

PERMIT NUMBER: B 20003359

DATE ACCEPTED:

RECEIVED

SEP 24 2020

RESIDENTIAL BUILDING PERMIT APPLICATION			
HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS DIVISION			
3430 COURT HOUSE DRIVE, ELICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4			
www.howardcountymd.gov			
BUILDING SITE ADDRESS REQUIRED			
Street Address: 8421 W GROVE RD	Unit:		
City: ELICOTT CITY MD	State: MD	Zip Code: 21043	
Subdivision/Village/Complex Name: 2002	SDP/WP/BA #:		
Lot:	Tax Map: 0031	Parcel: 0287	Grading Permit #:
DESCRIPTION OF WORK REQUIRED			
Existing Use: SFD	Proposed Use: SFD	Estimated Cost: \$ 125,000.00	
Trade Work to Be Completed (Separate Permits Required): ☒ Mechanical (HVACR) ☒ Electrical ☒ Plumbing ☐ None			
13' 8" x 48' Addition 2 FLOORS, 1 Full Bath, Kitchen Remodel.			
14' x 20' DECK w/ 2 sets of 6 steps to the ground.			
PROPERTY OWNER INFORMATION REQUIRED			
Owner(s) Name(s) (As it appears on tax records): Itakpe John Itakpe Rosemary		Primary Residence: ☒ Yes ☐ No	
Owner's Street Address: 8421 W GROVE RD			
City: ELICOTT CITY	State: MD	Zip Code: 21043-6656	
Phone: 301 832 2116	Email: MLIBCKE100@gmail.com		
APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION			
Business Name:		Contact Name: John Itakpe@gmail.com	
Street Address: 8421 W GROVE RD.			
City: ELICOTT CITY	State: MD	Zip Code: 21043-6656	
Phone: 301-832 2116	Email: MLIBCKE100@gmail.com		
CONTRACTOR INFORMATION REQUIRED			
Business Name: HOMEOWNER		John Itakpe@gmail.com	
Licensee's Name:		License #:	
Street Address:			
City:	State:	Zip Code:	
Phone:	Email:		
ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE			
Business Name: Sunflower Home Designs Inc		Name: Michael Libcke	
Street Address: 4504 Blackpool Dr.			
City: Beltsville	State: MD	Zip Code: 20705	
Phone: 301 832 2116	Email: MLIBCKE100@gmail.com		
BUILDING CHARACTERISTICS REQUIRED			
Primary Structure: ☒ SF Dwelling ☐ SF Townhouse ☐ SF Duplex ☐ Mobile Home ☐ Multi-Family Dwelling (MF*)		Condo: ☐ Yes ☐ No	
Utilities: ☒ Electric ☐ Gas		Water Supply: ☐ Public ☒ Private (Well)	
Heating System: ☒ Electric ☐ Natural Gas ☐ Propane ☐ Other:		Roadside Tree Project: ☒ No ☐ Yes: #	
Sprinkler System: ☐ NFPA 13 ☐ NFPA 13R ☐ NFPA 13D ☒ None		Fire Alarm System: ☒ Yes ☐ No ☐ Voice Evac	
ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)			
Model Name & Options:			
# of Bedrooms (SF): 4	# of efficiency units (MF*):	# of 1 BR (MF*):	# of 2 BR (MF*):
# Rooms:	# Full Baths: 2 Full	# Half Baths:	# Fireplaces:
Garage/Carport Info: ☒ Attached Garage ☐ Detached Garage ☐ Integral Garage ☐ Carport ☐ None			
Basement/Foundation Info: ☐ Slab on Grade ☐ Post & Pier ☐ Unfinished Basement ☒ Finished Basement: ☒ Full or ☐ Partial			
1 st Fl Width:	1 st Fl Depth:	2 nd Fl Width:	2 nd Fl Depth:
Energy Method: ☐ Prescriptive ☐ Performance ☐ UA Alternative ☐ ERI		Gross Area: sq ft	Occupiable Area: sq ft
AGREEMENT/ DISCALKIMER REQUIRED			
THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.			
APPLICANT'S ORIGINAL SIGNATURE		DATE SIGNED: 9-7-2020	
FOR OFFICE USE ONLY			
CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY			
AGENCIES REQUIRED/APPROVALS:			
☒ PR	☒ DPZ	☒ BED	☒ Health 5/13/21 ☐ SHA ☐ CID
SUBMITTAL FEES:		PAYMENT: \$1011	
HDS-N Submit		ACCEPTED BY: [Signature]	

Oswald, Hank

From: Allen, Nancy
Sent: Tuesday, May 11, 2021 2:05 PM
To: Oswald, Hank
Subject: RE: Public Water & Sewer Connection Inquiry_8421 W. Grove Road

Hello Hank,
Yes. 8421 West Grove Road is connected to public water and sewer.
Back in 2011.

From: Oswald, Hank <hoswald@howardcountymd.gov>
Sent: Tuesday, May 11, 2021 1:58 PM
To: Allen, Nancy <nallen@howardcountymd.gov>
Subject: Public Water & Sewer Connection Inquiry_8421 W. Grove Road

Hi Nancy:

Good afternoon. Can you tell me if 8421 W Grove Road, E.C. is connected to public water and sewer?

Thanks in advance,

Hank

Hank Oswald, L.E.H.S.
Howard County Health Department
Well & Septic Program
410.313.1786

5.13.21 - Site visit conducted. No well or septic sys.
components observed. - H.O.

8421 W GROVE RD ELLICOTT CITY MD 21043: Single Family Home Renovation

SUBMISSION: Permit Set DATE: 24 APR 2021 ADDRESS: 8421 W GROVE RD ELLICOTT CITY MD 21043

APPLICABLE CODES:

NAME OF JURISDICTION: HOWARD COUNTY

PROJECT NAME: GROVE RD PROJECT

BUILDING: 2018 INTERNATIONAL BUILDING CODE
AS AMENDED BY THE MARYLAND BUILDING
PERFORMANCE STANDARDS.

FIRE: 2018 NFPA-1 UNIFORM FIRE CODE
2018 SPRINKLER NFPA 13
2018 FIRE ALARM NFPA 72
2018 LIFE SAFETY NFPA 101

MECHANICAL: 2018 INTERNATIONAL MECHANICAL CODE

ENERGY: 2018 INTERNATIONAL ENERGY CONSERVATION CODE

RESIDENTIAL: 2018 INTERNATIONAL RESIDENTIAL CODE FOR ONE- AND TWO-
FAMILY DWELLINGS

FIRE: NFPA 101 LIFE SAFETY CODE, AS ADOPTED BY THE MARYLAND STATE FIRE CODE

PLUMBING: INTERNATIONAL PLUMBING CODE, 2018 EDITION

ELECTRICAL: NFPA 70 NATIONAL ELECTRICAL CODE, 2017 EDITION (REPLACES ICC,
INTERNATIONAL ELECTRICAL CODE)

BUILDING CODE: INTERNATIONAL BUILDING CODE, 2018 EDITION

FUEL GAS CODE: INTERNATIONAL FUEL GAS CODE, 2018 EDITION

HANDICAPPED ACCESSIBILITY CODE: MD ACCESSIBILITY CODE COMAR 09.12.53

PETRO GAS CODE: LIQUIFIED PETROLEUM GAS CODE, NFPA 58, 2017 EDITION

ENERGY: 2018 INTERNATIONAL ENERGY CONSERVATION CODE

SCOPE OF WORK: INTERIOR RENOVATIONS KITCHEN AND BATHROOMS, BEDROOM ADDITION, 800 SQ FT
TWO NEW FULL SIZE BATHROOM AND WALK IN CLOSET

DESIGN CRITERIA

FLOOR LIVE LOAD = 40 LBS PER SQUARE FOOT (PSF) FOR ALL SPACES INCLUDING SLEEPING ROOMS WHERE THE
DEAD LOAD = 10 LBS PER SQUARE FOOT (PSF)

ROOF LIVE LOAD = 40 PSF, WITH ADDITIONAL LOAD FOR ROOF AREAS SUBJECT TO DRIFTING.

BASIC WIND SPEED = 115 MPH, 3 SECOND GUSTS; SEISMIC DESIGN CATEGORY = B

FROST FOOTING DEPTH = 30"

DRAWING INDEX:

CS COVER SHEET, SITE PLAN,
BUILDING DATA, DRAWING INDEX

AD 0100 EXISTING / DEMO PLAN

A 0101 EXISTING ELEVATIONS

A 0200 FOUNDATION PLAN AND
FIRST FLOOR FRAMING PLAN

A 0201 FIRST FLOOR & ATTIC FRAMING PLAN

A 0202 ROOF FRAMING PLAN & DETAILS

A 0203 SECTION DETAILS

A 0301 SECTIONS

A 0302 ELEVATIONS

A 0303 DECK FRAMING DETAILS

PROJECT NARRATIVE:

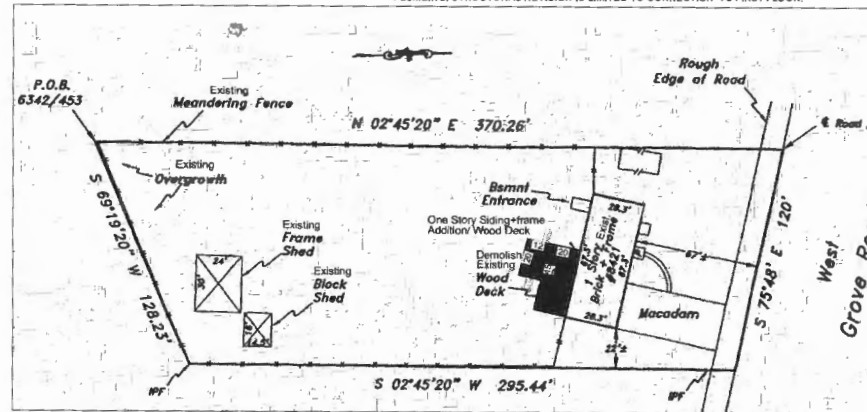
900 SQ. FT ADDITION OF MASTER- BED AND BATH, DINING ROOM & KITCHEN,
AND RENOVATION OF AN EXISTING 1904.59 SF SINGLE FAMILY HOME

NEW SOUTH FACING ROOF IS DESIGNED TO ACCOMMODATE SOLAR PANELS
EXISTING ROOF WILL REMAIN IN PLACWTH OVER-BUILT CRICKET ROOF CONNECT TO NEW ROOF
EXIST. HOUSE:

1. RELOCATE EXTERIOR HVAC EQUIPMENTS TO OWNERS' CHOICE OF
LOCATIONS.
2. EXTEND OR REOUTE RADON AND OTHER EXHAUST PIPINGS TO NEW
LOCATIONS PER COUNTY AND APPLICABLE CODES.
3. REMOVE CABINETS AND FINISHES IN KITCHEN, COORDINATE WITH OWNERS
TO SALVAGE ANY EXISTING HOME FIXTURES AND CONTENTS.
4. DO NOT REMOVE EXIST. EXTERIOR WALLS UNTIL NEW ADDITION IS FRAMED
AND DRYED IN. PROVIDE FULL HEIGHT TEMPORARY SUPPORTING 2X4 WALL
PER DRAWINGS PRIOR TO DEMOLITION.
5. PROVIDE REPAIRS TO ANY DEMOLISHED AREA. ANY AREA IMPACTED BY
CONSTRUCTION MUST BE RESTORED TO NEW CONDITION.
6. OUTSIDE OF HOUSE: DEMOLISH PART OF THE OVERHANG TO RECEIVE NEW
ADDITION. PROVIDE WEATHER PROTECTION ENTIRE ROOF FROM LEAKAGE.
7. OUTSIDE OF HOUSE: PAINT SHUTTERS, RAILING POST, FRONT DOOR AND
STORM DOOR (EXTERIOR PAINT, MATCH CURRENT COLOR).
8. DEMOLISH THE DECKS AND DECK FOUNDATION IN THE WAY OF
CONSTRUCTION.
9. REMOVE WINDOW PROVIDE TEMPORARY PROTECTION OF THE INTERIORS.
10. ROOF: REPLACE/RELOCATE ALL ROOF PIPES, PATCH ROOF AREA WHERE
SKYLIGHTS WERE. PROVIDE FLASHING FULLY AT ROOF VALLEY AND
RIDGES.

ADDITION:

1. THE HEIGHT OF NEW CONCRETE FOOTING SHALL ALIGN WITH EXISTING
FOUNDATION AS SHOWN. NEW BATHROOMS SEWER MAY CONNECT TO
CLEAN-OUT AT REAR YARD. PROVIDE RADON EXHAUSTS AS REQUIRED IF
CRAWL SPACE IS ENCLOSED. PROVIDE DAMP PROOFING AT ALL WALLS
BELOW GRADE AND 3MIL POLY UNDER CRAWL SPACE SLAB. INSULATION
UNDER SLAB IS OPTIONAL BY OWNER.
2. PROVIDE DEDICATED WATER HEATER FOR MASTER BATHROOM.
3. PROVIDE AIR CONDITION EQUIPMENT IN ATTIC.
4. HOT WATER SYSTEM MAY BE LOCATED IN ATTIC.
5. 14' X 20' DECK w/ 5 PLUS 8 STEPS (VERIFY ACTUAL GRADE) INSTALLED ON BOTH SIDES.
6. ALL ASSOCIATED MECHANICAL, ELECTRICAL, AND
PLUMBING, STRUCTURAL REVISION IS LIMITED TO CONNECTION TO FIRST FLOOR.



BUILDING CODE AND PROJECT DATA

USE/OCCUPANCY TYPE: RESIDENTIAL SINGLE FAMILY

CONSTRUCTION TYPE: TYPE VA (COMBUSTIBLE PROTECTED)

RENOVATION/ALTERATION LEVEL: LEVEL 2

HEIGHT AND AREA: HEIGHT FROM 8 FT 10 IN TO 19 FT 10 IN.
AREA INCREASED BY 900 SF ADDITION OF FAMILY ROOM AND
MASTER BED SUITE

ATTIC STORAGE AREA IS UNFINISHED.

CRAWL SPACE IS UNFINISHED.

FIRE SUPPRESSION: NONE REQUIRED (PER R313.2)

FIRE EXTINGUISHERS

PORTABLE FIRE EXTINGUISHERS HAVING A RATING OF 2-A:10-B:C OR AN
APPROVED EQUIVALENT ARE TO BE INSTALLED IN THE KITCHEN PER R330.1

SMOKE DETECTORS/CARBON MONOXIDE DETECTORS
SMOKE ALARMS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 217.
INSTALL PER THE PROVISIONS OF SECTION R314 AND NFPA 72.

CARBON MONOXIDE ALARMS SHALL BE INSTALLED PER THE PROVISIONS OF
SECTION R315 AND SHALL BE LISTED AS COMPLYING WITH UL 2034.

COMBINATION CARBON MONOXIDE / SMOKE ALARM SHALL BE PERMITTED TO BE
USED IN LIEU OF CARBON MONOXIDE ALARMS.

ACCESSIBILITY: NOT REQUIRED (PER R320.1)

GROUND WIND DESIGN			SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM WEATHERING	FROST LINE DEPTH	TERMITE	WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARD	AIR FREEZING INDEX	MEAN ANNUAL TEMP
SNOW LOAD	SPEED MPH	TOPOGRAPHIC EFFECTS									
40 PSF	115	B OR C	A	SEVERE	30 INCHES	M-H	12	YES	YES	1500	52.8

PROJECT DIRECTORY

OWNER / CONTRACTOR

JOHN ITAKPE

8421 W GROVE RD
ELLICOTT CITY MD 21043

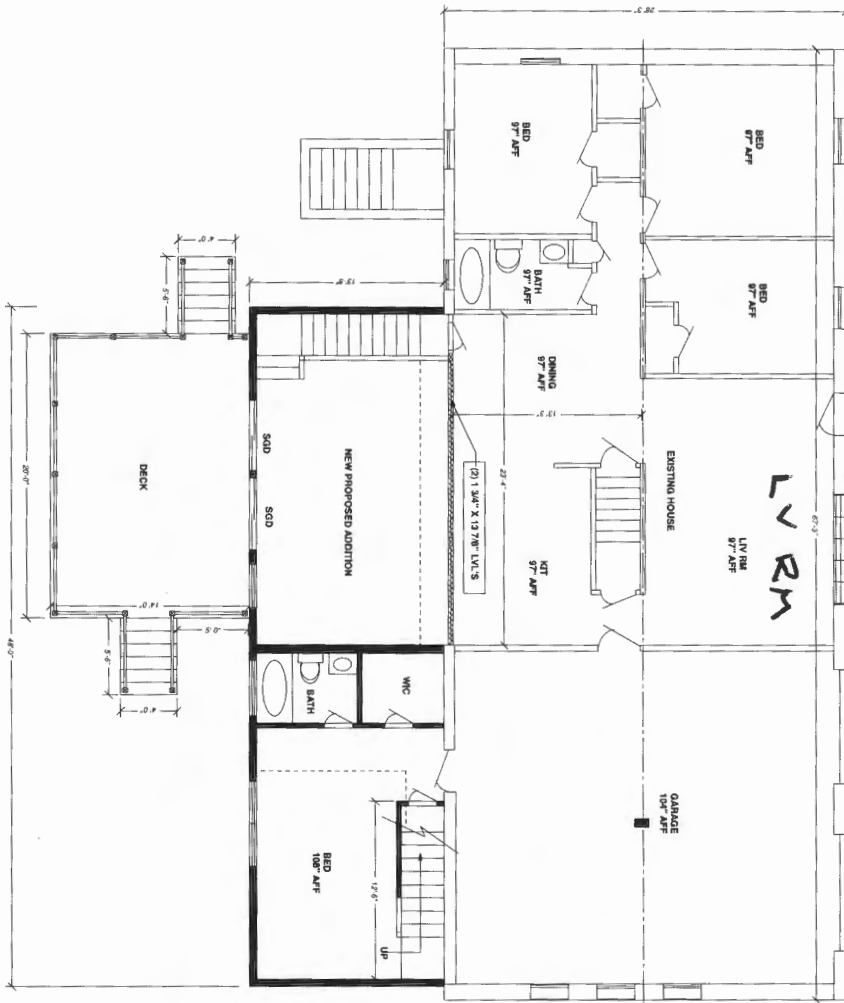
W GROVE RD ADDITION
8421 W GROVE RD
ELLICOTT CITY MD 21043

443 473 8101

DATE: REVISION: 4/16/21

COVER SHEET

CS



NOTE:
 3/8" WALLS 16" OC WITH DBL.
 TOP PLATE
 TWO 5-0 X 6-0 SCD
 ONE 3-0 X 4-0 WINDOW
 ONE DBL. 3-0 X 4-0 DOUBLE HUNG WINDOW
 DBL. 2' X 10' HEADERS ABOVE
 ONE 12' X 6' JAMMING WINDOW IN BATHROOM

WALL FRAMING PLAN
 SCALE 1/4" = 1'

PROJECT NAME AND ADDRESS	
TRACER PROJECT 8421 W GROVE RD ELIZABETH CITY MD 21042 443 673 8191	
SHEETING TITLE	
NEW FIRST FLOOR PLAN	
TOWN OF ELIZABETH 8421 W GROVE RD ELIZABETH CITY MD 21042 443 673 8191	
PROJECT	DATE
NO. 1	1-1-77
NO. 2	1-1-77
NO. 3	1-1-77
NO. 4	1-1-77
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NO. 99	1-1-77
NO. 100	1-1-77

New 1st Fl Plan

NOTE:

2X6 WALLS 16" OC WITH DBL
TOP PLATE

DBL 2" X 10" HEADERS ABOVE
DOORS AND WINDOWS

KEY NOTES

1. REMOVE WINDOW AND EXTERIOR WALL.
PROVIDE TEMPORARY SUPPORTS OF EXISTING
CEILING AND ROOF STRUCTURE
TO CREATE NEW OPENING

2. SPACE SAVER STAIRS TO ATTIC
3. 6" EXTERIOR WALL STUD @ 18 IN. o.c.
4. 4" INTERIOR STUDS @ 16" O.C.

5. Window and Door Sizes

- a - 36" Wx 48"H INSULATED WINDOW
- b - DBL 36W x 48"H INSULATED EGRESS WINDOWS
- c - NOT USED
- d - PR of 72 INCHES x 80 INCHES Patio Doors
- f - 12 X 24 FLOOR and WALL TILES
- g - 14 INCHES SOLAR TUBES IN ROOF (OPTIONAL)
- h - (SEE PLAN) X 80 INCHES INTERIOR DOORS
- i - FREE STANDING TUB 58 INCHES MAXIMUM AMERICAN STANDARD 2903018WC.020 SAVONA AUL WHIRLPOOL BATH TUB WITH EVERCLEAN HYDRO MASSAGE SYSTEM I
- j - TOILET: KOHLER WELLWORTH ELONGATED TOILETS
- k - 48 INCHES X 48 INCHES CLERESTORY WINDOW
- l - 21" 36" WIDE X 24 INCHES AWMING WINDOWS

SYMBOLS LEGEND

ELEVATION
MARK

SECTION
MARK



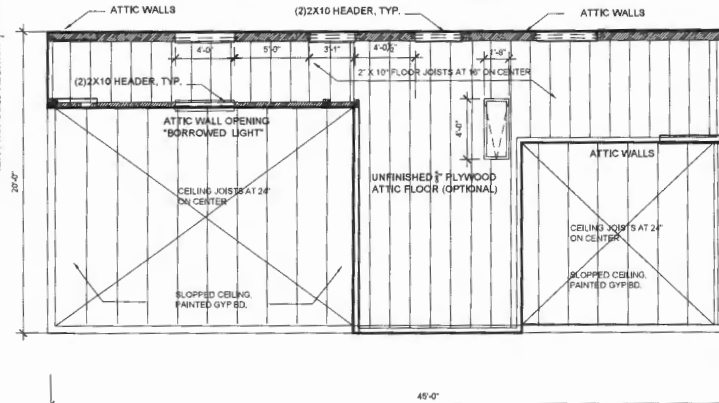
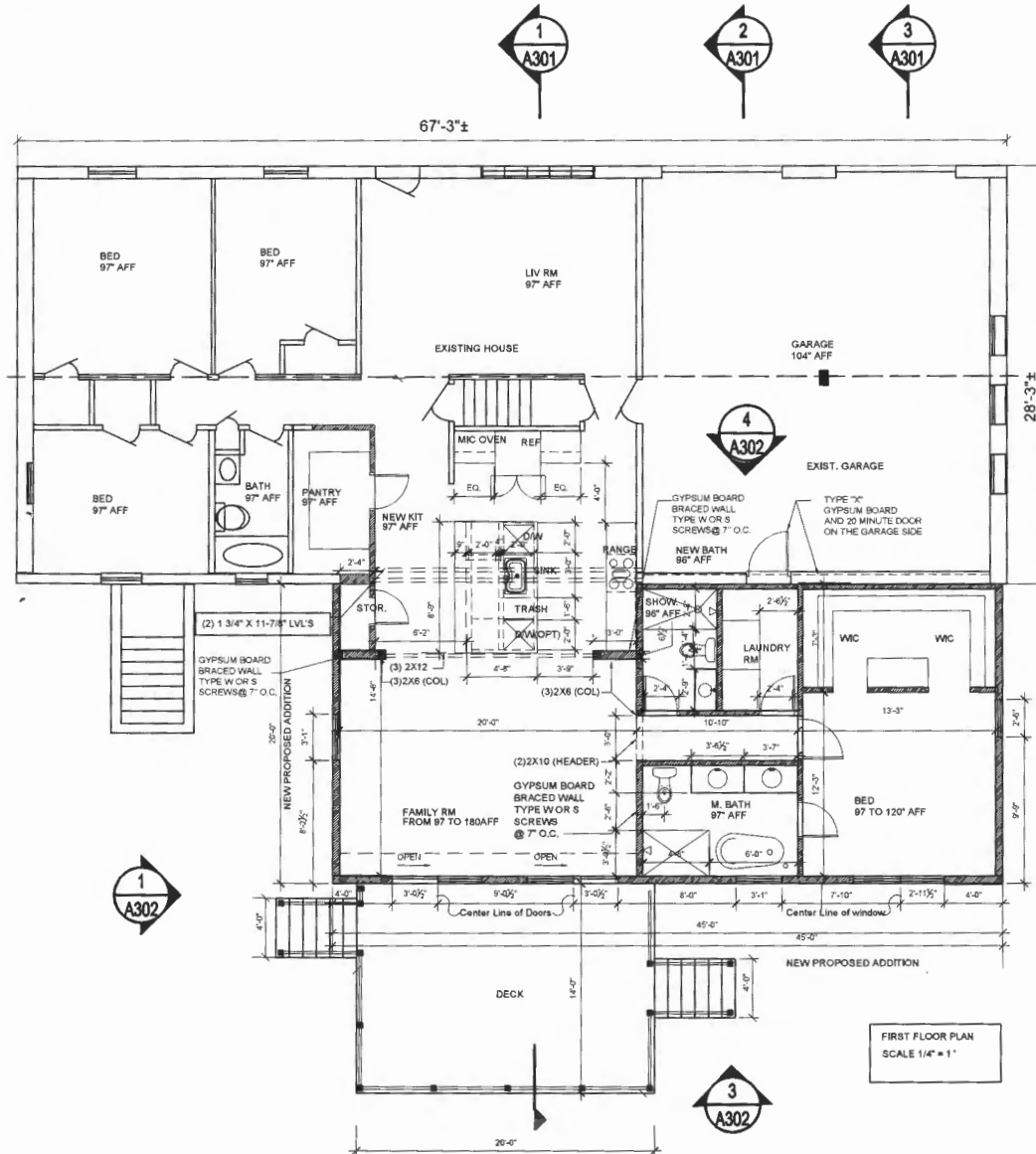
NEW WALL AND NOTES



EXISTING WALL



CEILING HEIGHT



ATTIC AND CEILING
FRAMING PLAN

SCALE 1/4" = 1'

PROJECT NAME AND ADDRESS

ITAKPE PROJECT

8421 W GROVE RD
ELLICOTT CITY MD 21043
44 473 8101

DRAWING TITLE

FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

PROJECT _____ DATE _____

476/25

1/4" x 1/4"	
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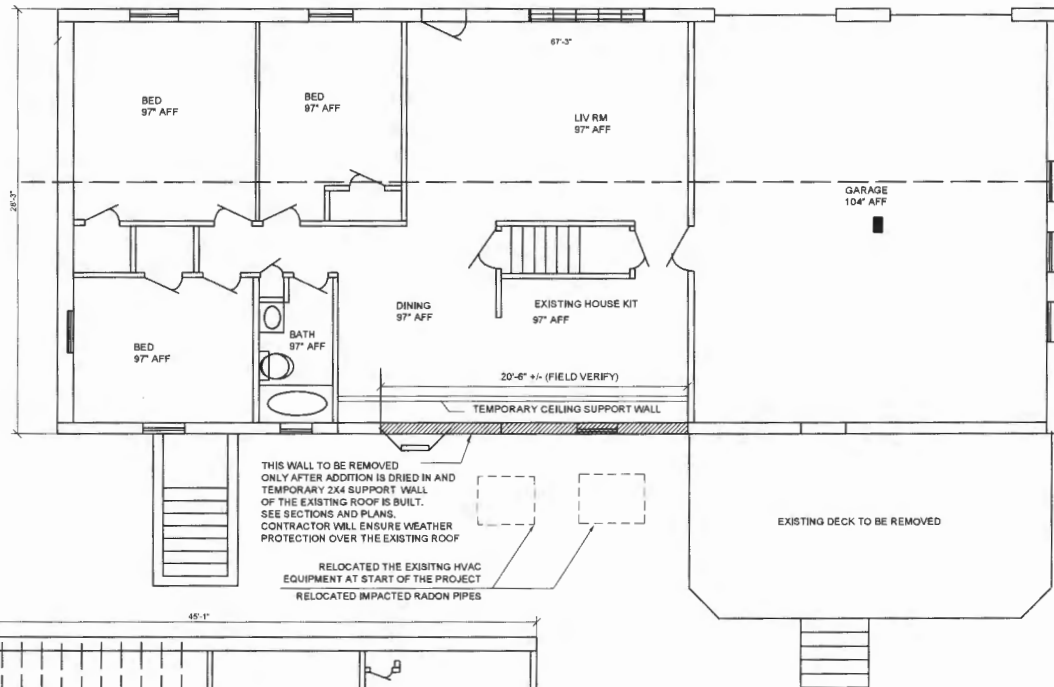
SCALE _____ DRAWN _____

OWB NO.

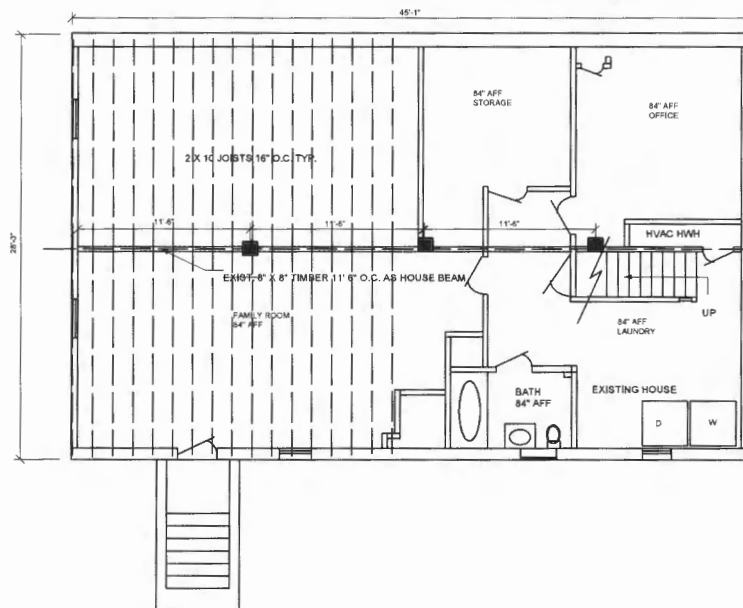
A 0301

A 0201

SHEET 1 OF 1



DEMOLITION AND
EXISTING FIRST FLOOR PLAN
SCALE 1/4" = 1'



EXISTING BASEMENT PLAN
SCALE 1/4" = 1'

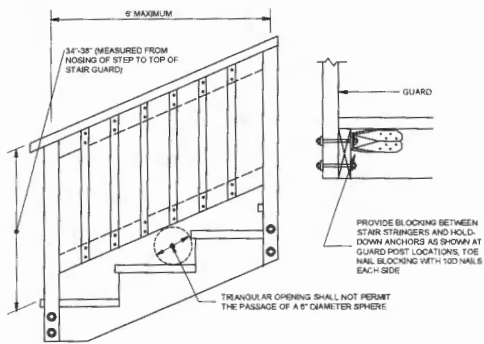
PROJECT NAME AND ADDRESS

ITAKPE PROJECT
8421 W GROVE RD
ELLICOTT CITY MD 21043
443 473 6101

DRAWING TITLE
DEMOLITION AND
EXISTING FLOOR PLAN
SCALE 1/4" = 1'

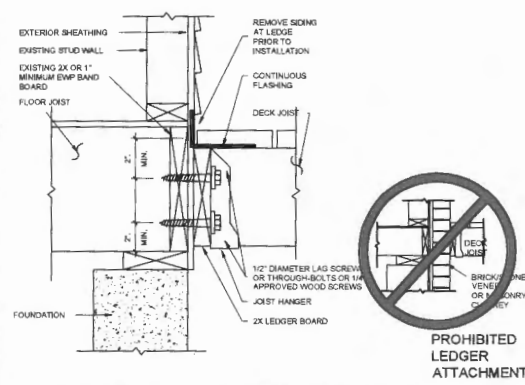
PROJECT	DATE
1/4" = 1"	4/19/21
SCALE	DRAWN BY

DWG NO.	AD 0100
SHEET 1 OF 1	



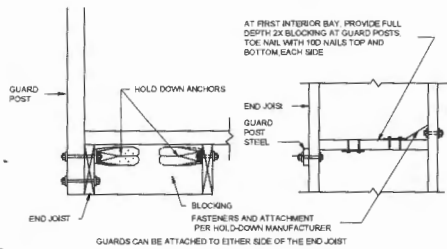
8 DECK STAIR DETAILS

scale: 3/4" = 1'-0"



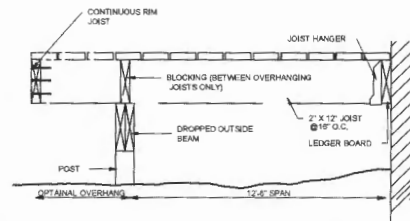
6 LEDGER TO BANDBOARD ATTACHMENT

scale: 3/4" = 1'-0"



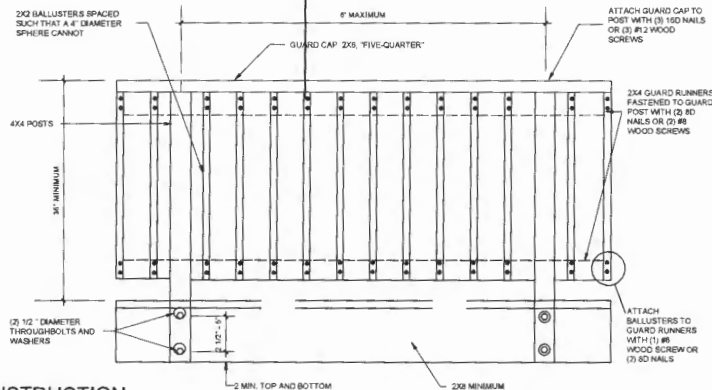
7 GUARDS POST-TO-JOIST

scale: 3/4" = 1'-0"



5 SINGLE SPAN DECK ATTACHMENTS

scale: 3/4" = 1'-0"



4 DECK GUARD CONSTRUCTION

scale: 3/4" = 1'-0"

DECK NOTES

MATERIAL SPECIFICATIONS

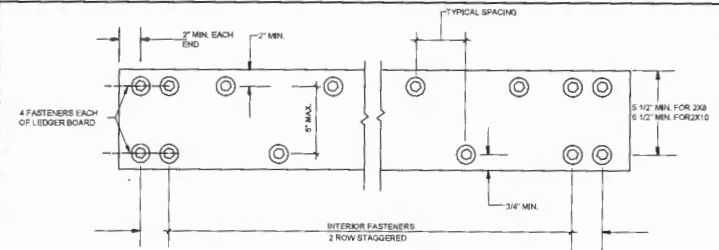
- Lumber shall be preservative-treated, southern pine, grade #2 or better. Lumber not native to North America, such as Ipe, may be used as decking only, its use in guards is prohibited.
- Nails shall be threaded, ring-shank or annular grooved. A half inch pilot hole shall be used at toe-nailing locations.
- Carriage-bolts may be substituted where through-bolts are specified provided carriage-bolt washers (with square holes) are installed at the bolt head.
- Fasteners shall be hot-dipped galvanized, stainless steel or approved for use with preservative-treated lumber.
- Hardware and mechanical connectors, e.g. joist hangers or post anchors, shall be stainless steel or galvanized with 1.85 ounces of zinc per square foot (G-185 coating). Look for product lines such as "Zmax," "Tape Zinc" or "Gold Coat."
- Flashing at ledger board connections shall be copper (with copper nails only), stainless steel, UV resistant plastic, or galvanized steel with a G-185 coating.
- Plastic composites are materials composed of bound wood and plastic fibers. Permissible if followed by AIAI plastic composites must bear a label indicating its compliance with ASTM D 7032. Plastic composites shall be labeled and installation instructions must be available to the inspector.
- When using plastic composites, enclose joists as some members do not have the same capacity as their wood equivalents.
- PVC decking and guards are permitted provided they have a valid evaluation report from an accredited testing agency such as the International Code Council - Evaluation Service. Installation shall be in accordance with the report and the manufacturer's instructions which must be available to the inspector. The use of other materials and products, other than those permitted herein, shall be approved by Jurisdiction prior to installation.

DESIGN CONSIDERATIONS

- These details are based on the prescriptive requirements of the 2018 International Residential Code, industry best practices and applicable referenced standards such as DECK GUIDE FROM <https://www.houzz.com/content/2018/01/18/deck-guide/>.
- Framing members in these details are designed for a 40 PSF live load, 10 PSF dead load, normal loading duration, wet service conditions and deflections of 1/360.
- The use of these details to design and construct multi-level decks is prohibited.
- Deviation from these details require approval by Jurisdiction prior to construction.
- Decks constructed in accordance with these details are not approved for privacy screens, planters, built-in seating, or hot tubs.
- Decks must be designed to ensure rain and melting ice and snow flow away from the existing house.
- Publication "DCA6" from the American Wood Council can also be used to obtain a permit. Go to www.awc.org to download.

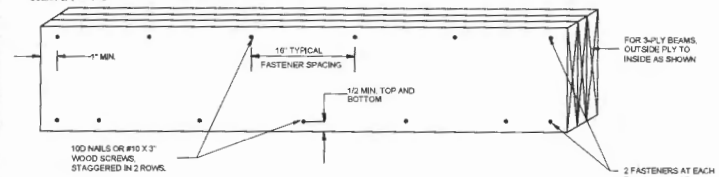
ELECTRICAL

Decks shall have a minimum of one electrical outlet along the perimeter of the deck and within 6.5 feet of the floor. Each stairway section shall have a light source that each exterior stairs shall have motion sensor lighting clearly illuminate the treads and risers to the greatest possible.



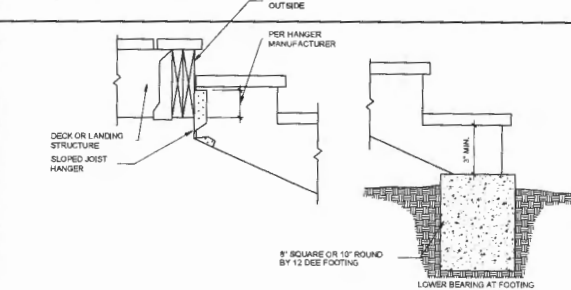
3 LEDGER BOARD FASTENER SPACING, O.C.

scale: 3/4" = 1'-0"



2 DECK BEAMS (BEAM PLY FASTENING)

scale: 3/4" = 1'-0"



1 DECK STAIR STRINGER BEARING

scale: 3/4" = 1'-0"

GENERAL NOTES

PROJECT NAME AND ADDRESS

STAIR PROJECT

1411 W. GRIFFIN RD.

ELICOTT CITY MD 21043

44173101

DRAWING TITLE

DECK FRAMING DETAILS

PROJECT DATE

4/18/21

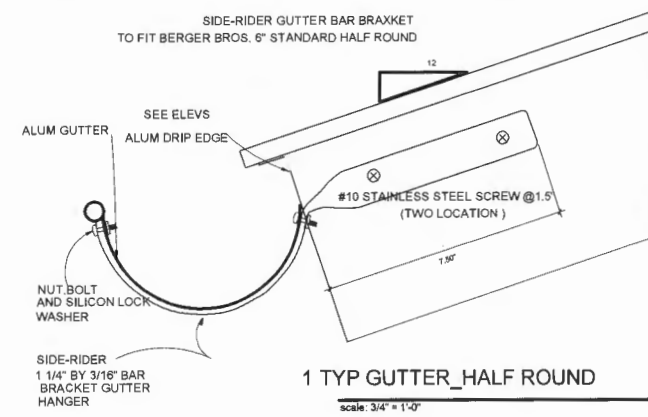
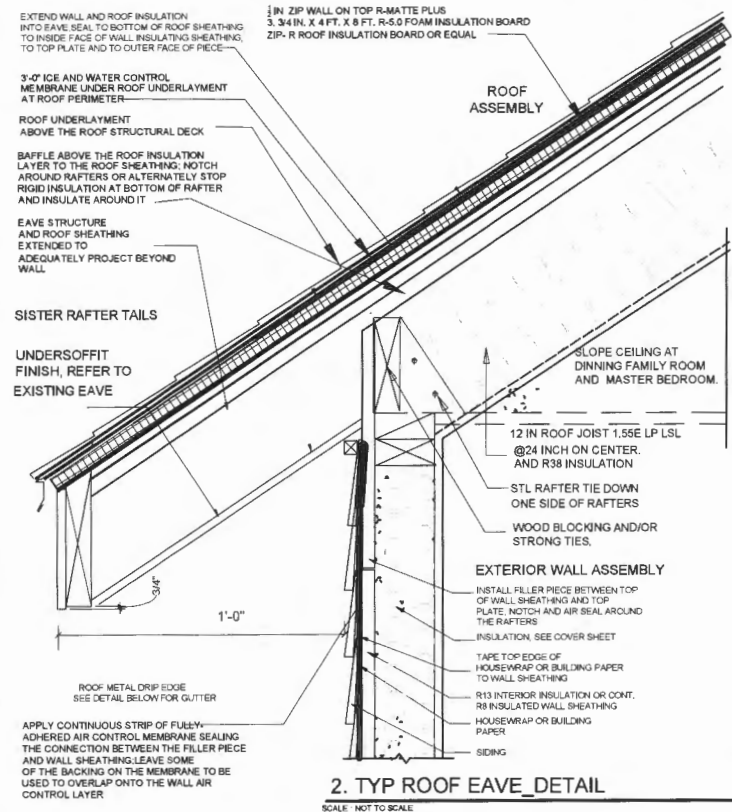
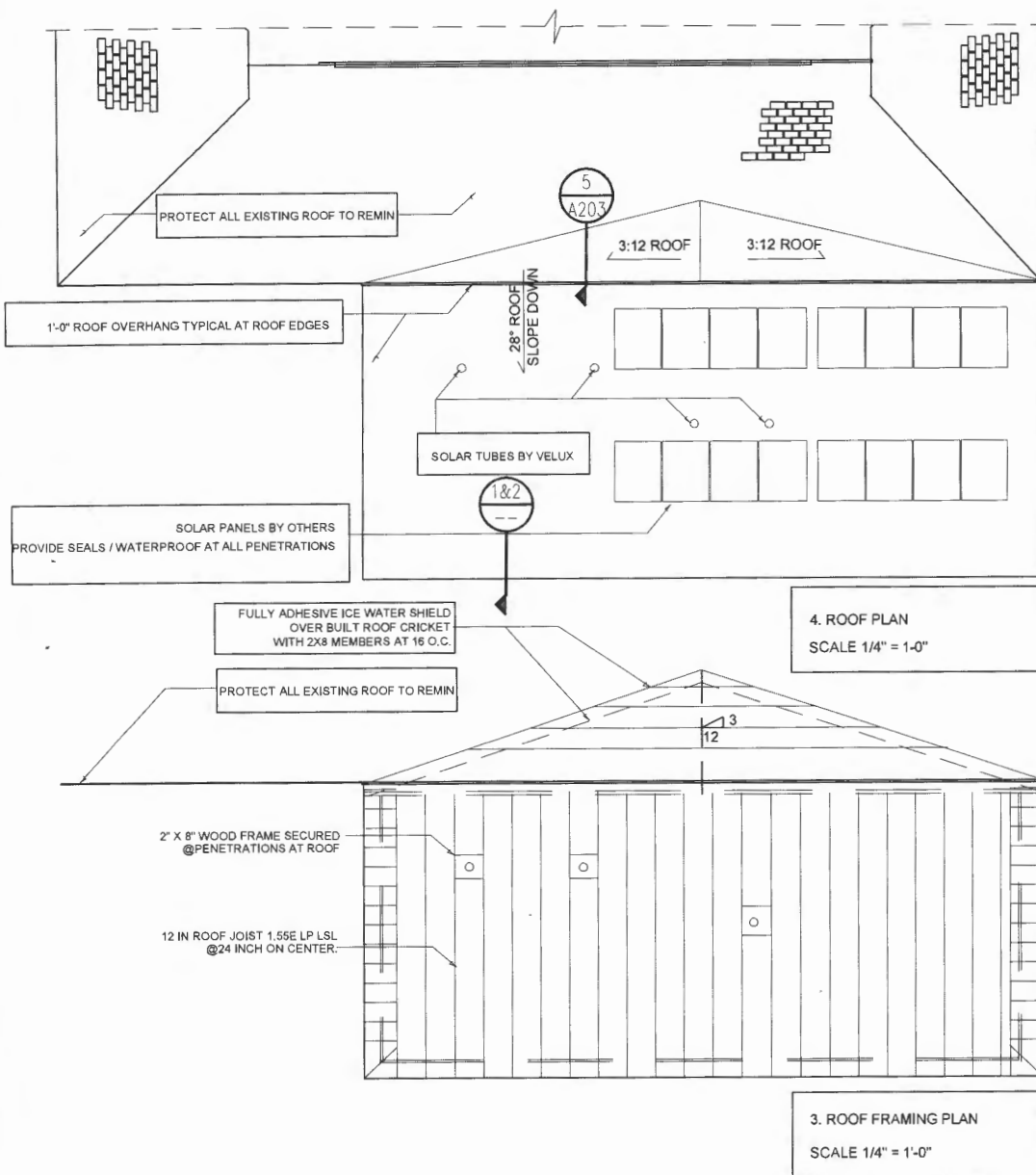
AS NOTED

SCALE DRAWN BY

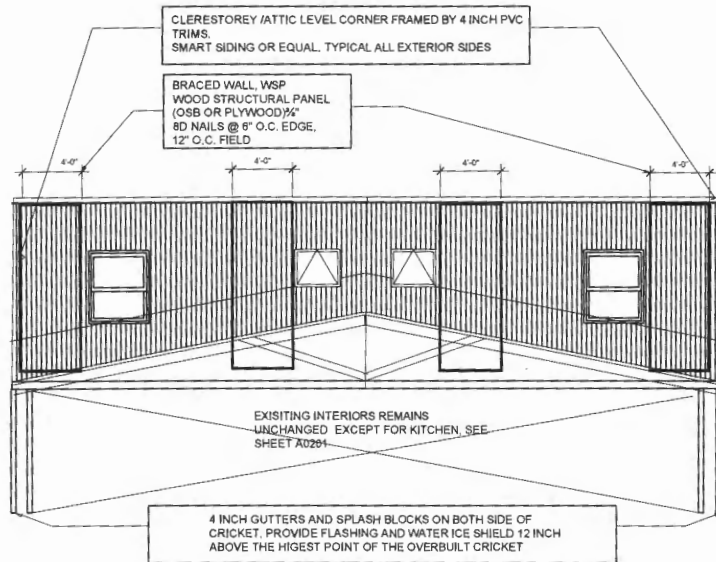
DWG NO.

A 0303

SHEET 1 OF 1

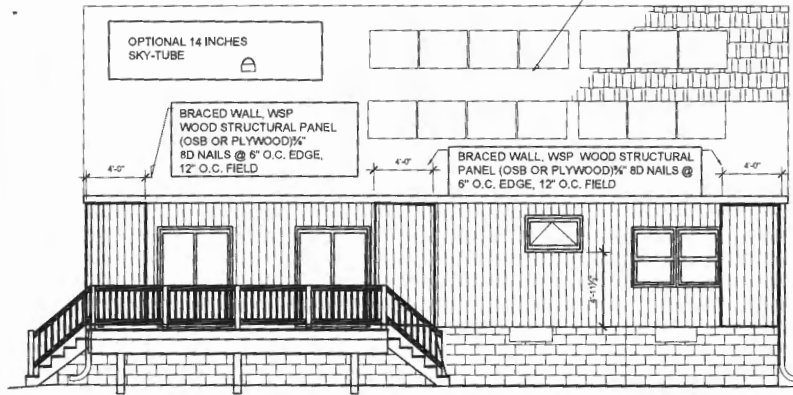


GENERAL NOTES	
PROJECT NAME AND ADDRESS	
STAKE PROJECT 9421 W. GRIFFIN RD. ELK COTT. CITY MD 21043 44 473 8101	
DRAWING TITLE	
ROOF FRAMING PLANS AND DETAILS	
PROJECT DATE	
1/8" = 1'	4/16/01
SCALE	DRAWN BY
DWG NO.	
A 0202	
SHEET 1 OF 1	



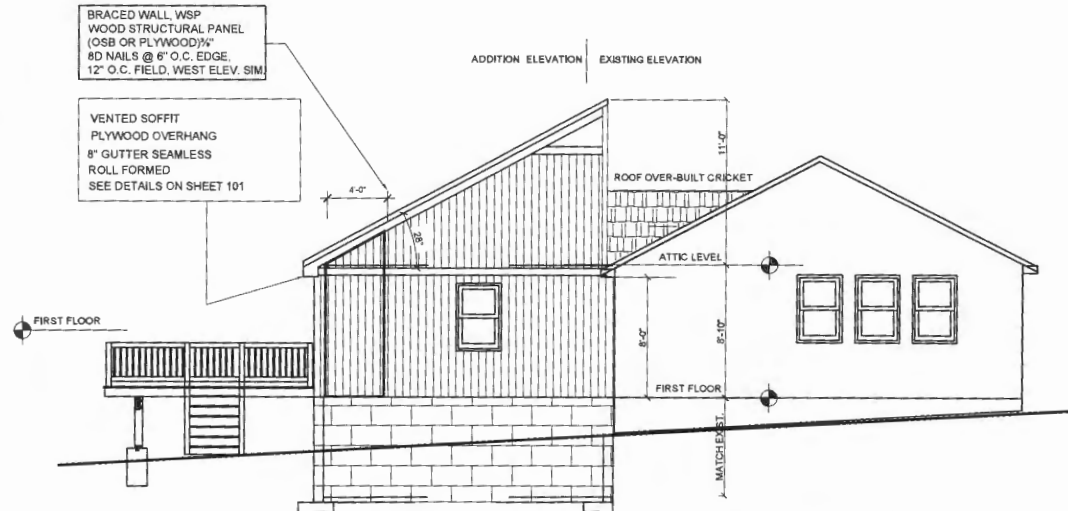
4. NORTH ELEVATION - ADDITION

1/4" = 1'-0"



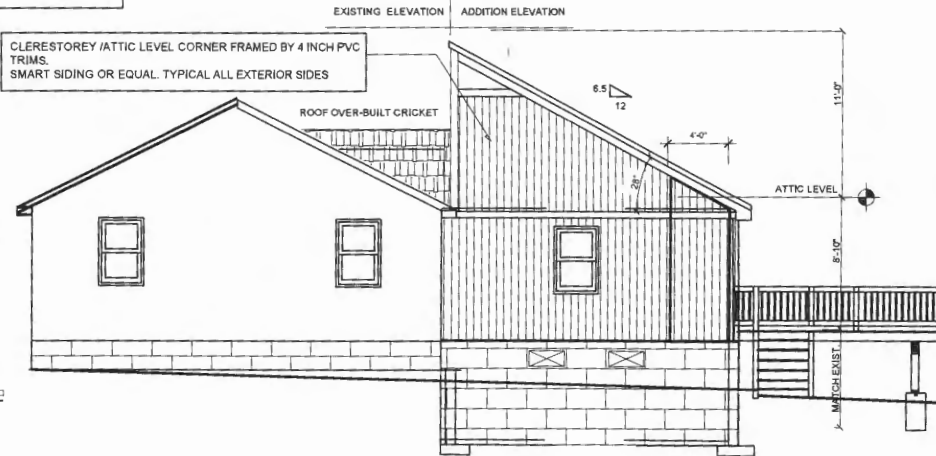
3. SOUTH ELEVATION - ADDITION

1/4" = 1'-0"



2. EAST ELEVATION - ADDITION/ EXISTING

1/4" = 1'-0"



1. WEST ELEVATION - EXISTING / ADDITION

1/4" = 1'-0"

GENERAL NOTES

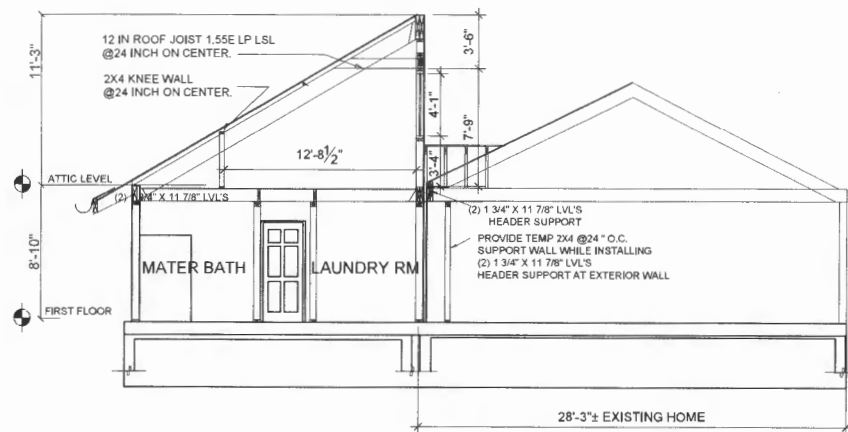
PROJECT NAME AND ADDRESS

ITAKE PROJECT
8421 W GROVE RD
ELLICOTT CITY MD 21045
44 473 8101

DRAWING TITLE
ELEVATIONS

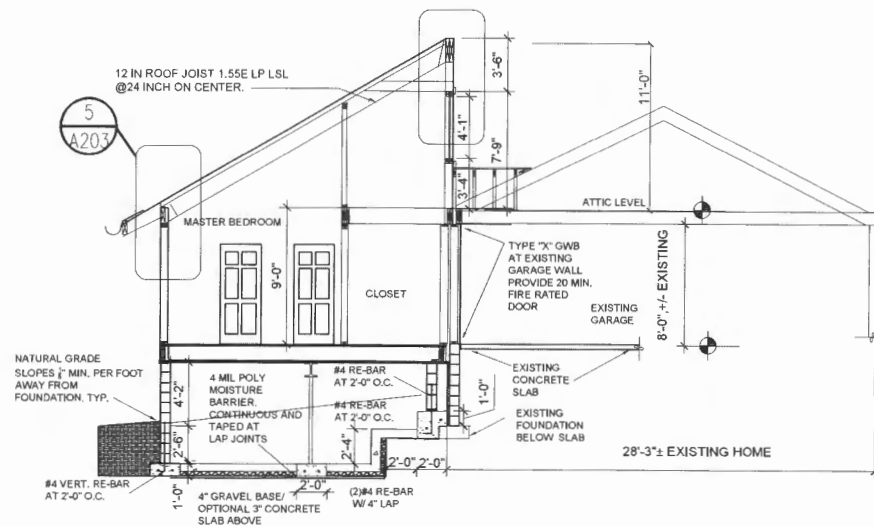
PROJECT DATE
1/4/17 4/15/21
SCALE DRAWN BY

DWG NO.
A 0302
SHEET 1 OF 1



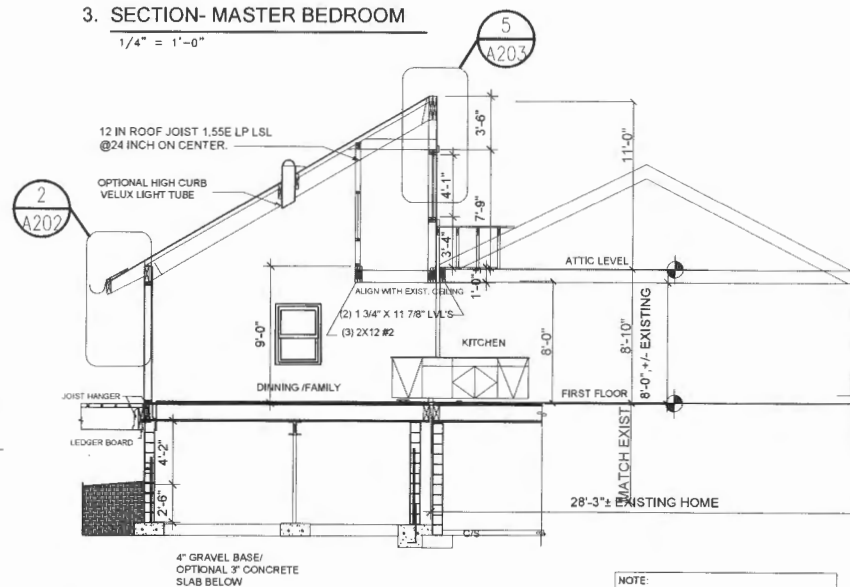
2. SECTION- BATH/ LAUNDRY

1/4" = 1'-0"



3. SECTION- MASTER BEDROOM

1/4" = 1'-0"



1. SECTION - KITCHEN/ FAMILY/ DINNING ROOM

1/4" = 1'-0"

NOTE:
MIN. FIRST FOUR FEET OF NEW FOOTING
DOWN TO HOUSE FOOTING

GENERAL NOTES

PROJECT NAME AND ADDRESS

ITAKPE PROJECT
8421 W GROVE RD
ELLICOTT CITY MD 21043
443 473 8101

DRAWING TITLE
ELEVATIONS AND SECTIONS

PROJECT DATE

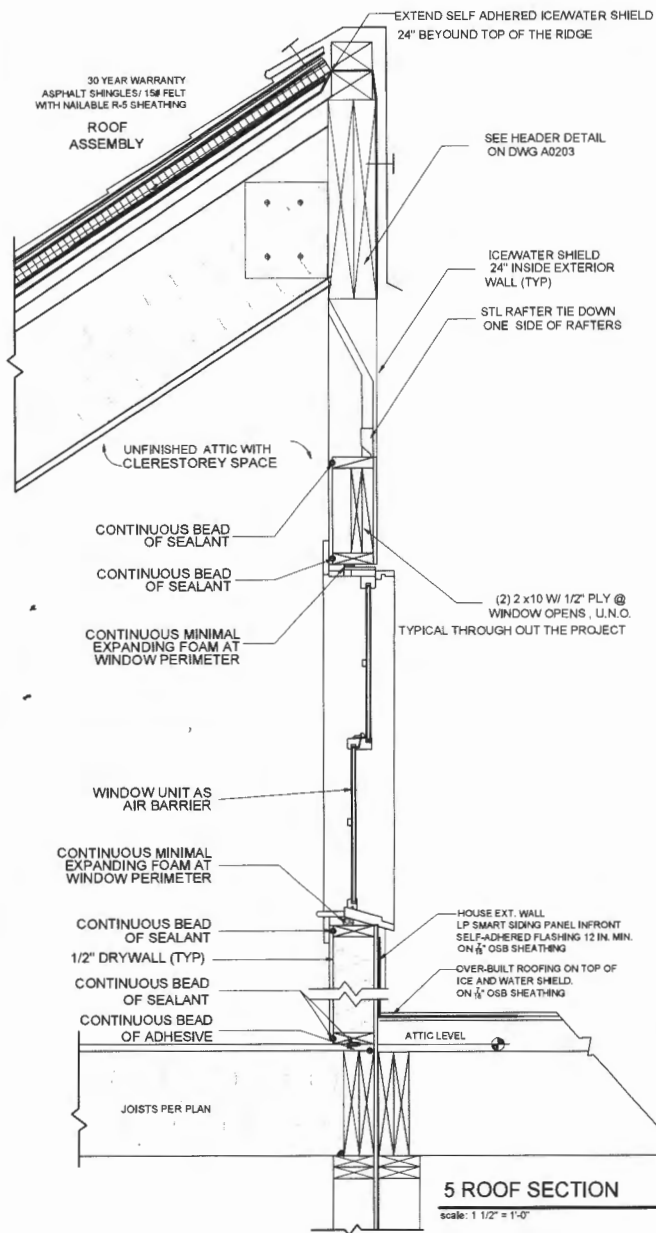
1/4" = 1'-0" 4/15/21

SCALE DRAWN BY

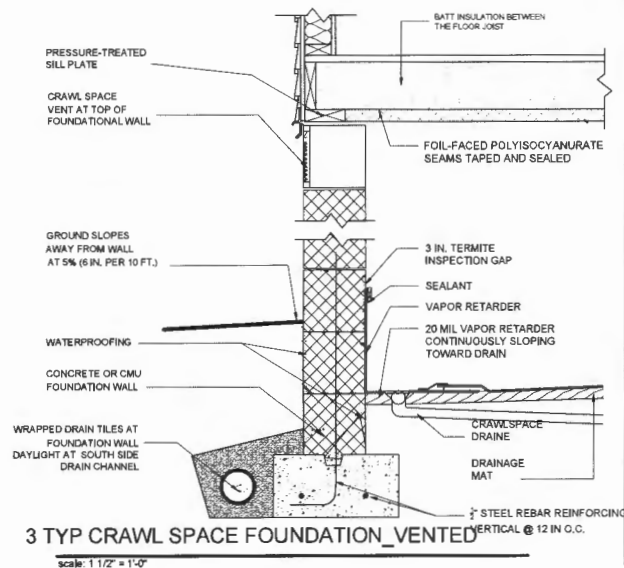
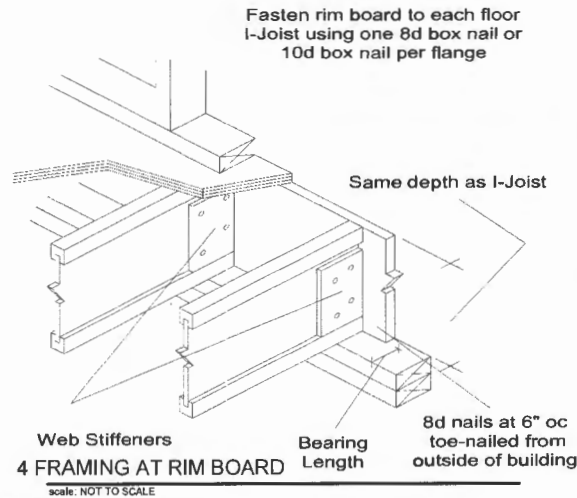
DATE NO.

A-0301

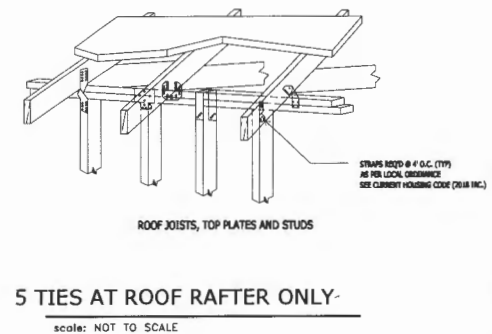
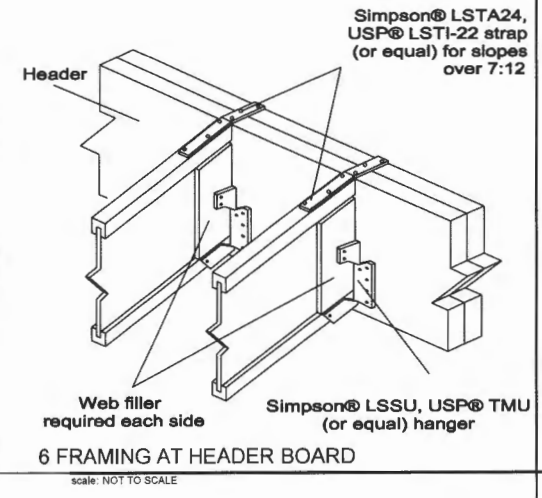
SHEET 1 OF 1



A1w RIM BOARD w/ Web Stiffeners



J4 HEADER CONNECTION



GENERAL NOTES	
PROJECT NAME AND ADDRESS	
K&K PROJECT 8421 W. GARDEN RD. ELKHART CITY MO 64643 417.8101	
DRAWING TITLE	
SECTION DETAILS	
PROJECT DATE	
A.S. BROWN SCALE DRAWN BY	
DWG NO.	
A 0203	
SHEET 1 OF 1	