: 9720 Patuxent Woods Dr		
City: Columbia	State: MD	Zip Code: 21046
Phone: 410-379-5956	Email: janastasia@nvrinc.com	

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name:	Name:
Street Address:	
City:	State:
Phone:	Email:
Zip Code:	

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: ☒ SF Dwelling ☐ SF Townhouse ☐ SF Duplex ☐ Mobile Home ☐ Multi-Family Dwelling (MF*)	Condo: ☐ Yes ☒ No
Utilities: ☒ Electric ☒ Gas	Water Supply: ☐ Public ☒ Private (Well)
Sewage Disposal: ☐ Public ☒ Private (Septic)	
Heating System: ☒ Electric ☒ Natural Gas ☐ Propane ☐ Other:	Roadside Tree Project: ☒ No ☐ Yes: #
Sprinkler System: ☐ NFPA 13 ☐ NFPA 13R ☒ NFPA 13D ☐ None	Fire Alarm System: ☐ Yes ☒ No ☐ Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: Marymount ELV A, 2 car garage, covered porch, 1st floor bath, finished lower level					
# of Bedrooms (SF): 5	# of efficiency units (MF*):	# of 1 BR (MF*):	# of 2 BR (MF*):	# of 3 BR (MF*):	
# Rooms: 9	# Full Baths: 5	# Half Baths: 0	# Fireplaces: 0		
Garage/Carport Info: ☒ Attached Garage ☐ Detached Garage ☐ Integral Garage ☐ Carport ☐ None					
Basement/Foundation Info: ☐ Slab on Grade ☐ Post & Pier ☐ Unfinished Basement ☒ Finished Basement: ☒ Full or ☐ Partial					
1st Fl Width: 54	1st Fl Depth: 45.7	2nd Fl Width: 54	2nd Fl Depth: 40	Bsmt Width: 54	Bsmt Depth: 45
Energy Method: ☐ Prescriptive ☒ Performance ☐ UA Alternative ☐ ERI		Gross Area: 5877 sq ft		Occupiable Area: 5661 sq ft	

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE

DATE SIGNED

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:

☒ PR	☒ DPZ	☐ DED	☒ Health	☐ SHA	☒ CID
SUBMITTAL FEES: 1205		PAYMENT: 3062.33		ACCEPTED BY:	

Menu Save Reset Cancel Help

Record Detail * (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Misc/Tanks	B21000118	01/15/2021
Description of Work		
SFD/ INSTALL (1) 1000GAL UNDERGROUND PROPANE TANK		

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type
1033	STEPPING	PL
Unit Type	Unit #	X Coordinate
-Select-		-76.94072
		Y Coordinate
		39.34357
City	State	Zip Code
SYKESVILLE	MD	21784
	Primary	
	Yes	

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
11059579	66	0	0	0	0	RURAL
Legal Description						

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	12	603000	5				
Plan Area	State Tax Id	Subdivision Name					
		Walker Meadows					
Section	Area	Tax Map					
		9					
Grid	Zoning District	ADC Map					
9-6	RR-DEO	4693-K6					
SDP No.	Final Plan No.	WP File No.					
	ECP-15-078						
Record Plat No.	WS Contract No.	FDP No.					
24974-2497							
Owner Occupied	Year Built	Historic District					
☐ Yes ☐ No		☐ Yes ☒ No					
Historic District Registry No.	Stat Area	Flood Plain					
	3-01	☐ Yes ☒ No					
Building No							

Owner * (This section is required.)

Search

Reset

Clear

Name *

ESC WALKER MEADOWS

Address Line 1

1355 BEVERLY RD #240

Address Line 2**Address Line 3****Mail City**

MCLEAN

Mail State

VA

Mail Zip Code

21226

Phone

443-545-4393

Primary

Yes

E-mail**Cell Number****Fax Number****Professionals** (This section is not required.)

Search

Reset

Clear

License # *

20100081215

Business Name

J E FEAGA AND SON EXCAVATING INC

License Type *

Propane Gs

First Name

DENNIS

Middle Name**Last Name**

FEAGA

Primary

Yes

Address Line 1

1560 A-D CATON CENTER DR

Address Line 2

1625 HENRYTON RD

City

BALTIMORE

State

MD

ZIP Code

21227

Phone 1

4104425623

Phone 2**Fax**

4104425623

E-mail**Applicant** (This section is not required.)

Search

As Owner

As Lic. Prof

As Contact

Type *

Applicant

First Name

MICHELLE

MI**Last Name**

CLANCY

Relationship

Applicant

Full Name

MICHELLE CLANCY

Primary

Yes

Organization Name

APPLIED & APPROVED PERMITS LLC

Street Address

P.O. BOX 310

Address Line 2**City**

PERRY HALL

State

MD

Zip Code

21128

Phone

443-340-1229

Cell**Fax****E-mail** *

MICHELLE@APPLIEDANDAPPROVED.COM

Addtl Info

Est Construction Cost *	Housing Units *	Number of Buildings *	Public Owned
3000	0	0	No
Construction Type			
--Select--			

TANK INFORMATION

RESIDENTIAL TANK INFORMATION

Capital Project-No Fee *	Capital Project Number	Fee Exempt *	Roadside Tree Project Permit *	Roadside Tree Permit #
☐ Yes ☒ No		☐ Yes ☒ No	☐ Yes ☒ No	
Existing Use	Number of Tanks Installed *	Number of Tanks Removed *		
SFD	1	0		
Water Supply	Sewage Disposal	Expiration Date	Relocate Existing Tank *	
Private	Private	7/14/2021	0	

PAYMENT INFORMATION

Check 1	Payee 1	Check 2	Payee 2	SAP Doc No	SAP Entered

Submit

Cancel

Scale
1"=40'
1000' US

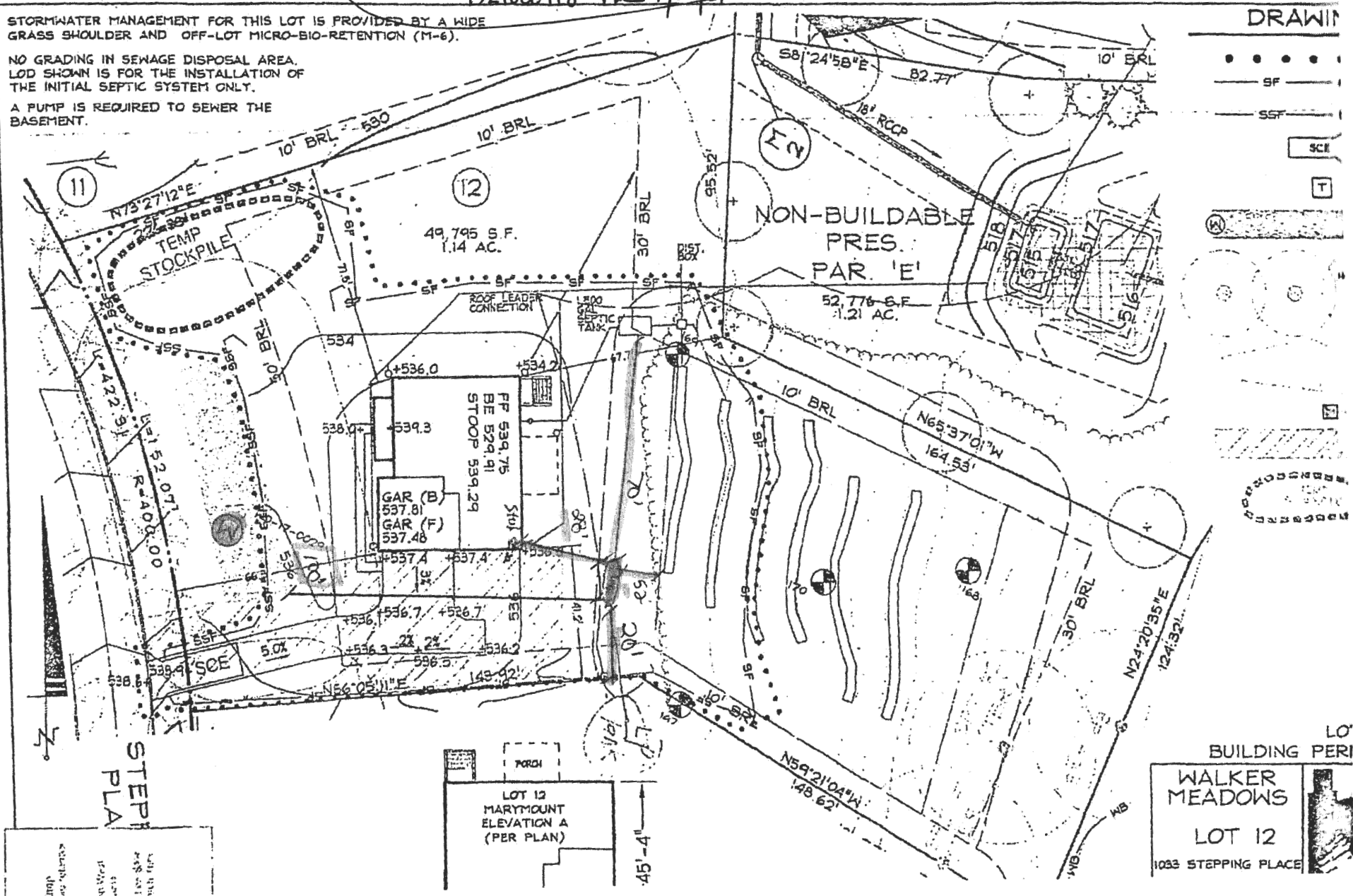
1033 Stepping Place U12

Approved for LP tank
B21000118 AK 1/20/21

STORMWATER MANAGEMENT FOR THIS LOT IS PROVIDED BY A WIDE GRASS SHOULDER AND OFF-LOT MICRO-BIO-RETENTION (M-6).

NO GRADING IN SEWAGE DISPOSAL AREA. LOD SHOWN IS FOR THE INSTALLATION OF THE INITIAL SEPTIC SYSTEM ONLY.

A PUMP IS REQUIRED TO SEWER THE BASEMENT.



DRAWING

• • • • •
SF
SSF
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10' BUILDING PERI
WALKER MEADOWS
LOT 12
1033 STEPPING PLACE

Maura J. Rossman, M.D., Health Officer**MEMORANDUM**

TO: **James Anastasia, NVR, Inc.**

FROM: **Robert Bricker, REHS/RS, L.E.H.S.**
Well & Septic Program

RE: **1033 Stepping Place, Potential Basement Bedroom**

DATE: **December 23, 2020**

I have reviewed the floor plans in support of Building Permit **B20004125** for a new home at **1033 Stepping Place** and noted that there is a full bathroom planned in the part-finished basement. Please note that this makes it very likely for at least one more room to be considered a bedroom should the basement area be modified and/or an egress window installed.

For reference, the following is the bedroom definition in Howard County Code Section 3.801(b):

- (1) Except as provided in paragraph (2) of this subsection, a bedroom is any space in the conditioned area of a dwelling unit or accessory structure that:
 - (i) Is 90 square feet or greater in size;
 - (ii) May be used as a private sleeping area; and
 - (iii) Has at least one window and one interior door.
- (2) If a home office, library, or similar room is proposed, it may not be a bedroom if there is no closet; and
 - (i) The room contains permanently built-in bookcases around the perimeter of the room, desks, and other features that encumber the room;
 - (ii) A minimum 4 foot-wide opening, without doors, into another room;
 - (iii) A half wall (4 foot maximum height) between the room and another room; or
 - (iv) The room is a first floor room or basement area that does not have direct access to full bathrooms or "roughed in" plumbing that would provide direct access to future full bathroom facilities.

The Health Department strongly recommends sizing the onsite sewage disposal system at least one bedroom larger than the existing **five(5)-** bedroom design to accommodate a future modification of the finished basement. If you choose to only size for the existing design, any future building permit for modification of the finished basement may be placed on hold until the system is upgraded to accommodate the proposed number of bedrooms. This memo will be retained in the Health Department file for future reference.

1033 Stepping Place
Lot 12

MARYMOUNT *Health Dept*

DN-COMM-LOT-UNIT		
MDE-1W-0012		
COMM-LOT		
WALKER MEADOWS - 0012		
STREET ADDRESS		APT. NO.
1000 STEPPING PLACE		
CITY	STATE	ZIP
SPRINGVILLE	MD	21184

B2000 4/25



NVR, Inc.
5285 Westview Drive, Suite 100
Frederick, MD 21703

VR OK 5 bedrooms
ref 12/22/20

[illegible]

FIRST FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	1746 SF
	1746 SF
HEALTH	
SECOND FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
2ND FLOOR (BASE SF)	2072 SF
	2072 SF
GARAGE SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1NO CAR FRONT OR SIDE ENTRY GARAGE	324 SF
	324 SF
BASEMENT SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
FINISHED BASEMENT	689 SF
	689 SF
TOTAL FINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	1746 SF
2ND FLOOR (BASE SF)	2072 SF
FINISHED BASEMENT	689 SF
	4709 SF

SET - VERSION
12000 - 01

CS-1

\\NVR\3solvers\MAINT\MOUNT_12000_01\WIDE-1W-0012\2144266\Sheets\Lot_Spec\Info\CS-1 CONVERTSHEET.dwg 11/03/2005 3:00 am

LEGEND

	BEARING WALL
	NON BEARING WALL
	INDICATES STARTING FROM POINT/LOAD ABOVE
	JACKS
	BEAM/HEADER
	PIED FOOTING
	STEEL COLUMN
	PORTAL FRAME
	JOIST/TRUSS
	LVL
	ENGINEERING PAGE NUMBER

SEE FC DETAILS FOR FRAMING CONNECTORS

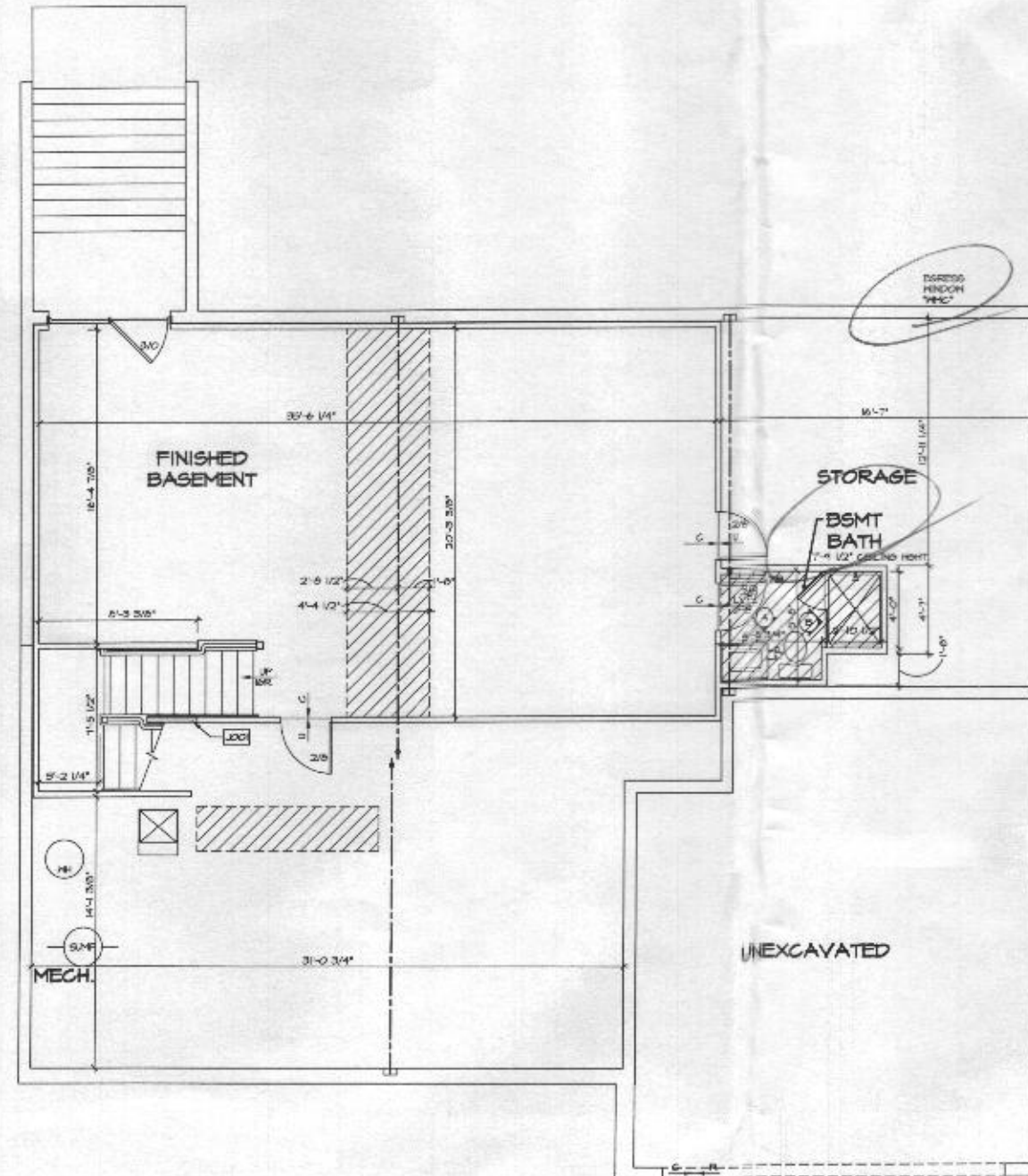
- ### FLOOR PLAN NOTES
- ALL HEADERS ARE 2" X 6" OR 2" X 8" WALLS OR 3" (2" IN) X 6" OR 4" X 8" UNLESS OTHERWISE NOTED.
 - ALL HEADERS TO HAVE 3" X 6" OR 2" X 8" JACK BRACE END, UNLESS OTHERWISE NOTED.
 - ALL JOIST SPACING TO BE 16" UNLESS OTHERWISE NOTED.
 - ALL WALLS TO BE 3" UPT, UNLESS OTHERWISE NOTED.
 - HATCHED AREAS INDICATE ENCLOSED GIBBELING, ALL OTHER AREAS TO BE OPEN.
 - ALL DOOR CASES TO BE 3" UPT, UNLESS OTHERWISE NOTED.
 - SEE "SCHEDULE" PANEL, DETAIL SHEET FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
 - ALL WINDOWS HAVE 7" X 10" UPT HEADERS UNLESS OTHERWISE NOTED.
 - ALL BASED CRANKS AT 7'-1", UNLESS OTHERWISE NOTED.

AT GARAGE:
3/8" DRYHALL ON COMMON WALLS, CEILING, AND BEARING
WALLS AS REQUESTED.

AT STAIRS:
1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS
IN CLOSET.

WITH OPTION "SG1" - DRYHALL
UNFINISHED BASEMENT CEILING AREA

- NOTES:**
- 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN HIGH-RISE AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED
 - A MAXIMUM AREA OF 50 SQ FT MAY BE OMITTED AS REQUIRED FOR INSTALLATION OF PLUMBING, ELECTRICAL AND/OR INACE (TYPICALLY AN 8'-0" X 6'-0" CEILING SPACE ABOVE MECHANICAL AREA)
 - PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.



Potential
for future
bedroom

BASEMENT FLOOR PLAN

DN-COM-LOT-LIMIT
MDE-W-0012
COM-LOT

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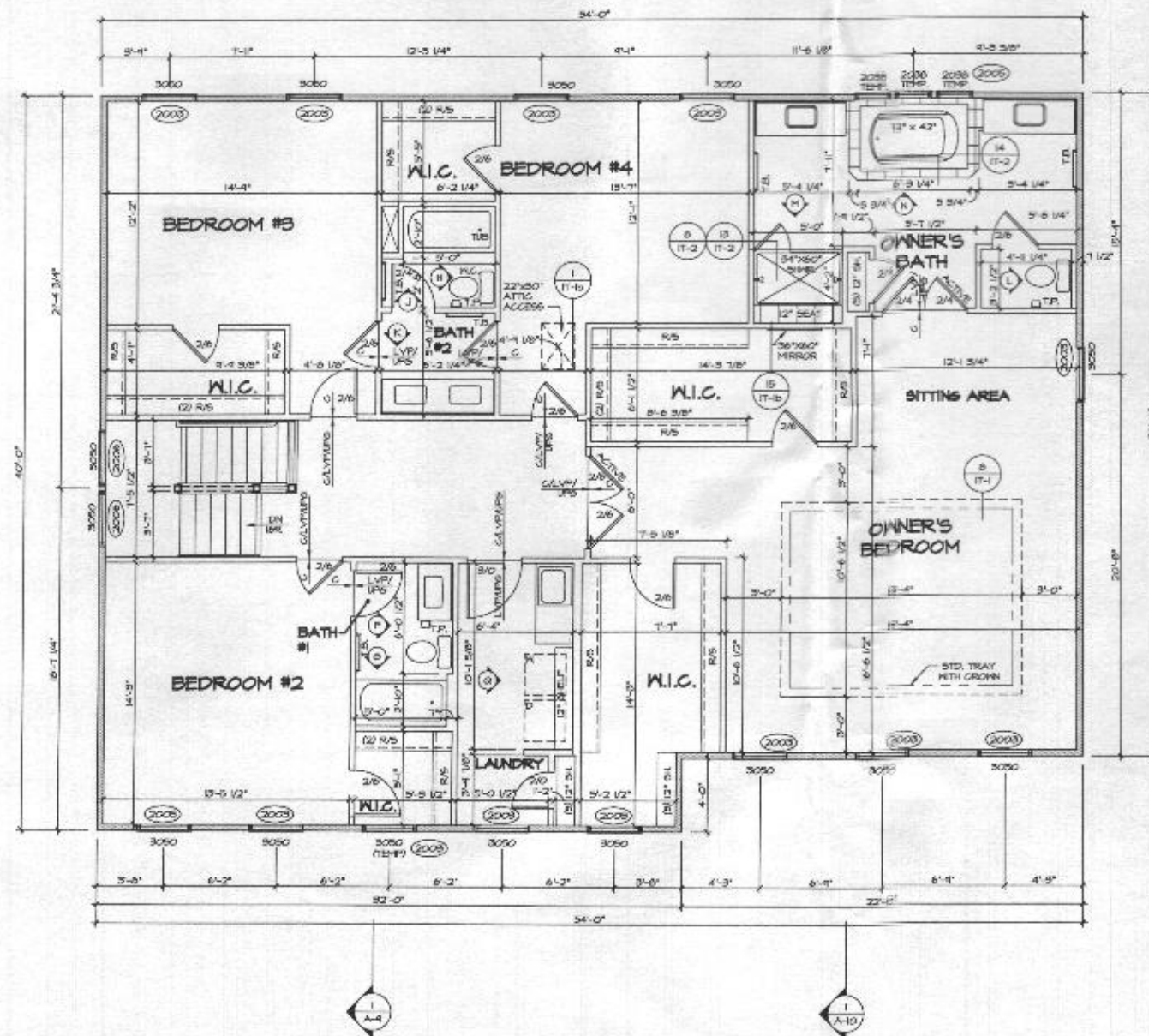
SET NO. 0000
VERSION 01
ISSUED BY
DATE:
NOTION

MODEL	DRAWING TITLE	OPTION DESCRIPTION
MARYMOUNT	BASEMENT FLOOR PLAN	

SHEET NO. A-6

C:\NVS\SOURCE\MARYGOUN_12000_DP\M0E_1W_0UT2\21444685\SUM1\Vol_500file\92_A-6_E5MT_L5.dwg 11/03/20 - 3:00 am

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SECOND FLOOR JACK SCHEDULE				
IDENTIF.	DESCRIPTION	OPTIONS	ENG. H.N.L.	REMARKS

- FLOOR PLAN NOTES**
1. ALL HEADERS ARE (3) 2x6 w/ 2x4 WALLS OR (5) 2x6 w/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
 2. ALL HEADERS TO HAVE (4) 2x4 OR 2x6 JACKS EACH END, UNLESS OTHERWISE NOTED.
 3. ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
 4. HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
 5. SEE "BRACED WALL PANEL DETAIL SHEET" FOR OPTIMAL WALL TRAPPING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
 6. ALL WINDOWS HAVE 7'-0" 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
 7. ALL GATED OPENINGS AT 1'-11", UNLESS OTHERWISE NOTED.

- LEGEND**
- BEARING WALL
 - NON BEARING WALL
 - INDICATES BEARING FROM POINT-LOAD ABOVE
 - JACKS
 - BEAM/HEADERS
 - RAD. FOOTING
 - STEEL COLUMN
 - PORTAL FRAME
 - JOIST/TRUSS
 - LVL
 - ENGINEER'S PAGE NUMBER
- SEE FC DETAILS FOR FRAMING CONNECTIONS

4 bedrooms
+1
Total, 5 bedrooms

SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

DIV. COMM. LOT UNIT MDE-IN-0012		CUM. LOT MALKER MEADOWS - 002		APT. NO. ---	
STREET ADDRESS 1035 STEPHEN PLACE		CITY STOKESVILLE		STATE MD	
ZIP 21154		11/03/20 - 3011 am			

NVR NVR, Inc. 5305 Mainline Drive, Suite 100 Frederick, MD 21703		SET NO. 2000 VERSION 01 DRAWN BY DATE: OPTION	
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SHEET NO. A-8	BUILDING MARYMOUNT	DRAWING TITLE SECOND FLOOR PLAN	OPTION DESCRIPTION 2a
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