

Permits: 410-313-2455  
Inspections: 410-313-1810  
Automated Line: 410-313-3800

Howard County Building/Fire Permit Application  
Department of Inspections, Licenses & Permits  
3430 Court House Drive  
Ellicott City, MD 21043

Permit Number:

B11001849

Building Address: 11750 TRIADDELPHIA ROAD  
ELLCOTT CITY, MD 21042

Suite/Apt. # \_\_\_\_\_ SDP/WP/BA #: \_\_\_\_\_

Census Tract: 6030.00 Subdivision: \_\_\_\_\_

Section: \_\_\_\_\_ Area: \_\_\_\_\_ Lot: \_\_\_\_\_

Tax Map: 16 Parcel: 129 Grid: \_\_\_\_\_

Zoning: ARDEO Map Coordinates: \_\_\_\_\_ Lot Size: .63 ACRES

Existing Use: BEDROOMS (2)

Proposed Use: BEDROOMS (2)

Estimated Construction Cost: \$ 20,000

Description of Work: BUILD SHED DORMER (28')

ON BACK SIDE OF RAPE COD STYLE

HOUSE, EXTEND HVAC

Occupant or Tenant: \_\_\_\_\_

Was tenant space previously occupied? ☒ Yes ☐ No

Contact Name: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

Email: \_\_\_\_\_

Property Owner's Name: ROBERT L. TAYLOR JULIE A. TAYLOR

Address: 11750 TRIADDELPHIA RD

City: ELLCOTT CITY State: MD Zip Code: 21042

Home Phone: 410-531-6614 Work Phone: 301-688-3222

Applicant's Name & Mailing Address, (if other than stated herein): \_\_\_\_\_

Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

Email: JULIE AND BOB 1 @ VERIZON.NET

Contractor Company: SELF

Contact Person: ROBERT TAYLOR

Address: 11750 TRIADDELPHIA ROAD

City: ELLCOTT CITY State: MD Zip Code: 21042

License No.: \_\_\_\_\_

Phone: 410-531-6614 Fax: \_\_\_\_\_

Email: JULIE AND BOB 1 @ VERIZON.NET

Engineer/Architect Company: \_\_\_\_\_

Responsible Design Prof.: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

Email: \_\_\_\_\_

**BUILDING DESCRIPTION - COMMERCIAL**

Building Characteristics	Utilities
Height: _____	<u>Water Supply</u>
No. of stories: _____	<input type="checkbox"/> Public
Gross area, sq. ft./floor: _____	<input type="checkbox"/> Private
	<u>Sewage Disposal</u>
Area of construction (sq. ft.): _____	<input type="checkbox"/> Public
	<input type="checkbox"/> Private
Use group: _____	Electric: <input type="checkbox"/> Yes <input type="checkbox"/> No
	Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No
<u>Construction type:</u>	<u>Heating System</u>
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Electric <input type="checkbox"/> Oil
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas
<input type="checkbox"/> Masonry	<u>Sprinkler System:</u>
<input type="checkbox"/> Wood Frame	<input type="checkbox"/> N/A
<input type="checkbox"/> State Certified Modular	<input type="checkbox"/> Full
<input checked="" type="checkbox"/> Roadside Tree Project Permit	<input type="checkbox"/> Partial
<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Other Suppression
Roadside Tree Project Permit # _____	No. of Heads: _____

**BUILDING DESCRIPTION - RESIDENTIAL**

Building Characteristics	Utilities
<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	<u>Water Supply</u>
Depth _____ Width _____	<input type="checkbox"/> Public
1 <sup>st</sup> floor: _____	<input checked="" type="checkbox"/> Private
2 <sup>nd</sup> floor: _____	<u>Sewage Disposal</u>
Basement: _____	<input type="checkbox"/> Public
<input type="checkbox"/> Finished Basement	<input checked="" type="checkbox"/> Private
<input type="checkbox"/> Unfinished Basement	Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Crawl Space	Gas: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<input type="checkbox"/> Slab on Grade	<u>Heating System</u>
No. of Bedrooms: _____	<input type="checkbox"/> Electric
<u>Multi-family Dwelling</u>	<input type="checkbox"/> Oil
No. of efficiency units: _____	<input type="checkbox"/> Natural Gas
No. of 1 BR units: _____	<input type="checkbox"/> Propane Gas
No. of 2 BR units: _____	
No. of 3 BR units: _____	
Other Structure: _____	
Dimensions: _____	
Footings: _____	<input checked="" type="checkbox"/> Roadside Tree Project Permit
Roof: _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<input type="checkbox"/> State Certified Modular	Roadside Tree Project Permit # _____
<input type="checkbox"/> Manufactured Home	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Robert L. Taylor  
Applicant's Signature

ROBERT L. TAYLOR  
Print Name

JULIE AND BOB 1 @ VERIZON.NET  
Email Address

23 JUNE 2011  
Date

Title/Company \_\_\_\_\_

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

\*\*PLEASE WRITE NEATLY & LEGIBLY\*\*

-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	6-23-11	Michael Scott
Fire Protection		

Is Sediment Control approval required for issuance? ☐ Yes ☐ No

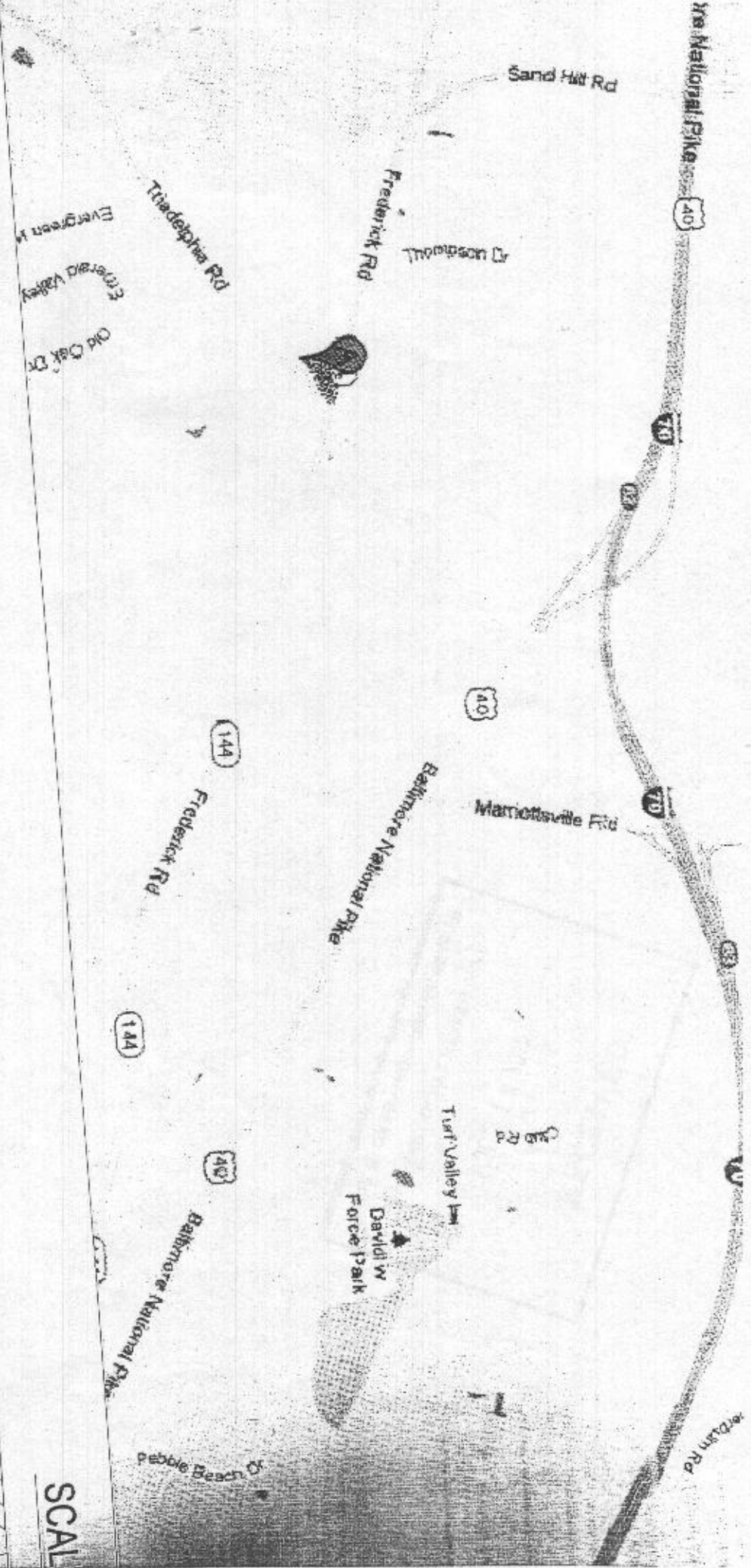
☐ CONTINGENCY CONSTRUCTION START

☐ ONE STOP SHOP

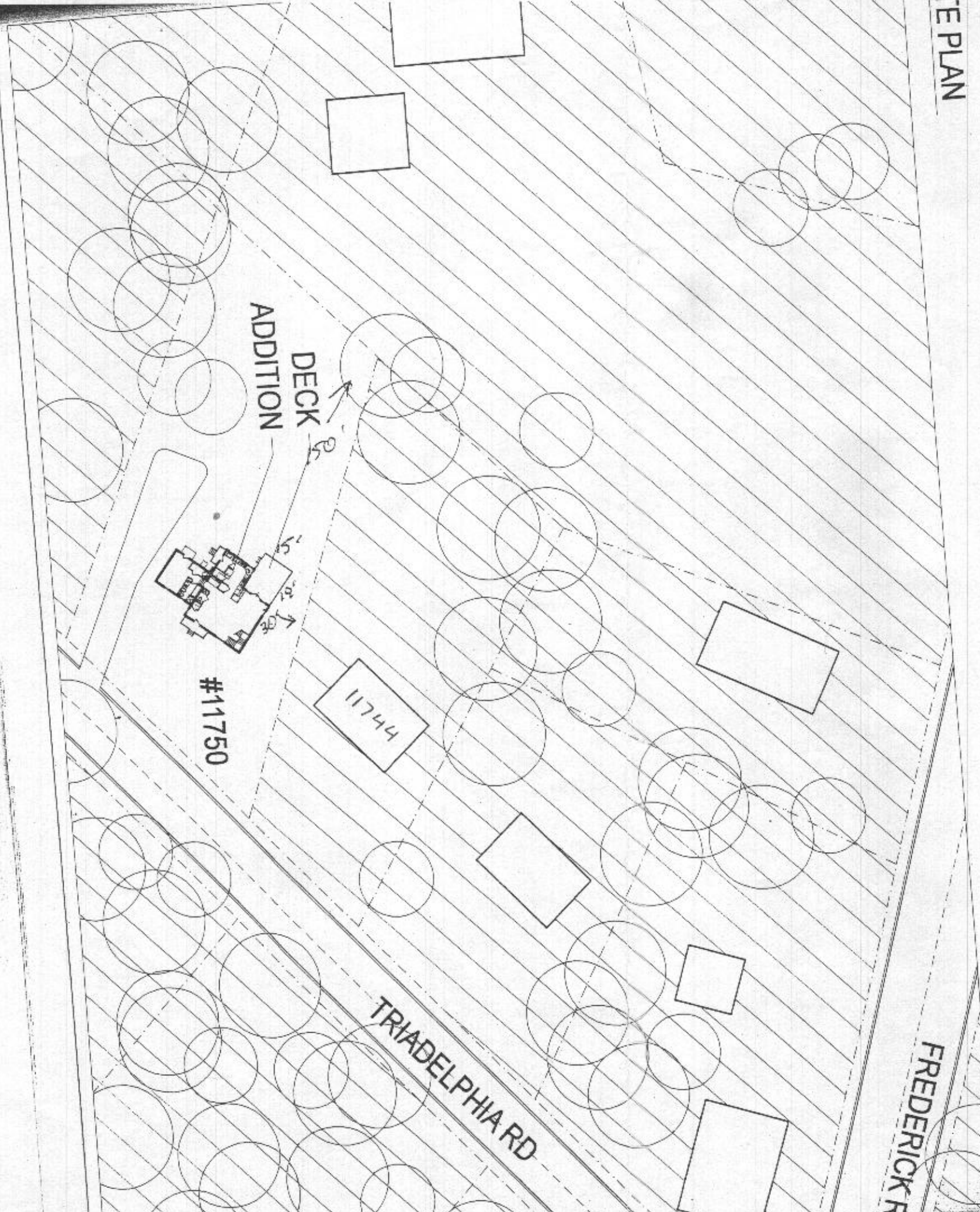
DPZ SETBACK INFORMATION
Front: _____
Rear: _____
Side: _____
Side St.: _____
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone: _____
SDP/Red-line approval date: _____

Filing Fee	\$
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$





PLAN



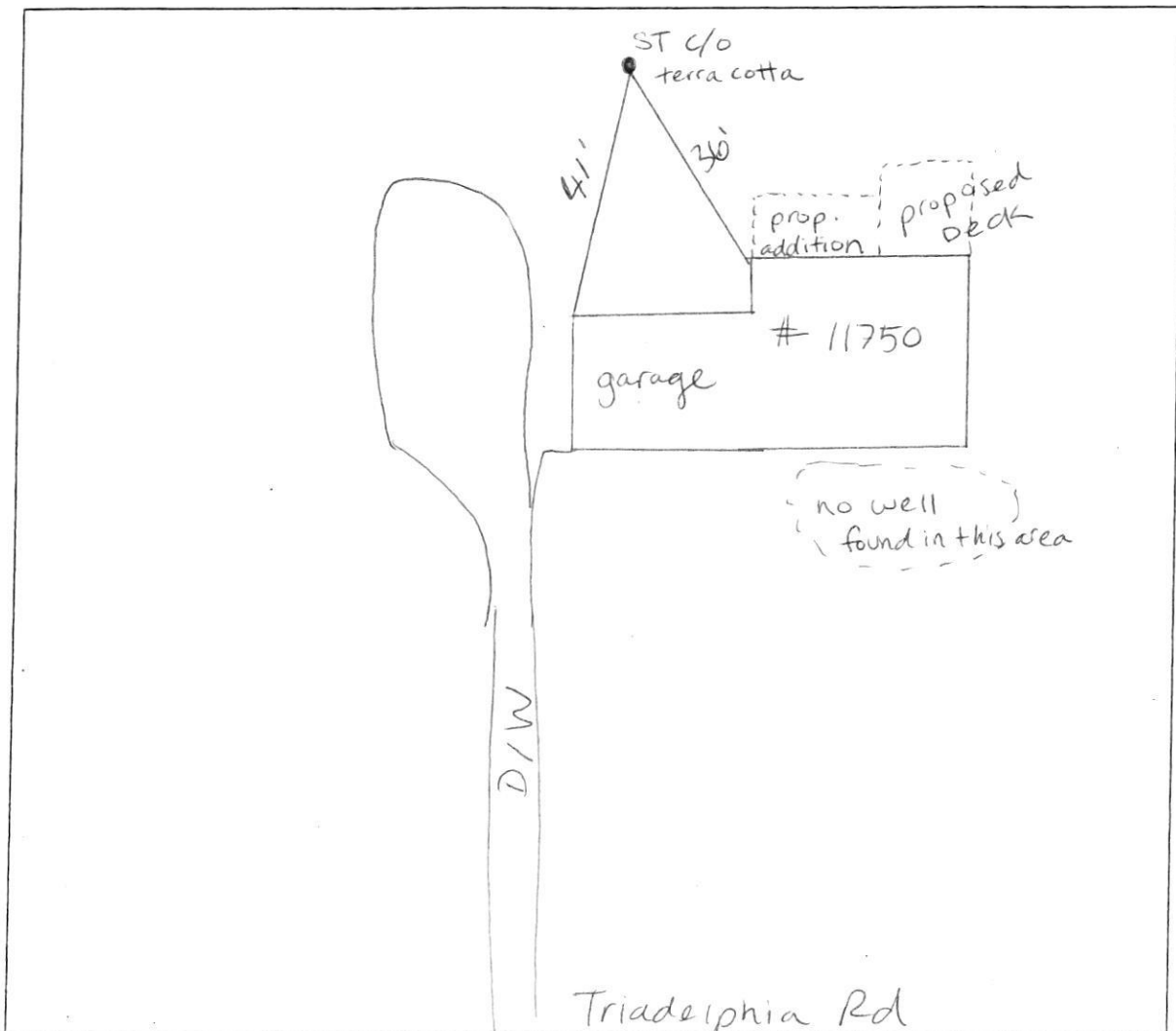
SCALE

REVISED  
Date: 7/16/12  
Comments: B1100280

SITE INSPECTION SHEET

OWNER: Woodward PHONE #: \_\_\_\_\_  
ADDRESS: 11750 Triadelphia Rd CONTRACTOR: \_\_\_\_\_  
SUBDIVISION: \_\_\_\_\_ LOT: \_\_\_\_\_ WELL TAG #: \_\_\_\_\_  
COUNTY #: \_\_\_\_\_  
PROPOSAL: addition & deck  
B11002180

LOCATION DIAGRAM



COMMENTS: well could not be located. Likely a pit well  
due to age of the house. May need an upgrade.  
No signs of septic system failure. ST is far enough from  
the proposed addition. Need perc cert or variance for  
addition.

DATE: 8-7-12 INSPECTOR: HS/RR



# STRUCTURAL NOTES

1. Construction Notes: Loads greater than the applicable design loads shall not be placed on the structure. Provisions shall be made for adequate bracing and support of adjacent construction, utilities and excavations. Also see safety and construction procedures are the responsibility of the Contractor.

2. Foundation Bearing: Assumed at 2,000 psf. Field verification shall be made by a qualified Soils Engineer prior to placing foundations. If excavation shows soil to be other than assumed, foundations will be subject to redesign.

3. Foundations: All foundations shall be placed on undisturbed soil not less than 1'-0" below existing grade, not less than 2'-0" below adjacent finish exterior grade. Utility lines shall not be placed through or below foundations without the Structural Engineer's approval. Maximum 1'-2" slope from the bottom edge of footing to the bottom of any adjacent excavation. All excavations shall be approved by project architect prior to the placing of foundations.

4. Backfill: All backfill shall be accomplished using material consisting of bank run gravel crushed stone and/or material approved by the Soils Engineer from the excavation with optimum moisture content for compaction and shall be free of any debris. The backfill shall be placed in 6" lifts and compacted to a minimum of 95% Proctor Standard Proctor test. No backfill material shall be placed against walls without provisions for adequate bracing of these walls.

5. Concrete: Shall be mixed and placed in accordance with the current American Concrete Institute (ACI) Building Code Requirements for Structural Concrete. All concrete shall be placed within the design project at all times. All concrete shall be placed within 10' of the 3,000 psi ultimate compressive strength. All concrete exposed to the weather shall have a compressive strength of  $f'_c = 4,000$  psi (as estimated).

6. Framing: All framing, including floor and roof sheathing, shall be in accordance with the standards and specifications of the American Institute of Steel Construction, Inc. (AISC) 13th Edition. All steel members shall be labeled with their respective designations. All steel members shall be labeled with their respective designations. All steel members shall be labeled with their respective designations.

7. Steel Decking and Insulation: 1" Thick steel decking to be 36" deep with 1/4" thick insulation, 2" thick concrete slabs of 24" and C-10X steel joists. 2" thick steel decking to be 36" deep with 1/4" thick insulation, 2" thick concrete slabs of 24" and C-10X steel joists. 2" thick steel decking to be 36" deep with 1/4" thick insulation, 2" thick concrete slabs of 24" and C-10X steel joists.

8. Block: 8" thick concrete block, 16" high, 16" wide, 8" deep. 8" thick concrete block, 16" high, 16" wide, 8" deep. 8" thick concrete block, 16" high, 16" wide, 8" deep.

9. Mortar: 3/4" thick mortar, 1/2" thick mortar, 1/2" thick mortar. 3/4" thick mortar, 1/2" thick mortar, 1/2" thick mortar. 3/4" thick mortar, 1/2" thick mortar, 1/2" thick mortar.

10. Grout: 3/4" thick grout, 1/2" thick grout, 1/2" thick grout. 3/4" thick grout, 1/2" thick grout, 1/2" thick grout. 3/4" thick grout, 1/2" thick grout, 1/2" thick grout.

11. Rebar: #4 rebar, #4 rebar, #4 rebar. #4 rebar, #4 rebar, #4 rebar. #4 rebar, #4 rebar, #4 rebar.

12. Formwork: 1/2" thick formwork, 1/2" thick formwork, 1/2" thick formwork. 1/2" thick formwork, 1/2" thick formwork, 1/2" thick formwork. 1/2" thick formwork, 1/2" thick formwork, 1/2" thick formwork.

13. Scaffolding: 1/2" thick scaffolding, 1/2" thick scaffolding, 1/2" thick scaffolding. 1/2" thick scaffolding, 1/2" thick scaffolding, 1/2" thick scaffolding. 1/2" thick scaffolding, 1/2" thick scaffolding, 1/2" thick scaffolding.

14. Shoring: 1/2" thick shoring, 1/2" thick shoring, 1/2" thick shoring. 1/2" thick shoring, 1/2" thick shoring, 1/2" thick shoring. 1/2" thick shoring, 1/2" thick shoring, 1/2" thick shoring.

15. Bracing: 1/2" thick bracing, 1/2" thick bracing, 1/2" thick bracing. 1/2" thick bracing, 1/2" thick bracing, 1/2" thick bracing. 1/2" thick bracing, 1/2" thick bracing, 1/2" thick bracing.

16. Anchors: 1/2" thick anchors, 1/2" thick anchors, 1/2" thick anchors. 1/2" thick anchors, 1/2" thick anchors, 1/2" thick anchors. 1/2" thick anchors, 1/2" thick anchors, 1/2" thick anchors.

17. Bolts: 1/2" thick bolts, 1/2" thick bolts, 1/2" thick bolts. 1/2" thick bolts, 1/2" thick bolts, 1/2" thick bolts. 1/2" thick bolts, 1/2" thick bolts, 1/2" thick bolts.

18. Nuts: 1/2" thick nuts, 1/2" thick nuts, 1/2" thick nuts. 1/2" thick nuts, 1/2" thick nuts, 1/2" thick nuts. 1/2" thick nuts, 1/2" thick nuts, 1/2" thick nuts.

19. Washers: 1/2" thick washers, 1/2" thick washers, 1/2" thick washers. 1/2" thick washers, 1/2" thick washers, 1/2" thick washers. 1/2" thick washers, 1/2" thick washers, 1/2" thick washers.

20. Spacers: 1/2" thick spacers, 1/2" thick spacers, 1/2" thick spacers. 1/2" thick spacers, 1/2" thick spacers, 1/2" thick spacers. 1/2" thick spacers, 1/2" thick spacers, 1/2" thick spacers.

21. Brackets: 1/2" thick brackets, 1/2" thick brackets, 1/2" thick brackets. 1/2" thick brackets, 1/2" thick brackets, 1/2" thick brackets. 1/2" thick brackets, 1/2" thick brackets, 1/2" thick brackets.

22. Hangers: 1/2" thick hangers, 1/2" thick hangers, 1/2" thick hangers. 1/2" thick hangers, 1/2" thick hangers, 1/2" thick hangers. 1/2" thick hangers, 1/2" thick hangers, 1/2" thick hangers.

23. Clips: 1/2" thick clips, 1/2" thick clips, 1/2" thick clips. 1/2" thick clips, 1/2" thick clips, 1/2" thick clips. 1/2" thick clips, 1/2" thick clips, 1/2" thick clips.

24. Pins: 1/2" thick pins, 1/2" thick pins, 1/2" thick pins. 1/2" thick pins, 1/2" thick pins, 1/2" thick pins. 1/2" thick pins, 1/2" thick pins, 1/2" thick pins.

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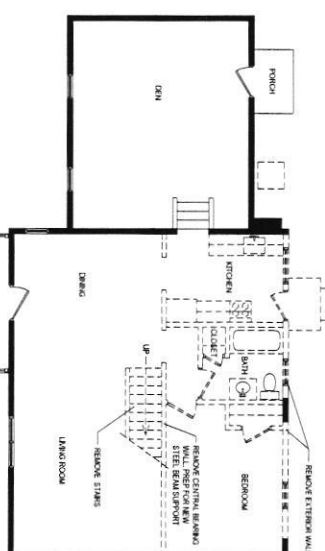
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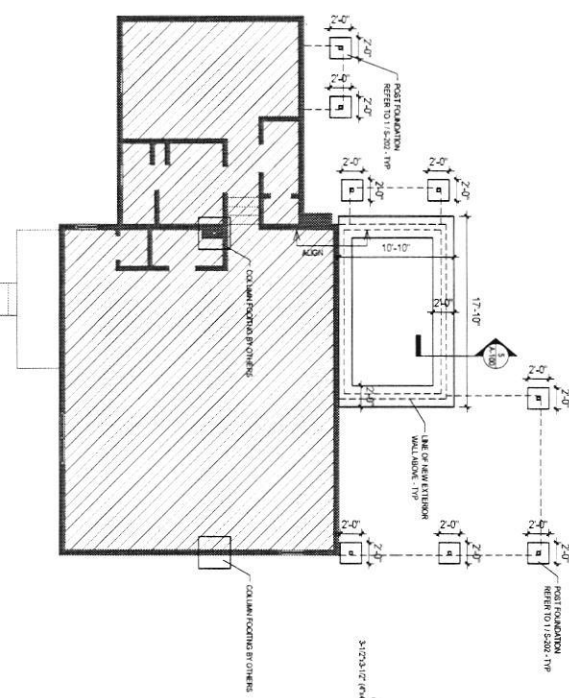
28. Hangers: 1/2" thick hangers, 1/2" thick hangers, 1/2" thick hangers. 1/2" thick hangers, 1/2" thick hangers, 1/2" thick hangers. 1/2" thick hangers, 1/2" thick hangers, 1/2" thick hangers.

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1 DEMOLITION PLAN  
SCALE: 1/8" = 1'-0"



2 FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"

NORTH

## LEGEND

## GENERAL NOTES

1. DO NOT SCALE DIMENSIONS. DIMENSIONS ARE TO BE TAKEN FROM THE PLAN. DIMENSIONS ARE TO BE TAKEN FROM THE PLAN. DIMENSIONS ARE TO BE TAKEN FROM THE PLAN.

2. ASSOCIATIVE FEES. ASSOCIATIVE FEES. ASSOCIATIVE FEES. ASSOCIATIVE FEES. ASSOCIATIVE FEES.

3. CONTRACTOR SHALL COMPLY WITH ALL HEALTH AND LIFE SAFETY REQUIREMENTS AS DIRECTED BY HOWARD COUNTY AND THE STATE OF MARYLAND. CONTRACTOR SHALL COMPLY WITH ALL HEALTH AND LIFE SAFETY REQUIREMENTS AS DIRECTED BY HOWARD COUNTY AND THE STATE OF MARYLAND. CONTRACTOR SHALL COMPLY WITH ALL HEALTH AND LIFE SAFETY REQUIREMENTS AS DIRECTED BY HOWARD COUNTY AND THE STATE OF MARYLAND.

4. INTERIOR LIGHTING SELECTION ARE CLIENT'S CHOICE. INTERIOR LIGHTING SELECTION ARE CLIENT'S CHOICE. INTERIOR LIGHTING SELECTION ARE CLIENT'S CHOICE. INTERIOR LIGHTING SELECTION ARE CLIENT'S CHOICE. INTERIOR LIGHTING SELECTION ARE CLIENT'S CHOICE.

5. DENOTES DOOR WIDTH. DOOR TYPE CLIENT'S CHOICE. DENOTES DOOR WIDTH. DOOR TYPE CLIENT'S CHOICE. DENOTES DOOR WIDTH. DOOR TYPE CLIENT'S CHOICE. DENOTES DOOR WIDTH. DOOR TYPE CLIENT'S CHOICE.

6. FIRST FLOOR = 6'-0" O.C. FIRST FLOOR = 6'-0" O.C. FIRST FLOOR = 6'-0" O.C. FIRST FLOOR = 6'-0" O.C. FIRST FLOOR = 6'-0" O.C.

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8. NOTE WALL BRACING - PER 2008 IRC SECTION 602.10.3. NOTE WALL BRACING - PER 2008 IRC SECTION 602.10.3. NOTE WALL BRACING - PER 2008 IRC SECTION 602.10.3. NOTE WALL BRACING - PER 2008 IRC SECTION 602.10.3. NOTE WALL BRACING - PER 2008 IRC SECTION 602.10.3.

9. DETAIL TO BE USED - SEE PANELS 1001-1005. DETAIL TO BE USED - SEE PANELS 1001-1005. DETAIL TO BE USED - SEE PANELS 1001-1005. DETAIL TO BE USED - SEE PANELS 1001-1005. DETAIL TO BE USED - SEE PANELS 1001-1005.

## RESIDENTIAL CODE NOTES

1. All construction shall be in accordance with the International Residential Code (IRC) 2009 Edition. All construction shall be in accordance with the International Residential Code (IRC) 2009 Edition. All construction shall be in accordance with the International Residential Code (IRC) 2009 Edition.

2. The residential design and construction shall be in accordance with the International Residential Code (IRC) 2009 Edition. The residential design and construction shall be in accordance with the International Residential Code (IRC) 2009 Edition. The residential design and construction shall be in accordance with the International Residential Code (IRC) 2009 Edition.

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Table 1: Minimum Design Live Load Values

Use	Minimum Design Live Load Value (psf)
Residential	40
Commercial	60
Industrial	100
Storage	120
Roof	20
Deck	40
Stair	40
Garage	40
Driveway	40
Patio	40
Pool	40
Hot Tub	40
Spa	40
Shed	40
Garage	40
Driveway	40
Patio	40
Pool	40
Hot Tub	40
Spa	40
Shed	40

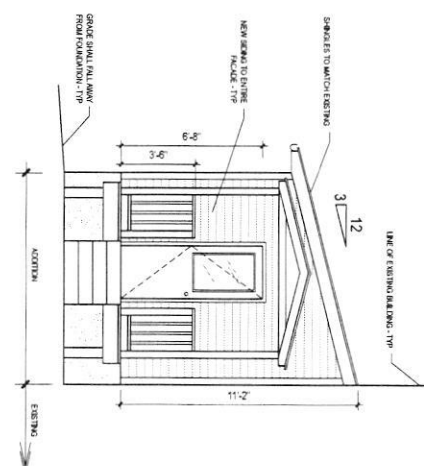
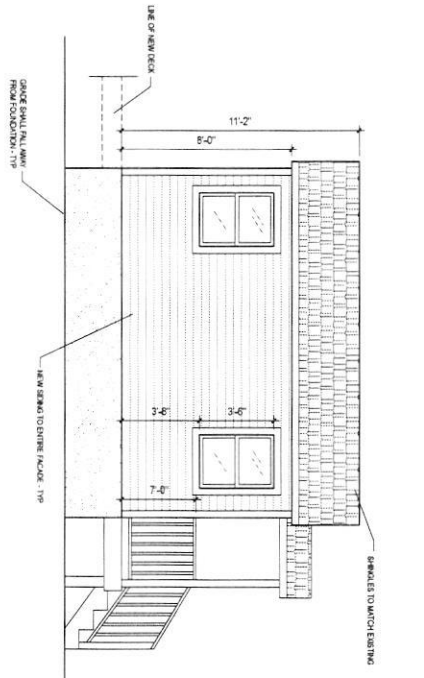
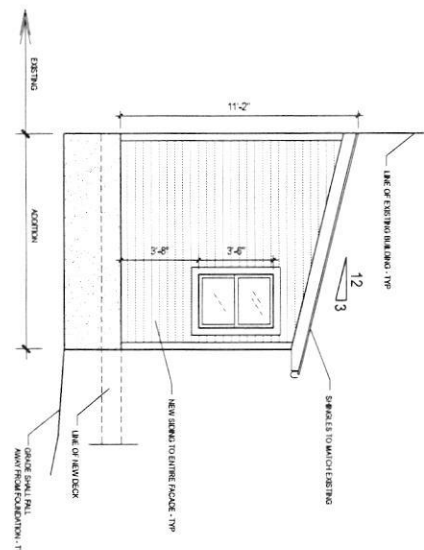
ADAM CARBALLO, ARCHITECT  
MD LIC# 15709  
443-745-1100

CLIENT  
MR. & MRS. BOB TAYLOR

PROFESSIONAL CERTIFICATION  
I CERTIFY THAT THESE DOCUMENTS  
WERE PREPARED OR APPROVED BY ME,  
AND THAT I AM A DULY LICENSED  
ARCHITECT UNDER THE LAWS OF THE  
STATE OF MARYLAND, LICENSE NUMBER  
15709, EXPIRATION DATE 3/27/2013.

CONTRACT DOCUMENTS HAVE BEEN  
PREPARED BY A LICENSED ARCHITECT  
FOR BOTH ARCHITECTURE &  
STRUCTURAL DESIGN, MD LIC # 15709.

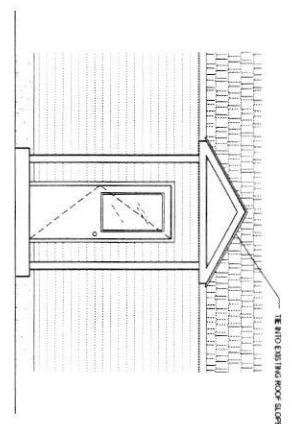
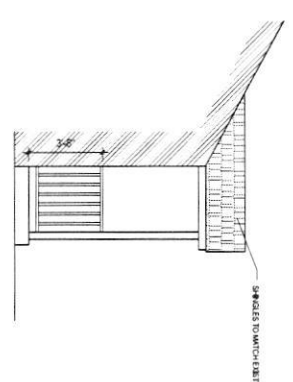
A-100  
DEMO / FLOOR / FOUNDATION PLAN  
11750 TRIADPHIA RD  
JOB # 12-019  
JULY 2012



1 ADDITION SIDE ELEVATION  
SCALE 1/4" = 1'-0"

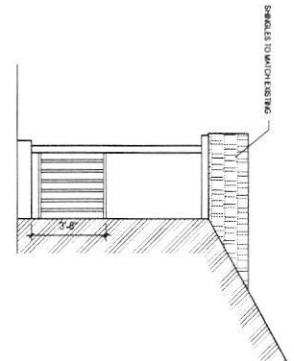
2 ADDITION REAR ELEVATION  
SCALE 1/4" = 1'-0"

3 ADDITION SIDE ELEVATION  
SCALE 1/4" = 1'-0"



4 COVERED PORCH  
SIDE ELEVATION  
SCALE 1/4" = 1'-0"

5 COVERED PORCH FRONT  
ELEVATION  
SCALE 1/4" = 1'-0"



7 TYPICAL WALL SECTION  
SCALE 1/2" = 1'-0"

EXPANDED ROOF (HALL SECTION) TRUSSES @ 24" OC  
CL. = 10' 0" MIN  
LL = 35 PSF MIN  
OVER 80' CEILING (INTERIOR)  
CEILING INSULATION R-38 MIN TYP  
ASPHALT SHINGLE ROOF

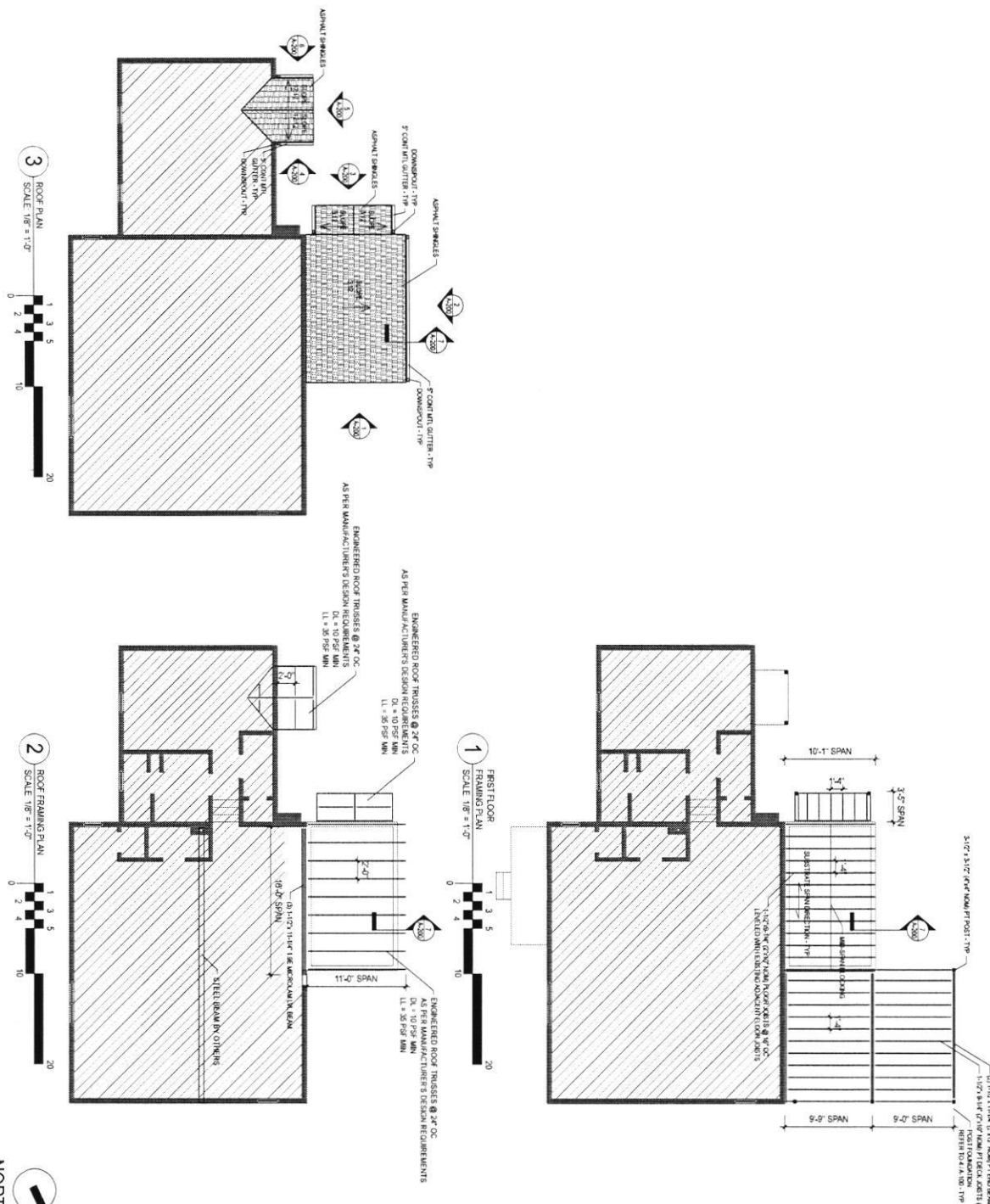
FAIR VENT (FAIR) OVERHANG JAMES 1/2" STANDARD 3/4" TO FRONT  
100% TEST MASTERLINE STRIPS - TYP  
EXTERIOR WALL SIKING  
BUILDING MARK

7" FLOOR SLAB (TYPED)  
7" COB (ALTERNATE)  
1-1/2" 2x12" 2x4 NOM STD @ 16" OC  
W/ 15-15 mm PARTITION INSULATION  
FLOOR FINISH  
FLOOR SUBSTRATE  
FLOOR JOISTS SCHED 40  
CONC RT BOTTOM PLATE  
ABOUT CAST INTO GROUT FILL FOUNDATION WALL @ 24" OC

VARIES NON-HABITABLE CRAWL SPACE  
EXPANSION JOINT  
GRADE SHALL MATCH EXISTING FOUNDATION

NOTE WALL BRACING - PER  
2009 IRC SECTION R602.3  
(METHOD 3) USE 4" PINELS MIN

ISSUED FOR PERMIT



## STRUCTURAL NOTES

Live Loads: Floor 40 psf, Roof 30 psf

**Construction Safety.** Loads greater than the applicable design loads shall not be placed on the structure. Provisions shall be made for adequate bracing and support of adjacent construction, utilities and excavations. Job site safety and construction procedures are the responsibility of the Contractor.

Foundation Bearing: Assumed at 2,000 psf. Field verification shall be made by a qualified Soil Engineer prior to placing foundation. If excavation shows soil to be other than assumed, foundations will be subject to redesign.

foundations. All foundations shall be placed on undisturbed soil not less than 1'-0" below existing grade, not less than 2'-0" below adjacent finish exterior grade. Utility lines shall not be placed through or below foundations without the Structural Engineer's approval. Minimum 1:2 slope from the bottom edge of footing to the bottom of any adjacent excavation. All excavations shall be approved by proper authorities prior to the placement of foundations.

**Backfill.** All backfill shall be accomplished using material consisting of bank run gravel, crushed stone and/or material approved by the State Engineer from the excavation with optimum moisture content for compaction and shall be free of any debris. The backfill shall be compacted to 95% of maximum density as determined by ASTM D698 Standard Proctor Test. No backfill material shall be placed against walls without provisions for adequate bracing of these walls.

Concrete shall be mixed and placed in accordance with the current "American Concrete Institute (ACI) Building Code Requirements for Reinforced Concrete." A copy of this code shall be available on the project at all times. All concrete to have a compressive strength ( $f'_c$ ) of 3,000 psi, unless otherwise noted. All concrete exposed to the weather shall be finished with a smooth, troweled surface.

**Training Lumber.** All training, including floor and roof sheathing, shall be in accordance with the standards and specifications of the American Institute of Timber Construction (AITC). Training lumber shall be as follows: rafters & joists - then for  $F_b = 1,000$  psi (single),  $E = 1,400,000$  psi; studs and grade lumber. All lumber shall be graded in accordance with the applicable national rules and shall be surfaced, cut, sawed and

**Roof Sheathing and Insulation.** Plywood roof sheathing to be  $\frac{1}{2}$ " thick with 2x4 studs maximum. Insulation to be 2x4 and 1" GYPSOL.

2. Plywood shall be fastened to structural members with 6d common bolter at 6" on center at panel joints and 12" on center at intermediate joints. Blocking of unsupported edges of roof sheathing shall be by means of special corrosion resistant metal T-bar clips designed for this purpose. Use one T-bar clip for each truss space. Leave 1/16" space at all panel end joints and 1/8" space at all panel side joints.

## RESIDENTIAL CODE NOTES

1. All construction shall be in conformance with the International Residential Code (IRC), 2003 edition, as amended by Texas and County Executive Order No. 38-07. All chapters, tables, sections, figures and appendices referenced here within are from IRC. This document contains items often written on approved plans and is provided for convenience only. It is not intended as a substitute for the code or all of its provisions.

2. Table R301.2 (1). The residential climatic and geographic design parameters are shown in the following table:

Ground Snow Load 50 psf  
Wind Speed 90 mph  
Seismic Design B  
Subject: Damage from Weathering Service

Subject Damage from First Line Depth 24" mm  
Subject Damage from Terminate Moderate to Heavy  
Winter Design Temp 13 degree F  
Ice Shield Underlayment Reel'd Yes

Air Fz Index 300  
Mean Annual Temp 55 degree F

the following values:

per square foot	live and	6
100		

Attics with limited storage	20
Attics without storage	10
Decks	40
Exterior Balconies	60

Quadrants and Handrails	200
Quadrants in fill components	50
Passenger vehicle garages	50

Sleeping towels	30
Shirts	40

ISSUED FOR PERMIT

PROFESSIONAL CERTIFICATION  
I CERTIFY THAT THESE DOCUMENTS  
WERE PREPARED OR APPROVED BY ME  
AND THAT I AM A DULY LICENSED  
ARCHITECT UNDER THE LAWS OF THE  
STATE OF MARYLAND, LICENSE NUMBER  
15706 EXPIRATION DATE 3/27/2013.

CONTRACT DOCUMENTS HAVE BEEN  
PREPARED BY A LICENSED ARCHITECT  
FOR BOTH ARCHITECTURE &  
STRUCTURAL DESIGN, MD Lic # 15706

CLIENT  
MR. & MRS. BOB TAYLOR

ADAM CARBALLO, ARCHITECT  
MD LIC# 15709  
443-745-1100

## A-101

11750 TRIADELPHIA RD  
JOB # 12-019  
JULY 2012



Howard County  
Health Department

Bureau of Environmental Health  
7178 Columbia Gateway Drive, Columbia MD 21046  
(410) 313-2640 Fax (410) 313-2648  
TDD (410) 313-2323 Toll Free 1-866-313-6300  
website: [www.hchealth.org](http://www.hchealth.org)

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Peter L. Beilenson, M.D., M.P.H., Health Officer

October 22, 2012

Robert & Julie Taylor  
11750 Triadelphia Road  
Ellicott City, MD 21046

RE: **Variance Approval**  
11750 Triadelphia Road  
Ellicott City, MD 21046

Dear Sir & Madam:

The Health Department received your waiver request dated August 27, 2012 for the above referenced property. This agency will grant **approval** of the waiver to the required Percolation Certification Plan as required by the *Howard County Code, Subtitle 8, Section 3.805*. The waiver has been approved on the basis that the proposed addition does not increase the number of bedrooms in the home and there appears to be ample on-site sewage disposal system repair area.

Be advised that any future addition may require percolation testing and a Percolation Certification Plan will be required. Any deviations from the site plan submitted with the request will be subject to further review by this Department. A floor plan of the proposed addition must be submitted to the Health Department prior to approval of the building permit.

Any questions regarding this decision may be directed to the Well and Septic Program of the Howard County Health Department.

Respectfully,

Michael J. Davis, R.E.H.S.  
Assistant Director  
Bureau of Environmental Health

ADAM CARBALLO, RA, RIBA  
ARCHITECT

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August 27, 2012

To: Bureau of Environmental Health  
Attn: Mike Davis  
7178 Columbia Gateway Drive  
Columbia, MD 21046

RE: Percolation certification plan variance request  
Building Permit #B11002180  
Robert & Julie Taylor Residence  
11750 Triadelphia Road  
Ellicott City, MD 21046

Mr. Davis,

I am writing in reference to the above listed property. On behalf of the owner, Robert and Julie Taylor, I am formerly requesting a variance for the required percolation certification plan. The Taylor's are currently in the process of adding a small addition onto their home. The addition consists of expanding their kitchen and living room areas as well as some minor interior renovation work. No additional bedrooms are planned and the current population, three, will remain constant post renovation.

The Taylor's were working under an approved building permit. However, due to some minor adjustments in project scope, a building permit amendment was required. As part of the amendment process, we learned that new requirements under the Howard County Health Department would require the Taylor's to conduct a percolation certification plan as well as a percolation test. Given the scope of the renovation, which will not result in additional sewage volume, we request a variance for said test and plan.

For record, the current well is located to the front of the property. The septic field is located to the rear of the property, with the residence separating the two. There is little opportunity for cross-contamination. Please advise to next steps in the variance process.

Respectfully,



Adam Carballo  
Adam Carballo, Architect  
1818 Aliceanna Street  
Baltimore, MD 21231  
443-745-1100

Robert & Julie Taylor, Homeowner  
11750 Triadelphia Road  
Ellicott City, MD 21046  
410-531-6614

Attachments: Howard County Health Dept. Letter from Ms. Heidi Scott, R.S.